

Notice of Ordinary Council Meeting and

Agenda

15 NOVEMBER 2021

To all Councillors

NOTICE OF MEETING

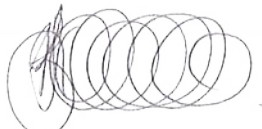
In accordance with the *Local Government (Meeting Procedures) Regulations 2015* and sections 18 and 19 of the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020 (the Act)*, notice is given of the next ordinary meeting of the Central Coast Council to be held on Monday, 15 November 2021 commencing at 6.00pm. The meeting will be held in the Council Chamber at the Administration Centre, 19 King Edward Street, Ulverstone. Due to the current COVID-19 restrictions and guidelines, this meeting will not be open to public attendance, however a live stream of the meeting will be available via the Council's website and Facebook page.

An agenda and associated reports and documents are appended hereto.

A notice of meeting was published in The Advocate newspaper, a daily newspaper circulating in the municipal area, on 2 January 2021.

Dated at Ulverstone this 10th day of November 2021.

This notice of meeting and the agenda is given pursuant to delegation for and on behalf of the General Manager.



Lou Brooke
EXECUTIVE SERVICES OFFICER

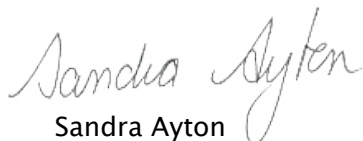
QUALIFIED PERSON'S ADVICE

The *Local Government Act 1993* (the Act), Section 65 provides as follows:

- “(1) A general manager must ensure that any advice, information or recommendation given to the council or a council committee is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation.
- (2) A council or council committee is not to decide on any matter which requires the advice of a qualified person without considering such advice unless –
- (a) the general manager certifies, in writing –
 - (i) that such advice was obtained; and
 - (ii) that the general manager took the advice into account in providing general advice to the council or council committee; and
 - (b) a copy of that advice or, if the advice was given orally, a written transcript or summary of that advice is provided to the council or council committee with the general manager's certificate.”

In accordance with Section 65 of the Act, I certify:

- (i) that the reports within this agenda contain advice, information and recommendations given by persons who have the qualifications and experience necessary to give such advice, information or recommendation;
- (ii) where any advice is directly given by a person who did not have the required qualifications or experience that person has obtained and taken into account another person's general advice who is appropriately qualified or experienced; and
- (iii) that copies of advice received from an appropriately qualified or experienced professional have been provided to the Council.



Sandra Ayton
GENERAL MANAGER

AGENDA

COUNCILLORS ATTENDANCE

COUNCILLORS APOLOGIES

EMPLOYEES ATTENDANCE

GUEST(S) OF THE COUNCIL

MEDIA ATTENDANCE

PUBLIC ATTENDANCE

ACKNOWLEDGEMENT OF COUNTRY

The Council acknowledges and pays respect to the Tasmanian Aboriginal community as the traditional owners and custodians of this land on which we live.

OPENING PRAYER

May the words of our lips and the meditations of our hearts be always acceptable in Thy sight, O Lord.

BUSINESS

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1 CONFIRMATION OF MINUTES OF THE COUNCIL

1.1 Confirmation of minutes

The Executive Services Officer reports as follows:

“The minutes of the ordinary meeting of the Council held on 18 October 2021 have already been circulated. The minutes are required to be confirmed for their accuracy.

The *Local Government (Meeting Procedures) Regulations 2015* provide that in confirming the minutes of a meeting, debate is allowed only in respect of the accuracy of the minutes.

A suggested resolution is submitted for consideration.”

- “That the minutes of the ordinary meeting of the Council held on 18 October 2021 be confirmed.”
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2 COUNCIL WORKSHOPS

2.1 Council workshops

The Executive Services Officer reports as follows:

“The following council workshops have been held since the last ordinary meeting of the Council.

- . 25.10.2021 – Equal Opportunity Tasmania – a discrimination free workplace
- . 02.11.2021 – Waste Strategy; Complete Streets community feedback (report and process)
- . 08.11.2021 – Monthly update; Local Government Reform

This information is provided for the purpose of record only. A suggested resolution is submitted for consideration.”

- “That the Officer’s report be received.”
-

3 MAYOR'S COMMUNICATIONS

3.1 Mayor's communications

The Mayor to report:

3.2 Mayor's diary

The Mayor reports as follows:

"I have attended the following events and functions on behalf of the Council:

- . Ulverstone Repertory Theatre Society's production 'Allo Allo' – Ulverstone
- . Warawee Women's Shelter, Supporting our Sisters High Tea – Devonport
- . Switch Tasmania Board Meeting – Ulverstone
- . Royal Event in Penguin Launch – Penguin
- . Local Government Association of Tasmania (LGAT) Special Meeting – Devonport
- . Tree planting for the Royal Event in Penguin – Penguin
- . Official opening of HIVE – Ulverstone
- . Community open day for HIVE – Ulverstone
- . Royal Fete and Parade for the Royal Event in Penguin – Penguin
- . TasWater Owners Representatives Group General Meeting – via video conference
- . Remembrance Day Service and wreath laying – Ulverstone
- . Friends of the Ulverstone General Cemetery Remembrance Day – opening of dedication – Ulverstone
- . Volunteer Ambulance Officers Association of Tasmania Inc. annual gathering – Ulverstone
- . Meeting with Anita Dow MP – Ulverstone
- . Central Coast Chamber Commerce and Industry (CCCCI) Meeting – Ulverstone
- . ArtEx Official Opening – Ulverstone
- . TasPride 2021 Flag Raising – Ulverstone
- . Radio interview."

The Executive Services Officer reports as follows:

"A suggested resolution is submitted for consideration."

-
- “That the Mayor’s report be received.”
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3.3 Declarations of interest

The Mayor reports as follows:

“Councillors are requested to indicate whether they have, or are likely to have, a pecuniary (or conflict of) interest in any item on the agenda.”

The Executive Services Officer reports as follows:

“The *Local Government Act 1993* provides that a councillor must not participate at any meeting of a council in any discussion, nor vote on any matter, in respect of which the councillor has an interest or is aware or ought to be aware that a close associate has an interest.

Councillors are invited at this time to declare any interest they have on matters to be discussed at this meeting. If a declaration is impractical at this time, it is to be noted that a councillor must declare any interest in a matter before any discussion on that matter commences.

All interests declared will be recorded in the minutes at the commencement of the matter to which they relate.”

4 COUNCILLOR REPORTS

4.1 Councillor reports

The Executive Services Officer reports as follows:

“Councillors who have been appointed by the Council to community and other organisations are invited at this time to report on actions or provide information arising out of meetings of those organisations.

Any matters for decision by the Council which might arise out of these reports should be placed on a subsequent agenda and made the subject of a considered resolution.”

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5 APPLICATIONS FOR LEAVE OF ABSENCE

5.1 Leave of absence

The Executive Services Officer reports as follows:

“The *Local Government Act 1993* provides that the office of a councillor becomes vacant if the councillor is absent without leave from three consecutive ordinary meetings of the council.

The Act also provides that applications by councillors for leave of absence may be discussed in a meeting or part of a meeting that is closed to the public.

One application has been lodged for consideration at this meeting and is listed at Agenda Item 11.4.”

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6 DEPUTATIONS

6.1 Deputations

The Executive Services Officer reports as follows:

“No requests for deputations to address the meeting or to make statements or deliver reports have been made.”

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7 PETITIONS

7.1 Petitions

The Executive Services Officer reports as follows:

“No petitions under the provisions of the *Local Government Act 1993* have been presented.”

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8 COUNCILLORS' QUESTIONS

8.1 Councillors' questions without notice

The Executive Services Officer reports as follows:

“The *Local Government (Meeting Procedures) Regulations 2015* provide as follows:

'29 (1) A councillor at a meeting may ask a question without notice –

- (a) of the chairperson; or
- (b) through the chairperson, of –
 - (i) another councillor; or

-
- (ii) the general manager.
- (2) In putting a question without notice at a meeting, a councillor must not –
 - (a) offer an argument or opinion; or
 - (b) draw any inferences or make any imputations –except so far as may be necessary to explain the question.
 - (3) The chairperson of a meeting must not permit any debate of a question without notice or its answer.
 - (4) The chairperson, councillor or general manager who is asked a question without notice at a meeting may decline to answer the question.
 - (5) The chairperson of a meeting may refuse to accept a question without notice if it does not relate to the activities of the council.
 - (6) Questions without notice, and any answers to those questions, are not required to be recorded in the minutes of the meeting.
 - (7) The chairperson may require a councillor to put a question without notice in writing.'

If a question gives rise to a proposed matter for discussion and that matter is not listed on the agenda, Councillors are reminded of the following requirements of the Regulations:

- '8 (5) Subject to subregulation (6), a matter may only be discussed at a meeting if it is specifically listed on the agenda of that meeting.
- (6) A council by absolute majority at an ordinary council meeting, ..., may decide to deal with a matter that is not on the agenda if –
 - (a) the general manager has reported the reason it was not possible to include the matter on the agenda; and
 - (b) the general manager has reported that the matter is urgent; and
 - (c) in a case where the matter requires the advice of a qualified person, the general manager has certified under section 65 of

the Act that the advice has been obtained and taken into account in providing general advice to the council.’

Councillors who have questions without notice are requested at this time to give an indication of what their questions are about so that the questions can be allocated to their appropriate Departmental Business section of the agenda.”

<i>Councillor</i>	<i>Question</i>	<i>Department</i>
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8.2 Councillors’ questions on notice

The Executive Services Officer reports as follows:

“The *Local Government (Meeting Procedures) Regulations 2015* provide as follows:

‘30 (1) A councillor, at least 7 days before an ordinary council meeting or a council committee meeting, may give written notice to the general manager of a question in respect of which the councillor seeks an answer at that meeting.

(2) An answer to a question on notice must be in writing.’

It is to be noted that any question on notice and the written answer to the question will be recorded in the minutes of the meeting as provided by the Regulations.

Any questions on notice are to be allocated to their appropriate Departmental Business section of the agenda.

No questions on notice have been received.”

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9 PUBLIC QUESTION TIME

9.1 Public question time

The Mayor reports as follows:

“Due to the current COVID-19 restrictions and guidelines, this meeting will not be open to public attendance. Members of the public who would like to ask questions to the Council, that would normally have been heard during the Public Question Time section of the meeting agenda, are advised to provide their question on notice to the General Manager by 3.00pm Monday, 15 November 2021.

Any questions received will be read out by the General Manager at the meeting and a response provided following the meeting.”

9.2 Public questions taken on notice

The Executive Services Officer reports as follows:

“No public questions were taken on notice from the 18 October 2021 meeting.”

10 DEPARTMENTAL BUSINESS

GENERAL MANAGEMENT

10.1 Penguin Town Centre Master Plan and Strategies

The General Manager reports as follows:

“PURPOSE

The purpose of this report is to present to the Council, the Penguin Town Centre Master Plan and Strategies (Master Plan) prepared by Complete Streets.

BACKGROUND

The Council commenced work towards improving Penguin’s town centre through its 2018–2019 Annual Plan. In October 2018 the Council undertook a 7–Day Makeover through Creative Communities International. The makeover was a success for Penguin and the Penguin Makeover Community continue to work collegiately to maintain the results of the makeover and to further improve their community.

As part of the 2019–2020 Annual Plan, the Council conducted a review and update of the Penguin CBD/foreshore plan, which also included the entrance into Penguin. Complete Streets were engaged by the Council to undertake attitudinal surveys in Penguin to gauge what the Penguin community valued most about its town centre and how the town was performing. In January 2020, a place score study was conducted, which measured community sentiment in relation to the liveability of Penguin. Survey results indicated that the top three important factors for Penguin were: cleanliness, visual character and elements of the natural environment. A detailed report and presentation were presented at a Council Workshop in March 2020, data findings and possible future options were also discussed as part of this presentation.

In the 2020–2021 Annual Plan the Council undertook to further progress the review and included the main street, foreshore, former Penguin Recreation Ground and Hiscutt Park precincts. In February 2021, the Council developed the Penguin Town Centre Action Brief, which was awarded to Complete Streets to guide the development of the Master Plan, the key issues outlined within the brief were:

- improving the main street shopping area;
- developing or improving the gateways to Penguin;

- improving the foreshore open space; and
- reviewing the Urban Design Guidelines.

DISCUSSION

In April 2021, Complete Streets hosted a Set-up Shop at the Penguin Railway Station to provide stakeholders, the community and Council staff the opportunity to informally brainstorm ideas and concerns regarding the Penguin town centre (area identified in image below).



An additional community session was held at the Penguin Market (detailed concerns are outlined in Chapter 3 of the Master Plan which is appended to this report).

To complement the community consultation process, Complete Streets undertook further desktop and on-site analysis, which assisted in identifying the key issues to address within the Master Plan, which include:

- 1 The main street area: improve traffic, parking, retail, street trees, footpaths, and intersections;
- 2 The former Penguin Recreation Ground: update the current masterplan to reflect current conditions;
- 3 Public buildings: rationalise use for the maximum benefit of the community;

- 4 Hiscutt Park: Improve the active as well as passive use of the park and manage maintenance issues; and
- 5 The foreshore: recover the green edge between the village and the beach, increase use of the green space for passive and active recreation day and night.

In August 2021, Complete Streets attended a Council Workshop to present the final outcomes of the Penguin town centre review and draft Master Plan, this workshop also included provision for Councillor Feedback.

The finalised Master Plan comprises of three main actions:

- 1 The greening and linking of the foreshore, main street and village;
- 2 The activation of key sites, community facilities and buildings; and
- 3 The refinement of guidelines and policies to support the Town Centre.

From the key Master Plan actions, ten detailed strategies have been identified for the Council to consider:

- 1 Maintain the main street as a two-way street with parallel parking on both sides. This layout is the most successful main street arrangement and suits the Penguin environment perfectly.
- 2 Introduce significant greenery, shade, shelter, and outdoor seating to improve the main street environment and to encourage more visible activity day and night.
- 3 Create Penguin “gateway” intersections at either end of Crescent Street.
- 4 Re-green the foreshore and reconnect the main street area to the beach.
- 5 Improve the use of public buildings (Scout Hall, Railway Station, Senior Citizens Club Hall, Visitor Information Centre and Library) by community groups and government to ensure they are being used to maximum efficiency and create more community outcomes.
- 6 Introduce appropriate commercial uses to certain public buildings to provide Council with an income stream to fund projects.
- 7 Update the former Recreation Ground Master Plan and rezone the site appropriately for disposal to help fund improvements to public places and spaces.
- 8 Create low-maintenance improvements to Hiscutt Park, returning banks to a more natural profile where possible, as well as by updating shelters and introducing modern facilities to encourage more events and active usage.

- 9 Develop a Master Plan for the Council Depot Site and rezone the land appropriately for disposal to help fund improvements to public places and spaces.
- 10 Refine planning policies and mechanisms to proactively promote Penguin's seaside village character and building form in new development.

The Council has received \$ 1,543,172 in the Local Roads and Community Infrastructure (LRCI) funding for works to be completed by 30 June 2023. It is recommended that the following actions be identified and allocated as part of the Council's LRCI Phase 3 grant funding submission. This will allow some of the actions to progress sooner than the following financial year budget.

	PRICE \$ (EX. GST)
Playground update and expansion	220,000
Penguin Foreshore – landscaping, tree planting and BBQ facility	155,000
Former Penguin Recreation Ground – planning and design	70,000
<i>TOTAL</i>	445,000

CONSULTATION

Extensive community consultation was undertaken by Complete Streets, through a number of mechanisms. The community's input and response was successful and assisted to inform the Master Plan. Complete Streets attended various Council Workshops and staff sessions throughout the development of the Master Plan.

RESOURCE, FINANCIAL AND RISK IMPACTS

The funding of the suggested actions will be through a number of scenarios, including grant funding, Council funding and potentially the sale of land.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Shape of the Place

- . Improve the value and use of open space

- . Conserve the physical environment in a way that ensures we have a healthy and attractive community
- . Encourage a creative approach to new development.

CONCLUSION

It is recommended that the Council receive the Penguin Town Centre Master Plan and Strategies prepared by Complete Streets.”

The Executive Services Officer reports as follows:

“A copy of the Penguin Town Centre Master Plan and Strategies report having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the Council receive the Penguin Town Centre Master Plan and Strategies prepared by Complete Streets (a copy being appended to and forming part of the minutes).”
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10.2 Annual Report for the year ended 30 June 2021

The General Manager reports as follows:

“PURPOSE

The purpose of this report is to approve the Annual Report for the year ended 30 June 2021.

BACKGROUND

The *Local Government Act 1993* (the Act) provides that a council must prepare an Annual Report.

An Annual Report for the year ended 30 June 2021 has been prepared as required and a draft is appended to this report. The Annual Report is the major reporting mechanism to the community.

The Act provides the requirements for the preparation of the Annual Report and directs that a council must invite the community to make submissions on its report for discussion at its Annual General Meeting.

DISCUSSION

Discussion has been provided for within the Annual Report.

CONSULTATION

A draft Annual Report has been forwarded to the Tasmanian Audit Office for review in accordance with Auditing Standard ASA 720 *Other Information in Documents Containing Audited Financial Reports*.

Community reporting will take place as part of the Annual General Meeting which is scheduled to be held at the Gnomon Room, Ulverstone Wharf Precinct at 7.00pm on Wednesday, 8 December 2021.

RESOURCE, FINANCIAL AND RISK IMPACTS

The cost of preparation of the Annual Report has been provided for within the Estimates.

CORPORATE COMPLIANCE

Preparation of the Annual Report is a statutory requirement.

CONCLUSION

The Annual Report is recommended for approval.”

The Executive Services Officer reported as follows:

“A copy of the Annual Report for the year ended 30 June 2021 has been circulated to all Councillors.”

- “That the Annual Report for the year ended 30 June 2021 be approved.”
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10.3 Correspondence addressed to the Mayor and Councillors

The General Manager reports as follows:

“A Schedule of Correspondence addressed to the Mayor and Councillors for the period 19 October to 15 November 2021 and which was addressed to the ‘Mayor and

Councillors' is appended. Reporting of this correspondence is required in accordance with Council policy.

Where a matter requires a Council decision based on a professionally developed report the matter will be referred to the Council. Matters other than those requiring a report will be administered on the same basis as other correspondence received by the Council and managed as part of the day-to-day operations."

The Executive Services Officer reports as follows:

"A copy of the Schedule having been circulated to all Councillors, a suggested resolution is submitted for consideration."

- "That the Schedule of Correspondence addressed to the Mayor and Councillors (a copy being appended to and forming part of the minutes) be received."
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10.4 Common seal

The General Manager reports as follows:

"A Schedule of Documents for Affixing of the Common Seal for the period 19 October to 15 November 2021 is submitted for the authority of the Council to be given. Use of the common seal must first be authorised by a resolution of the Council.

The Schedule also includes for information advice of final plans of subdivision sealed in accordance with approved delegation and responsibilities."

The Executive Services Officer reports as follows:

"A copy of the Schedule having been circulated to all Councillors, a suggested resolution is submitted for consideration."

- "That the common seal (a copy of the Schedule of Documents for Affixing of the Common Seal being appended to and forming part of the minutes) be affixed subject to compliance with all conditions of approval in respect of each document, and that the advice of final plans of subdivision sealed in accordance with approved delegation and responsibilities be received."

10.5 Contracts and agreements

The General Manager reports as follows:

“A Schedule of Contracts and Agreements (other than those approved under the common seal) entered into for the period 19 October to 15 November 2021 is submitted to the Council for information. The information is reported in accordance with approved delegations and responsibilities.”

The Executive Services Officer reports as follows:

“A copy of the Schedule having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

■ “That the Schedule of Contracts and Agreements (a copy being appended to and forming part of the minutes) be received.”

COMMUNITY SERVICES

10.6 Council acting as a planning authority

The Mayor reports as follows:

“The *Local Government (Meeting Procedures) Regulations 2015* provide that if a council intends to act at a meeting as a planning authority under the *Land Use Planning and Approvals Act 1993*, the chairperson is to advise the meeting accordingly.

The General Manager has submitted the following report:

‘If any such actions arise out of Agenda Item 10.7, they are to be dealt with by the Council acting as a planning authority under the *Land Use Planning and Approvals Act 1993*.’”

The Executive Services Officer reports as follows:

“Councillors are reminded that the *Local Government (Meeting Procedures) Regulations 2015* provide that the general manager is to ensure that the reasons for a decision by a council acting as a planning authority are recorded in the minutes.

A suggested resolution is submitted for consideration.”

- “That the Mayor’s report be received.”

10.7 Residential – dwelling, retaining walls and retrospective application for substantial change in ground level – Suitability of a site or lot for use or development; Dwelling density and Location and configuration of development at CT128570/7 Brookvale Road, Ulverstone – Application No. DA2021004

The Director Community Services reports as follows:

“The Town Planner has prepared the following report:

‘*DEVELOPMENT APPLICATION NO.:*
PROPOSAL:

DA2021004
Residential – dwelling, retaining walls
and retrospective application for

	substantial change in ground level – Suitability of a site or lot for use or development; Dwelling density and Location and configuration of development
<i>APPLICANT:</i>	Wilson Homes
<i>LOCATION:</i>	CT128570/7 Brookvale Road, Ulverstone
<i>ZONE:</i>	Rural Living
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the Planning Scheme)
<i>ADVERTISED:</i>	25 September 2021
<i>REPRESENTATIONS EXPIRY DATE:</i>	11 October 2021
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	2 November 2021 (extension of time granted until 15 November 2021)
<i>DECISION DUE:</i>	15 November 2021

PURPOSE

The purpose of this report is to consider an application for the construction of a dwelling and associated retaining walls at CT128570/7 Brookvale Road, Ulverstone. Furthermore, this report is to consider a retrospective application for a substantial change in ground level that occurred at the site more than 12 months ago (refer to photographs – Annexure 4).

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs; and
- . Annexure 5 – Statement of Compliance from the Road Authority and the Stormwater Authority.

BACKGROUND

Development description –

An application is made for Residential – dwelling, retaining walls and retrospective application for a substantial change in ground level on land identified as CT128570/7 Brookvale Road, Ulverstone.

The proposal would comprise of the following:

Dwelling and retaining walls –

Construction of a single dwelling that would be positioned 16.7m from the western boundary, 30.4m from the southern boundary, 41.1m from the eastern boundary and 60m from the northern boundary. The dwelling would comprise of four bedrooms (master with ensuite), a shared bathroom, open plan kitchen/dining/family/living area, home theatre, laundry, north-western facing alfresco area and an attached double garage. Access to the dwelling would be off Brookvale Road. There is an additional access off Brookvale Road (located further east of the dwelling access) that is solely for bushfire management purposes.

The proposal includes extensive retaining walls to support excavations that occurred without a permit, and the dwelling. Until final construction plans are provided for the retaining walls (building stage), the final height of the retaining walls to support the cut would be unknown. However, according to the plans, the retaining walls would have a maximum height of 1.4m and would be located on the western side of the dwelling, and on a portion of the northern side of the dwelling, in a three-tiered formation to encompass the excavations that have been undertaken on the site.

All on-site wastewater and stormwater disposal areas would be located to the east of the proposed dwelling, with a water tank located to the north of the proposed dwelling.

Retrospective aspect –

The proposal also includes, retrospectively, a substantial change in ground level. The change in ground level has been, in some sections of the site, cut to a depth of 2.2m. The change in ground level occurred across the site primarily to level out a section for the proposed dwelling, however cut is extensive across the entirety of the site. Refer to the 'History' section below regarding the timeframe of works that occurred and photographs of the site – see Annexure 4.

Site description and surrounding area –

The 7,493m² parcel of land is zoned Rural Living and has two road frontages; being Brookvale Road and Castra Road.

The site, prior to the substantial change in ground level, had a 30m fall across the site, upwards and away from Castra Road (east to west).

The south-eastern (more than half the site) portion of the site is characterised by Medium landslip hazard. The other north-western portion of the site is Low landslip hazard.

All adjoining land is also zoned Rural Living, with the immediate western property accommodating a single dwelling and associated outbuilding. The northern adjoining parcel of land is vacant.

History –

In October 2020, the Council became aware of substantial works occurring on the development site. An inspection by Planning and Building staff identified a significant change in ground level had occurred on the site. The approximate cut across the site was estimated to be between 1.2m to 1.5m deep and a fill line was around 2m high (refer to Annexure 3 for photographs). No approvals had been granted under Planning legislation for the change in ground level.

The Council, in early November 2020, wrote to the owner asking them to cease all works on the site and contact Planning staff to discuss the appropriate approvals required for works on the land. The owner contacted the Council at the end of November 2020 to discuss the matter. The owner was made aware of the application requirements and was asked to seek specialised reports to form part of the application. The Council reinforced that no further works could occur on the site until all approvals had been granted.

The Council received DA2021004 on 4 January 2021. The documentation submitted was not considered sufficient and further information was requested. Following repeated correspondence, the Council received information deemed satisfactory on 21 September 2021. During this time, some works continued to occur on the site. Council contacted the owner and the applicant to advise that all works were to cease until determination of the application.

The application is assessed under the *Central Coast Interim Planning Scheme 2013*. Under the *Tasmanian Planning Scheme – Central Coast* the property is zoned Rural Living 'A'.

DISCUSSION

The following table is an assessment of the relevant Planning Scheme provisions.

13.0 Rural Living Zone

CLAUSE	COMMENT
13.3 Use Standards	
13.3.1 Discretionary permit use	
<p>13.3.2–(A1) Discretionary permit use must:</p> <p>(a) be consistent with local area objectives;</p> <p>(b) be consistent with any applicable desired future character statement; and</p> <p>(c) minimise likelihood for unreasonable impact on amenity for residential use on adjacent land in the zone.</p>	Not applicable. Residential use is Permitted.
13.3.2 Impact of use	
13.3.2–(A1) Permitted non-residential use must adjoin at last one residential use on the same street frontage.	Not applicable. Residential use is Permitted.
13.3.2–(A2) Permitted non-residential use must not generate more than 40 average daily vehicle movements.	Not applicable. Residential use is Permitted.

13.3.2–(A3) Other than for emergency services, residential, and visitor accommodation, hours of operation must be between 6.00am and 9.00pm.	Not applicable. Residential use is permitted.
13.4.1 Suitability of a site or lot for use or development	
<p>13.4.1–(A1) Each site or each lot on a plan of subdivision must:</p> <p>(a) have an area not less than:</p> <p>(i) 1.0 hectares excluding any access strip; or</p> <p>(ii) if in a locality shown in the Table to this clause, not less than the site area shown for that locality.</p> <p>(b) If intended for a building, contain a building area of:</p> <p>(i) not more than 1,000m²;</p> <p>(ii) clear of any applicable setback from a frontage, side, or rear boundary;</p> <p>(iii) clear of any applicable setback from a zone boundary;</p> <p>(iv) clear of any registered easement;</p>	<p>(a)(i) Non-compliant. Site has an area of 7,493m². Refer to the “Issues” section of this report.</p> <p>(a)(ii) Not applicable. Satisfied by (i).</p> <p>(b)(i) Compliant. Building area would be 270m².</p> <p>(b)(ii) Non-compliant in relation to the side setback. Proposal includes retaining walls within the 10m rear setback. Refer to Clause 13.4.3–(A1) regarding this variation.</p> <p>(b)(iii) Compliant. Dwelling would be setback approximately 60m to the Rural Resource zone.</p> <p>(b)(iv) Not applicable. No easements.</p> <p>(b)(v) Not applicable. No right-of-way.</p> <p>(b)(vi) Not applicable. No restrictions imposed by a utility.</p>

<ul style="list-style-type: none"> (v) clear of any registered right-of-way benefiting other land; (vi) clear of any restriction imposed by a utility; (vii) not including any access strip; and (viii) clear of any area required for the on-site disposal of sewage or stormwater; and (ix) accessible from a frontage or access strip. 	<ul style="list-style-type: none"> (b)(vii) Not applicable. No access strip. (b)(viii) Compliant. The on-site wastewater areas and stormwater disposal areas would be clear of all building areas. (b)(ix) Compliant. Access would be from Brookvale Road. A Statement of Compliance is to be issued as part of this Permit in relation to access provisions.
<p>13.4.1 –(A2) Each site or a lot on a plan of subdivision must have a separate access from a road:</p> <ul style="list-style-type: none"> (a) across a frontage over which no other land has a right of access; and (b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or (c) by a right of way connecting to a road – <ul style="list-style-type: none"> (i) over land not required as the means of access to any other land; and 	<ul style="list-style-type: none"> (a) Compliant. Access would be from Brookvale Road frontage over which no other land has a right of access. (b) Not applicable. Not an internal lot. (c) Not applicable. No right-of-way. (d) Compliant. Brookvale Road frontage is approximately 94m. The Castra Road frontage is approximately 104m. (e) Compliant. A Statement of Compliance has been issued regarding new access for the lot (Refer to Annexure 5).

<p>(ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right of way of not less than 6.0m; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1992</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	
<p>13.4.1 –(A3) A site or each lot on a plan of subdivision must have a water supply:</p> <p>(a) from a connection to a water supply provided in accordance with the <i>Water and Sewerage Industry Act 2009</i>; or</p> <p>(b) from a rechargeable drinking water system ^{R6} with a storage capacity of not less than 10,000 litres if:</p> <p>(i) there is not a reticulated water supply; and</p>	<p>(a) Not applicable. Satisfied by (b).</p> <p>(b)(i) Compliant. There is no reticulated water supply.</p> <p>(b)(ii) Compliant with (b)(ii)(a.) as the application is for a single dwelling.</p>

<p>(ii) development is for:</p> <p>a. a single dwelling; or</p> <p>b. a use with an equivalent population of not more than 10 people per day.</p>	
<p>13.4.1–(A4) A site or each lot on a plan of subdivision must drain sewage and trade waste:</p> <p>(a) to a reticulated sewer system provided in accordance with the <i>Water and Sewerage Industry Act 2009</i>; or</p> <p>(b) by on-site disposal if:</p> <p>(i) sewage or trade waste cannot be drained to a reticulated sewer system; and</p> <p>(ii) the development:</p> <p>a. is for a single dwelling; or</p> <p>b. provides for an equivalent population of not more than 10 people per day; or</p> <p>c. creates a total sewage and waste water flow of not more than 1,000 litres per day; and</p>	<p>(a) Not applicable. Satisfied by (b).</p> <p>(b)(i) Compliant. Proposal is for the on-site disposal of sewage and trade waste.</p> <p>(b)(ii) Compliant. Development is for a single dwelling.</p> <p>(b)(iii) Compliant. Application includes an Onsite Wastewater Assessment prepared by GES Geo-Environmental Solutions that demonstrates the site has capacity for on-site disposal of domestic wastewater in accordance with AS/NZS1547:2000 On-site domestic wastewater management would be clear of any defined building area or access strip.</p>

<p>(iii) the site has capacity for on-site disposal of domestic waste water in accordance with AS/NZS1547:2000 On-site domestic wastewater management, clear of any defined building area or access strip.</p>	
<p>13.4.1–(A5) A site or each lot on a plan of subdivision must drain stormwater:</p> <p>(a) or discharge to a stormwater system provided in accordance with the <i>Drains Act 1954</i>; or</p> <p>(b) if stormwater cannot be drained to a stormwater system:</p> <p>(i) for discharge to a natural drainage line, water body, or watercourse; or</p> <p>(ii) for disposal within the site if:</p> <p>a. the site has an area of not less than 5,000m²;</p> <p>b. the disposal area is not within any defined building area;</p> <p>c. the disposal area is not within any area</p>	<p>(a) Not applicable. Satisfied by (b).</p> <p>(b)(ii) Not applicable. Satisfied by (ii) and (iii).</p> <p>(b)(ii) Compliant. The site is greater than 5,000m². The on-site disposal of stormwater would be clear of defined building areas, on-site wastewater areas and access strips. Not more than 50% of the site is impervious surface.</p> <p>(b)(iii) Compliant. Proposal is for a single dwelling.</p>

<p>required for the disposal of sewage;</p> <p>d. the disposal area is not within any access strip; and</p> <p>e. not more than 50% of the site is impervious surface; and</p> <p>(iii) the development is for a single dwelling.</p>	
13.4.2 Dwelling density	
<p>13.4.2–(A1) The site area per dwelling must:</p> <p>(a) be not less than 1.0 hectare; or</p> <p>(b) if the site is in a locality shown in the Table to this clause, the site area for that locality.</p>	<p>(a) Non-compliant. Development site would have an area of 7,493m².</p> <p>Refer to the “Issues” section of this report.</p> <p>(b) Not applicable. No locality in Table to this Clause.</p>
13.4.3 Location and configuration of development	
<p>13.4.3–(A1) A building, utility structure, garage, carport, or an external car parking area and any area for the display, handling, or storage of goods, materials, or waste must be set back from a frontage;</p> <p>(a) not less than 20.0m;</p>	<p>(a) Compliant. Dwelling would be setback 30.4m from Brookvale Road frontage and 41.1m from Castra Road frontage.</p> <p>(b) Not applicable. Satisfied by (a).</p>

<p>(b) not less or not more than the setbacks for any existing building on each of the immediate adjoining sites;</p> <p>(c) not less than for any building retained on the site;</p> <p>(d) in accordance with any building area shown on a sealed plan of subdivision; or</p> <p>(e) if the site abuts a road shown in the Table to this clause, the setback specified for that road; or</p> <p>(f) if the site is in a locality shown in the Table to this clause, the setback for that locality.</p>	<p>(c) Not applicable. Satisfied by (a).</p> <p>(d) Not applicable. Sealed plan does not show a building area.</p> <p>(e) Not applicable. Site does not abut the Bass Highway.</p> <p>(f) Not applicable. Locality not shown in Table to this Clause.</p>
<p>13.4.3–(A2) All buildings must be contained within a building envelope determined by:</p> <p>(a) the applicable frontage setback;</p> <p>(b) a setback of not less than 10.0m from each side boundary;</p> <p>(c) a setback of not less than 10.0m from the rear boundary;</p> <p>(d) a setback of not less than 20.0m from any designated building area on each adjacent site; or</p> <p>(e) if the site is in a locality shown in the Table to this</p>	<p>(a) Compliant as discussed above.</p> <p>(b) Non-compliant. Proposal includes retaining walls that would be setback 5.3m at the closest point from the western side boundary.</p> <p>Refer to the “Issues” section of this report.</p> <p>(c) Not applicable. The site does not have a rear boundary.</p> <p>(d) Not applicable. No designated building area.</p> <p>(e) Not applicable. No Table to this Clause.</p>

<p>clause, the setback for that locality; or</p> <p>(f) any building area shown on a sealed plan of subdivision; and</p> <p>(g) building height of not more than 8.5m.</p>	<p>(f) Not applicable. No sealed area on a plan of subdivision.</p> <p>(g) Compliant. Proposed dwelling would be a maximum of 5.5m high.</p>
<p>13.4.3–(A3) Site coverage must:</p> <p>(a) be not more than 500m²; and</p> <p>(b) not include any part of a site required for the disposal and drainage of sewage or stormwater; or</p> <p>(c) be not more than any building area shown on a sealed plan of subdivision.</p>	<p>(a) Compliant. Site coverage would be 270m².</p> <p>(b) Compliant. Development would be clear of stormwater and wastewater disposal areas.</p> <p>(c) Not applicable. No building area shown on a sealed plan for subdivision.</p>
<p>13.4.3–(A4)</p> <p>(a) A utility structure must be a power pole, antenna or a single domestic-scale turbine to a maximum of 10m in height which is –</p> <p>(i) not part of a wind farm;</p> <p>(ii) not sited on a skyline; and</p> <p>(iii) if a wind turbine, not located within 60m a dwelling in other ownership not within 30m of a public road.</p>	<p>(a) Not applicable. No utility structure proposed.</p> <p>(b)(i) Compliant. Site is located approximately 20m below the adjoining ridgeline.</p> <p>(b)(ii) Compliant. No watercourses within the vicinity of the site.</p> <p>(b)(iii) Compliant. Plans show colours would have a light reflectance value of less than 40%. Condition of Permit required.</p>

<p>(b) A building, except a utility structure must be –</p> <ul style="list-style-type: none"> (i) located not less than 15m below the level of any adjoining ridgeline; (ii) not less than 30m from any shoreline to a marine or aquatic water body, water course, or wetland; and (iii) clad and roofed with materials with a light reflectance value of less than 40%. 	
<p>13.4.4 Acoustic and visual privacy for residential development</p>	
<p>13.4.4–(A1) A door or window to a habitable room or any part of a balcony, deck, roof garden, parking space, or carport of a building must:</p> <ul style="list-style-type: none"> (a) be not less than 10.0m from a side boundary and 10.0m from a rear boundary to adjoining land in any zone for residential purposes; or (b) be not less than 10.0m from a door or window to a habitable room or any part of a balcony, deck, or roof garden in an adjacent dwelling. 	<ul style="list-style-type: none"> (a) Compliant. Dwelling would be setback greater than 10m to each side boundary. (b) Compliant. Dwelling would be setback greater than 10m to each side boundary.

13.4.4–(A2) An access strip or shared driveway, including any pedestrian pathway and parking area, must be separated by a distance of not less than 5.0m horizontally from the door or window to a dwelling, or any balcony, deck, or roof garden in a dwelling.	Not applicable. No access strip proposed.
13.4.5 Private open space for multiple dwelling residential use	
13.4.5–(A1) Each dwelling in a multiple dwelling must have external private open space that: (a) is accessible from the dwelling; (b) comprises an area of not less than 50.0m ² ; (c) has a minimum dimension of 5.0m; (d) has a gradient of not more than 1 in 10.	Not applicable. Not a multiple dwelling development.
13.4.5–(A2) The required minimum private open space area must receive not less than two hours of continuous sunlight between 9.00am and 5.00pm on 21 June.	Not applicable. Not a multiple dwelling development.
13.4.6 Setback of sensitive use development	
13.4.6–(A1) A building containing a sensitive use must be contained within a building envelope determined by:	(a) Compliant. Dwelling would be setback greater than 10m to Rural Resource zone.

<p>(a) the setback distance from the zone boundary as shown on the Table to this clause; and</p> <p>(b) projecting upward and away from the zone boundary at an angle of 45 degrees above the horizontal from a wall height of 3.0m at the setback distance from the zone boundary.</p>	<p>(b) Compliant. Dwelling would be setback greater than 10m to Rural Resource zone.</p>
<p>13.4.6–(A2) Development for a sensitive use must be not less than 50.0m from:</p> <p>(a) the Bass Highway;</p> <p>(b) a railway;</p> <p>(c) land designated in the planning scheme for future road or rail purposes; or</p> <p>(d) a proclaimed wharf area.</p>	<p>(a) Compliant. Proposed development would be setback approximately 630mm from Bass Highway.</p> <p>(b) Compliant. Proposed development would be approximately 2km from the Western Rail Line.</p> <p>(c) Not applicable. No land designated for future road or rail purposes.</p> <p>(d) Compliant. The closest proclaimed wharf is located at Devonport approximately 15km to the east.</p>
13.4.7 Subdivision	
<p>13.4.7–(P1) Each new lot on a plan of subdivision must be:</p> <p>(a) intended for residential use;</p>	<p>Not applicable.</p> <p>No subdivision proposed.</p>

(b) a lot required for public use by the State Government, a Council, a statutory authority, or a corporation, all the shares of which are held by or on behalf of the State, a Council, or by a statutory authority.	
13.4.7–(A2) A lot other than a lot to which A1(b) applies, must not be an internal lot.	Not applicable. No subdivision proposed.
13.4.8 Reticulation of an electricity supply to new lots on a plan of subdivision	
13.4.8–(A1) Electricity reticulation and site connections must be installed underground.	Not applicable. No subdivision proposed.
CODES	
E1 Bushfire-Prone Areas Code	Not applicable for residential use.
E2 Airport Impact Management Code	Not applicable. No Code in the Planning Scheme.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing or conversion of vegetation.
E4 Change in Ground Level Code	Not applicable. No change in ground level greater than 1 m.

E4.6 Development Standards	
<p>E4.6.1–(A1) Cut or fill must:</p> <p>(a) not be on land within the Environmental Living zone or the Environmental Management zone;</p> <p>(b) be required to:</p> <p>(i) provide a construction site for buildings and structures;</p> <p>(ii) facilitate vehicular access;</p> <p>(iii) mitigate exposure to a natural or environmental hazard;</p> <p>(iv) facilitate provision of a utility;</p> <p>(v) assist the consolidation or intensification of development; or</p> <p>(vi) assist stormwater management;</p> <p>(c) not result in a modification of surface stormwater water flow to increase:</p>	<p>(a) Compliant. Land is zoned Rural Living.</p> <p>(b)(i) Compliant. Proposal is for a dwelling.</p> <p>(b)(ii) Not applicable. Satisfied by (i) and (ii).</p> <p>(b)(iii) Not applicable. Satisfied by (i) and (ii).</p> <p>(b)(iv) Not applicable. Satisfied by (i) and (ii).</p> <p>(b)(v) Not applicable. Satisfied by (i) and (ii).</p> <p>(b)(vi) Not applicable. Satisfied by (i) and (ii).</p> <p>(c) Compliant. Retaining walls would incorporate drainage infrastructure. Condition of Permit in relation to Stormwater Management.</p> <p>(d) Compliant. Retaining walls would be of engineered design.</p> <p>(e) Compliant. Condition of Permit in relation to Stormwater Management.</p> <p>(f) Compliant by condition of Permit in relation to Stormwater Management.</p>

<ul style="list-style-type: none"> (i) surface water drainage onto adjacent land; (ii) pooling of water on the site or on adjacent land; or (iii) the nature or capacity of discharge from land upstream in a natural or artificial drainage channel; (d) not destabilise any existing building or increase the requirements for construction of any potential building on adjacent land; (e) manage disposal of intersected ground water; (f) safeguard the quality of receiving waters through measures to minimise erosion and release of sediments and other contaminants during each of the site preparation, construction and rehabilitation phase in accordance with Soil and Water Management on Building and Construction Sites 2009; (g) not require a retaining or support structure that would result in a 'line of influence' of more than 450mm into any adjacent land unless the owner of adjacent land has provided written consent to enter into an agreement under Part 5 <i>Land Use Planning and Approvals Act 1993</i> 	<ul style="list-style-type: none"> (g) Compliant. Plans show that no retaining wall or support structure would result in a 'line of influence' into adjoining land. (h) Compliant. No cut or fill would encroach upon or expose, disturb, or reduce cover over an underground utility.
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<p>registered on the title of adjacent land to provide for the level of constraint; and</p> <p>(h) not encroach upon or expose, disturb, or reduce cover over an underground utility to less than 1.0m unless the relevant regulatory entity has advised:</p> <p>(i) it is satisfied the cut or fill will not result in harm to the utility; and</p> <p>(ii) any condition or requirement it determines are appropriate to protect the utility.</p>	
E5 Local Heritage Code	Not applicable. No Local Heritage Code in the Planning Scheme.
E6 Hazard Management Code	Applicable. Site has medium landslip.
E6.5 Use Standards	
E6.5.1 Use on potentially contaminated land	
<p>E6.5.1–(A1) Use must not occur on land potentially contaminated by a previous use for an activity listed in Table E6.1 unless:</p> <p>(a) soil disturbance and development is carried out in accordance with requirements in a hazard risk</p>	Not applicable. The proposed land is not land that has potentially contaminated soil by a previous use or activity listed in table E6.1.

<p>assessment for contamination;</p> <p>(b) a hazard risk assessment for potential contamination establishes the site can be remediated to provide a tolerable level of risk for the use; or</p> <p>(c) a hazard risk assessment establishes the site has been remediated to provide a tolerable level of risk.</p>	
<p>E6.5.2 Use likely to be exposed to a natural hazard</p>	
<p>E6.5.2-(A1) If a use is on land within an area of risk from exposure to a natural hazard as shown on a map forming part of this planning scheme:</p> <p>(a) use must not be for a critical use, a hazardous use, or a vulnerable use;</p> <p>(b) use must not be residential use if the level of risk is medium or higher; and</p> <p>(c) a hazard risk assessment must demonstrate a tolerable level of risk can be achieved and maintained for the nature and duration of the use.</p>	<p>(a) Compliant. The site has an area subject to Medium landslide. The use is not a hazardous use, or a vulnerable use.</p> <p>(b) Compliant. The site would be residential. The level of risk, as per the geotechnical report, would be low to high, providing recommendations within the report are undertaken. Therefore, there is a need for specific conditions to ensure all works are undertaken in accordance with this report, and in a timely manner.</p> <p>(c) Compliant. The application was accompanied with a Landslide Hazard Assessment Report prepared by Geo-Environmental Solutions, Job No. 712806, Version 2 dated February 2021, concluding that providing the development of the site is in accordance with the</p>

	recommendations made, the development is considered acceptable.
E6.6 Development Standards	
E6.6.1 Development on potentially contaminated land	
<p>E6.6.1-(A1) Development must not occur on land potentially contaminated by a previous use for an activity listed in the Table E6.1 to this clause unless:</p> <ul style="list-style-type: none"> (a) soil disturbance and development is carried out in accordance with the requirements of a hazard risk assessment for contamination; (b) a hazard risk assessment establishes the site can be remediated to provide a tolerable level of risk from the development; or (c) a hazard risk assessment establishes the site has been remediated to provide a tolerable level of risk from the development; and (d) if a hazard risk assessment establishes need to involve land on another title to manage risk consistent with the objective, the consent in writing of the owner of that land must be provided to enter into a Part 5 agreement 	<p>Not applicable.</p> <p>The proposed land is not land that has potentially contaminated soil by a previous use or activity listed in table E6.1.</p>

<p>to be registered on the title of the land and providing for the affected land to be managed in accordance with recommendations for contamination management.</p>	
<p>E6.6.2 Development on land exposed to a natural hazard</p>	
<p>E6.6.2-(A1) If the site is within an area of risk shown on a natural hazard map forming part of this planning scheme:</p> <p>(a) a hazard risk assessment must determine:</p> <p>(i) there is an insufficient increase in risk to warrant any specific hazard reduction or protection measure; or</p> <p>(ii) a tolerable level of risk can be achieved for the type, form, scale and duration of the development; and</p> <p>(b) if a hazard risk assessment established need to involve land on another title for hazard management consistent with the objective, the consent in writing of the owner of that land must be provided to enter into a Part 5 agreement to be registered on the tile of the land and providing for the affected land to be managed in</p>	<p>(a)(ii) Compliant. The application was accompanied with a Landslide Hazard Assessment Report prepared by Geo-Environmental Solutions, Job No. 712806, Version 2 dated February 2021. The report concludes that, providing the development of the site is in accordance with the recommendations made, the development is considered acceptable. Therefore, there is a need for specific conditions to ensure all works are undertaken in accordance with this report, and in a timely manner.</p> <p>(a)(ii) Compliant. The application was accompanied with a Landslide Hazard Assessment Report prepared by Geo-Environmental Solutions, Job No. 712806, Version 2 dated February 2021. The report concludes that, providing the development of the site is in accordance with the recommendations made, the development is considered acceptable.</p>

accordance with recommendations for hazard management.	(b) Not applicable. The hazard risk assessment does not establish the need to involve land on another title for hazard management consistent with the objective.
E7 Sign Code	Not applicable. No signage proposed.
E8 Telecommunication Code	Not applicable. No telecommunications proposed.
E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	Code applies to all development.
E9.4 Use or development exempt from this Code	Not exempt. No Local Area Parking Scheme applies to the site.
E9.5 Use Standards	
E9.5.1 Provision for parking	
E9.5.1–(A1) Provision for parking must be: (a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;	Compliant. Dwelling would have an attached double garage.
E9.6 Development Standards	

E9.6.2 Design of vehicle parking and loading areas	
E9.6.2 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and	Compliant by a Condition on a Permit.
<p>E9.6.2 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and maneuvering area must –</p> <ul style="list-style-type: none"> (a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking; (b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles; (c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities; (d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities; (e) Each parking space must be separately accessed from the internal circulation aisle within the site; (f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a 	<p>(a) Compliant. The site has ample land area to accommodate vehicle maneuverability in accordance with Australian Standards.</p>

loading or parking space; and (g) Be formed and constructed with compacted sub-base and an all-weather surface.	
E9.6.2–(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.	Compliant by Condition to a Permit.
E10 Water and Waterways Code	Not applicable. No watercourse is within 30m to the site.
Specific Area Plans	No Specific Area Plans apply to this location.

Issues –

1 Suitability of a site or lot for use or development –

The Planning Scheme's Acceptable Solution for Clause 13.4.1–(A1)(i) states that each site or each lot on a plan of subdivision must have an area of not less than 1 ha.

The development site has an area of 7,493m². The proposal requires variation to this standard and an exercise of discretion is required to allow for development on the land.

The Planning Scheme's Performance Criteria for Clause 13.4.1–(P1) states that a site must be consistent with the Rural Living Zone Purpose, Local Area Objectives and Desired Future Character Statements and have regard to –

- (i) the number, size and distribution of existing and approved lots on land in the vicinity;

Compliant. There are 27 Rural Living zoned lots within the vicinity of the development site. All, but one of these lots have an area of less than 1 ha.

- (ii) the pattern, intensity and character of established use and development on other lot in the vicinity;

Compliant. Majority (all but four) of the Rural Living zoned lots within the vicinity of the development site, are developed for residential purpose with a single dwelling and associated outbuildings.

- (iii) the capacity of an available or planned utilities; and

Compliant. The development site can be serviced with sewage, water and stormwater with a reliance on on-site systems.

- (iv) capability of the land to accommodate residential use.

Compliant. The proposed dwelling can satisfy all development setback requirements, apart from a variation to the western side setback to accommodate retaining walls.

Furthermore, the site must be of sufficient size for the intended use having regard to the effect of one or more of the following:

(i) Topography;

Compliant. The site had a 30m fall across the site, upwards and away from Castra Road (east to west). Due to substantial change in ground level (refer to history section of this report), the dwelling would be constructed on a reasonably flat area of the site.

(ii) Natural drainage of the land and the land in the vicinity;

Compliant. Condition of Permit would be for the disposal of stormwater from buildings and hard surfaces to be contained on-site.

(iii) The desirability of protecting native vegetation, landscape features, natural and cultural values;

Compliant. There is minimal vegetation on the site. No further removal of vegetation is required for the construction of the dwelling and associated retaining walls. There are no watercourses that run through the site.

(iv) Provision for management of exposure to natural hazards;

Compliant. The site is covered in Medium landslip. Accompanying Landslide Hazard Report outlines several requirements to be undertaken to ensure the stability of the site. Condition of Permit includes this report.

(v) Provision of an accessible building area;

Compliant. The proposed dwelling can satisfy all development setback requirements, apart from a variation to the western side setback to accommodate retaining walls.

(vi) Compliance to the acceptable solution criteria in any applicable standard for location and separation of a building;

Compliant. The proposed dwelling can satisfy all development setback requirements, apart from a variation to the western side setback to accommodate retaining walls.

- (vii) Arrangements for the convenient provision of roads and access to the land;

Compliant. Development site would have two accesses from Brookvale Road (refer to Annexure 5 regarding the Statement of Compliance from the Road Authority and the Stormwater Authority).

- (viii) Arrangements for the provision of a water supply and of the drainage and disposal of sewage and stormwater;

Compliant. Proposal is for on-site wastewater, water and stormwater disposal.

- (ix) Any restriction or requirement of a lawful easement or statutory interest in the land; and

Compliant. No restriction or requirement of a lawful easement or statutory interest in the land.

- (x) Opportunity for solar access to a building area.

Compliant. The proposed dwelling has some provisions for living areas to the north-west that would allow some opportunity for solar access to the building.

2 *Dwelling density –*

The Planning Scheme's Acceptable Solution for Clause 13.4.2–(A1) states that the site area per dwelling must be not less than 1 ha.

The development site has a site area of 7,493m². The proposal requires a variation to this standard and an exercise of discretion is required for the development of the land.

The Planning Scheme's Performance Criteria for Clause 13.4.1–(P1) states that a site must be consistent with the Rural Living Zone Purpose, Local Area Objectives and Desired Future Character statements and having regard to –

- (i) The size of any existing or approved lot or site on land in the vicinity; and

Compliant. There are 27 Rural Living zoned lots within the vicinity of the development site. All but one of these lots have an area of less than 1 ha.

- (ii) The pattern, intensity and character of established use and development on other lots in the vicinity.

Compliant. Majority (all but four) of the Rural Living zoned lots within the vicinity of the development site, are developed for residential purpose with a single dwelling and associated outbuildings.

Furthermore, the capability of the land for residential use having regard to the effect of one or more of the following:

- (i) Topography;

Compliant. The site had a 30m fall across the site, upwards and away from Castra Road (east to west). Due to substantial change in ground level (refer to history section of this report), the dwelling would be constructed on a reasonably flat area of the site.

- (ii) Natural drainage of the land and the land in the vicinity;

Compliant. Condition of Permit would be for the disposal of stormwater from buildings and hard surfaces to be contained on-site.

- (iii) The desirability of protecting native vegetation, landscape features, natural and cultural values;

Compliant. There is minimal vegetation on the site. No further removal of vegetation is required for the construction of the dwelling and associated retaining walls. There are no watercourses that run through the site.

- (iv) Provision for management of exposure to natural hazards;

Compliant. The site is covered in Medium landslip. Accompanying Landslide Hazard Report outlines several

requirements to be undertaken to ensure the stability of the site. Condition of Permit includes this Report.

- (v) Provision of an accessible building area;

Compliant. The proposed dwelling can satisfy all development setback requirements, apart from a variation to the western side setback to accommodate retaining walls.

- (vi) Compliance to the acceptable solution criteria in any applicable standard for location and separation of a building;

Compliant. The proposed dwelling can satisfy all development setback requirements, apart from a variation to the western side setback to accommodate retaining walls.

- (vii) Arrangements for the convenient provision of roads and access to the land;

Compliant. Development site would have two accesses from Brookvale Road (refer to Annexure 5 regarding the Statement of Compliance from the Road Authority and the Stormwater Authority).

- (viii) Arrangements for the provision of a water supply and of the drainage and disposal of sewage and stormwater;

Compliant. Proposal is for on-site wastewater, water and stormwater disposal.

- (ix) Any restriction or requirement of a lawful easement or statutory interest in the land; and

Compliant. No restriction or requirement of a lawful easement or statutory interest in the land.

- (x) Opportunity for solar access to a building area.

Compliant. The proposed dwelling has some provisions for living areas to the north-west that would allow some opportunity for solar access to the building.

3 *Location and configuration of development –*

The Planning Scheme's Acceptable Solution for Clause 13.4.3-(A2) states that a building must be contained within a building envelope determined by (b) a setback of not less than 10m from a side boundary.

The proposal includes retaining walls that would be located 5.3m (at the closest point) from the western side boundary. This is a variation to the requirement and an exercise of discretion is required to allow the development.

The Planning Scheme's Performance Criteria for Clause 13.4.3-(P2) states that a building height and location of a building in relation to site boundaries must –

- (a) minimise likelihood for overshadowing of a habitable room in an adjacent dwelling on the site;

Compliant. The retaining walls would be 1.2m high, which means there would be no likelihood for overshadowing of a habitable room in an adjacent dwelling.

- (b) take account of the relationship between appearance and design characteristics of the buildings and any buildings on adjacent land;

Compliant. The proposed dwelling would be setback approximately 31.7m from the closest dwelling. This is a consistent separation distance between dwellings within the vicinity. The variation is to allow the construction of retaining walls which would be 1.2m high.

- (c) minimise the apparent scale, bulk, massing and proportion relative to any adjacent building;

Compliant. The proposed dwelling would be setback approximately 31.7m from the closest dwelling. This is a consistent separation distance between dwellings within the vicinity. The variation is to allow the construction of retaining walls which would be 1.2m high which would not have any

impacts in terms of apparent scale, bulk, massing and proportion relative to any adjacent building.

- (d) be consistent with the rural setting and the streetscape;

Compliant. The proposed development would be in an area that comprises single dwellings and associated outbuildings. The proposed development is considered consistent with the surrounding rural area.

- (e) respond to the effect of the slope and orientation of the site to attenuate impact on adjacent land.

Compliant. As mentioned above, the proposed dwelling would be setback approximately 31.7m from the closest dwelling. Furthermore, the said closest dwelling is positioned higher than the proposed dwelling, due to the slope of the land in the area. The variation to allow the construction of the 1.2m high retaining walls will not have any negative visual impacts on adjacent buildings.

Referral advice –

Referral advice from the various Departments of the Council and other service providers is as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	Signed off internal referral stating no issues.
Infrastructure Services	Statement of Compliance from the Council, in its capacity as the Road Authority and the Stormwater Authority, has been issued. Refer to Annexure 5.
Building Services	Note to be included on the Permit.
TasWater	Referral not required.
Department of State Growth	Referral not required.
Environment Protection Authority	Referral not required.

TasRail	Referral not required.
Heritage Tasmania	Referral not required.
Crown Land Services	Referral not required.
Other	Referral not required.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- . a site notice was posted;
- . letters to adjoining owners were sent; and
- . an advertisement was placed in the Public Notices section of The Advocate.

Representation –

One representation was received within the prescribed time, a copy of which is provided at Annexure 3.

The representation was received on 11 October 2021. The representation was submitted by Glynn Williams Legal on behalf of Dorothy Bellinger and was unsigned due to technical issues when submitting. A signed copy of the representation was lodged at the Council on 20 October 2021. Both have been included (refer to Annexure 3).

The representation is summarised and responded to as follows:

MATTER RAISED	RESPONSE
1 Works has already been undertaken.	<p>Works that have already occurred on the site are noted with the application. Description of the proposal includes <i>retrospective application for substantial change in ground level</i>.</p> <p>Refer to the 'History' section of this report which outlines works undertaken on the site without the required approvals and the process</p>

	the Council took to rectify this matter.
2 Works already undertaken places property at 4 Brookvale Road at risk of landslip due to significant undercutting of 4 Brookvale Road and the closeness of works to the boundary of the two properties.	<p>The Landslide Hazard Assessment Report, as prepared by Geo-Environmental Solutions, includes a section (section 4.2 Risk Analysis) which outlines risk to property both during proposed construction and post-construction. This section includes a statement that <i>“it is thought that the constructed cut batters on site are steeper than what GES would recommend for ongoing stability at the site. As such, extra recommendations must be made to remediate this issue”</i>.</p> <p>The report further includes requirements set out in the Risk Analysis and Conclusion and Recommendations sections.</p> <p>Due to the significant works undertaken without approvals, and the potential risk of landslip on the development site and adjoining land, specific conditions are recommended to include the Landslide Hazard Assessment Report and to specifically outline sections within this Report and the order of works on the site. The site will need to be stabilised with the retaining walls, prior to any further works, or site preparations or dwelling construction. All retaining walls works must be completed within 12 months.</p>

<p>3 Works undertaken without any consultation with the Central Coast Council and ignored the Council's planning processes.</p>	<p>Refer to the 'History' section of this report which outlines works undertaken without approval on the site and the process the Council took to rectify this matter.</p>
<p>4 Noted that the development site falls within a shallow slide and flow susceptibility and has deep seated slide susceptibility. Given works completed by the applicant, the representor has significant concerns that these works will create a greater landslip risk to the representor's property.</p>	<p>The Landslide Hazard Assessment Report, as prepared by Geo-Environmental Solutions outlined the characteristics of the site and landslide susceptibility.</p> <p>As stated in representation matter No. 2 above, the Landslide Hazard Assessment Report includes a section (section 4.2 Risk Analysis) which outlines risk to property both proposed construction and post-construction. This section includes a statement that <i>"it is thought that the constructed cut batters on site are steeper than what GES would recommend for ongoing stability at the site. As such, extra recommendations must be made to remediate this issue"</i>.</p> <p>The report further includes requirements set out in the Risk Analysis and Conclusion and Recommendations sections.</p> <p>Due to the significant works undertaken without approvals, and the potential risk of landslip on the development site and adjoining land, specific conditions to include the Landslide Hazard Assessment Report and to specifically outline sections within this Report and the order of works on the site. The site will need to be stabilised with the retaining walls, prior to any further</p>

	works, or site preparations or dwelling construction. All retaining walls works must be completed within 12 months.
<p>5 Concern regarding access to the development site. Representor was the original subdivider and was advised by Central Coast Council that a driveway entrance as shown on the plans would not be allowed. Furthermore, only access that would be allowed would be at the eastern end of Brookvale Road, noting there are covenants on the Title disallowing access from Castra Road.</p>	<p>Following are comments from Council's Development Officer, in the capacity of the Council's Road Authority.</p> <p><i>AS2890.1-2004 (Figure 3.1 Prohibited locations of access driveways) specifies that driveways are prohibited to be formed within 6 metres of the tangent point of a kerb. Both driveways proposed on Brookvale Road are at a distance more than 6m from the tangent point at the intersection of Brookvale Road and Castra Road.</i></p> <p>The representor has undertaken two subdivisions within the vicinity of the development site. There were restrictions placed on another of the representor's subdivisions, which related to lots north of the development site. However, it appears that no such conditions were placed on the development site when it was subdivided, and no evidence was provided with the representation regarding previous discussions with the Council about access points.</p>
<p>6 States that the proposal is not in accordance with the setback requirement of 20m to the common boundary between the representor and development site. Due to this reason and works already undertaken, there</p>	<p>The Planning Scheme's Acceptable Solution setback requirement to the representors and development site common boundary is 10m. This boundary is considered a side boundary.</p>

<p>is further risk of landslip at the representor property.</p>	<p>The 20m setback requirement is to a road frontage, which would be the development site's eastern and southern boundary.</p> <p>Regardless, the proposal seeks a variation to the western side boundary for the construction of 1.2m high retaining walls. These retaining walls would be setback 5.3m, at the closest point, to the western side boundary. Please refer to Issue No. 3 for the assessment against the applicable Performance Criteria and considered compliance with this provision.</p> <p>It is noted that the proposed dwelling would be setback a 16.7m from the western side boundary, which exceeds the Acceptable Solution setback requirement of 10m.</p>
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RESOURCE, FINANCIAL AND RISK IMPACTS

The development application may be appealed by either the applicant or the representor. An appeal would impact on Council resources outside those usually required for assessment and reporting and would involve legal costs associated with an appeal against the Council's determination, should one be instituted. There may be an impact on Council resources in relation to ensuring compliance with Permit conditions.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The representation does not contain sufficient merit to refuse the application.

It does, however, justify the need for specific conditions due to the landslip hazard characteristics of the site, the extent of unlawful retrospective works undertaken to date and the need to stabilise the site, prior to any further works, preparation of the site and/or construction of the dwelling.

The application was discretionary due to the lot size, site density and variation to the western side boundary. All discretionary matters have been addressed within the “Issues” section and are considered to have satisfied the applicable Planning Scheme’s Performance Criteria.

Aside from the extensive cut that has been undertaken across the site, the proposed development is considered to be reasonable development within the Rural Living zone and would be keeping with development in the established area. It is considered appropriate that the proposal be approved, subject to conditions.

Recommendation –

It is recommended that the application for Residential – dwelling, retaining walls and retrospective application for substantial change in ground level – Suitability of a site or lot for use or development; Dwelling density and Location and configuration of development at CT128570/7 Brookvale Road, Ulverstone – Application No. DA2021004 be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by Wilson Homes, Project No. 712806, Sheet Nos. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 and 17 received 25 February 2021 and Retaining Wall Plans by Civilvision Consulting, Project No. 21159, Revision 1, Drawing Nos. 00, S01 and S02 dated 3 September 2021.
- 2 The development must be in accordance with the recommendations contained in the Onsite Wastewater Assessment Report prepared by Geo-Environmental Solutions, Wilson Homes Job No. 712806 dated 21 December 2020.
- 3 The development must be in accordance with the findings, conclusions and recommendations contained in the Landslide Hazard Assessment Report as prepared by Geo-Environmental Solutions, Job No. 712806, Version No. 2 dated February 2021.

- 4 To safeguard the stability of the site:
 - (a) all retaining walls must be completed prior to any further works, site preparations and construction of the dwelling; and
 - (b) all retaining walls must be completed within 12 months from the date of the issue of this Permit, being DA2021004.
- 5 At the completion of any works associated with this Permit (retaining walls and dwelling), a statement must be provided by the author of the Landslide Hazard Assessment Report certifying the works have been undertaken and completed in accordance with the Discussion and Recommendations contained in the Landslide Hazard Assessment Report as prepared by Geo-Environmental Solutions, Job No. 712806, Version No. 2 dated February 2021.
- 6 The development must be in accordance with the conditions of the Statement of Compliance for Vehicular Access and Drainage Access dated 2 November 2021, issued by the Council, acting in its capacity as the Road Authority and the Stormwater Authority.
- 7 The development must make provision of a suitable rechargeable drinking water system with a storage capacity of not less than 10,000 litres.
- 8 Driveways and vehicle parking and manoeuvring areas must be formed and constructed with a compacted sub-base and an all-weather surface.
- 9 Vehicle parking and manoeuvring areas must be designed in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking.
- 10 The development must not result in a modification of surface stormwater water flow to increase –
 - (i) surface water drainage onto adjacent land; or
 - (ii) the pooling of water on the site or on adjacent land.
- 11 The development must not destabilise any existing building or increase the requirements for construction of any potential building on adjacent land.

- 12 The development must not require a retaining wall or support structure that would result in an area of influence within the boundary of adjacent land.
- 13 The dwelling must be clad and roofed with materials with a light reflectance value of less than 40%.

Please note:

- 1 A Planning Permit remains valid for two years. If the use and/or development has not substantially commenced within this period, an extension may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 "Substantial commencement" is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site, or an arrangement of a Private Works Authority or bank guarantee to undertake such works.
- 3 Prior to the commencement of work the applicant is to ensure that the category of work for any proposed building, plumbing and/or demolition work is defined using the Determinations issued under the *Building Act 2016* by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work. It is recommended the Council's Building Permit Authority or a Building Surveyor be contacted should clarification be required.'

The Town Planner's report is supported."

The Executive Services Officer reports as follows:

"A copy of the Annexures referred to in the Town Planner's report having been circulated to all Councillors, a suggested resolution is submitted for consideration."

■ "That the application for Residential – dwelling, retaining walls and retrospective application for substantial change in ground level – Suitability of a site or lot for use or development; Dwelling density and Location and configuration of development at CT128570/7 Brookvale Road, Ulverstone – Application No. DA2021004 be approved subject to the following conditions and notes:

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- 4 To safeguard the stability of the site:
 - (a) all retaining walls must be completed prior to any further works, site preparations and construction of the dwelling; and
 - (b) all retaining walls must be completed within 12 months from the date of the issue of this Permit, being DA2021004.
- 5 At the completion of any works associated with this Permit (retaining walls and dwelling), a statement must be provided by the author of the Landslide Hazard Assessment Report certifying the works have been undertaken and completed in accordance with the Discussion and Recommendations contained in the Landslide Hazard Assessment Report as prepared by Geo-Environmental Solutions, Job No. 712806, Version No. 2 dated February 2021.
- 6 The development must be in accordance with the conditions of the Statement of Compliance for Vehicular Access and Drainage Access dated 2 November 2021, issued by the Council, acting in its capacity as the Road Authority and the Stormwater Authority.
- 7 The development must make provision of a suitable rechargeable drinking water system with a storage capacity of not less than 10,000 litres.
- 8 Driveways and vehicle parking and manoeuvring areas must be formed and constructed with a compacted sub-base and an all-weather surface.
- 9 Vehicle parking and manoeuvring areas must be designed in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking.

- 10 The development must not result in a modification of surface stormwater water flow to increase –
 - (i) surface water drainage onto adjacent land; or
 - (ii) the pooling of water on the site or on adjacent land.
- 11 The development must not destabilise any existing building or increase the requirements for construction of any potential building on adjacent land.
- 12 The development must not require a retaining wall or support structure that would result in an area of influence within the boundary of adjacent land.
- 13 The dwelling must be clad and roofed with materials with a light reflectance value of less than 40%.

Please note:

- 1 A Planning Permit remains valid for two years. If the use and/or development has not substantially commenced within this period, an extension may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 "Substantial commencement" is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site, or an arrangement of a Private Works Authority or bank guarantee to undertake such works.
- 3 Prior to the commencement of work the applicant is to ensure that the category of work for any proposed building, plumbing and/or demolition work is defined using the Determinations issued under the *Building Act 2016* by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work. It is recommended the Council's Building Permit Authority or a Building Surveyor be contacted should clarification be required."

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INFRASTRUCTURE SERVICES

10.8 Greening Central Coast Strategy

The Director Infrastructure Services reports as follows:

“The Manager Asset Services has prepared the following report:

‘PURPOSE

The purpose of this report is to recommend adoption of the Greening Central Coast Strategy (the Strategy).

BACKGROUND

The Greening Central Coast Strategy was initiated and developed from the Council’s Annual Plan 2019–2020 that identified the strategic action to develop a Central Coast Tree Strategy. Rather than undertake the Strategy’s review in isolation, the it was decided to look at the urban areas holistically and combine the Street Tree Strategy with the Open Space Tree Strategy.

DISCUSSION

The Council has a number of strategies and policies pertaining to vegetation:

- . Vegetation Management Policy, October 2019;
- . Vegetation Management Strategy, June 2019;
- . Open Space Tree Strategy, June 2016;
- . Street Tree Strategy, July 2010;
- . Integrated Natural Resource Management Plan, February 2010.

However, there was no overarching document that provided clear direction regarding the management of its green infrastructure assets, both for enhancing the quality of life for Central Coast residents, but also the resilience of the Local Government Area in the context of climate change impacts.

Green infrastructure is a settlement’s natural life support system. It provides multiple measurable social, environmental, and economic benefits and helps to address climate change. Green infrastructure is one of the most fundamental ways of ameliorating the impacts of addressing climate change and providing a sustainable community. Increasing canopy cover is the simplest form of green infrastructure.

This process identified eight notable elements:

Greening Central Coast Strategy Report	Comprehensive report detailing the development and background information to support the Greening Central Coast Strategy.
Name change	Tree Strategy now called Greening Central Coast Strategy.
Strategy Scope	The Strategy focuses on a holistic approach of canopy cover for not only street trees but also open space and road reserves and has been “promoted” to sit above and guide the Natural Resource Management Plan, Vegetation Management Plan and Municipal Weed Plan.
Strategic Vision	30% canopy cover by 2030.
Canopy cover baseline and priorities	The Strategy discusses canopy cover within Central Coast and identifies priority areas for action.
Objectives and Actions	The Strategy includes 18 actions for implementation across four objectives.
Implementation Plan	Actions are prioritised for implementation.
Table 1: Street Tree Species Identified for Required Plantings.	Has been replaced by; Action 1.3 Develop planting palettes that consider climate adaptability and “fit for”. Each precinct will have its own planting palette developed identifying suitable species for planting.

CONSULTATION

To achieve the development of the Strategy, an Expression of Interest process was undertaken, and a Working Group of 13 representatives commenced in February 2021. The Working Group membership encompasses community members and Council staff. An external consultant was engaged to facilitate the process, which included the development of a baseline canopy cover dataset. A draft Strategy was developed through a series of four workshops with the Working Group.

The draft Strategy was presented at the 27 September 2021 Councillor Workshop, following refinement, a two-week public consultation phase was conducted between 8 to 22 October 2021. Five public responses were received. The Greening Central Coast Strategy Working Group considered the public responses and made two changes to the Strategy as below:

Implementation Plan	Bring forward a year to 2022. Action 4.1 – Develop a Marketing Plan including digital opportunities to highlight positive, “good news stories” and to promote the Green Infrastructure message.
Glossary	The inclusion of Biodiversity Index which is a measurement of the richness and complexity of flora and fauna species in a given area.

RESOURCE, FINANCIAL AND RISK IMPACTS

The consultancy costs were accommodated within the allocated budget estimate. The outcomes and implementation of the Strategy will require further resource allocation.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure

CONCLUSION

It is recommended that the Greening Central Coast Strategy dated October 2021 be adopted.

The Manager Asset Services report is supported.”

The Executive Services Officer reports as follows:

“A copy of the Greening Central Coast Strategy dated October 2021 having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the Greening Central Coast Strategy dated October 2021 (a copy being appended to and forming part of the minutes) be adopted.”

C O R P O R A T E S E R V I C E S

10.9 Statutory determinations

The Director Corporate Services reports as follows:

“A Schedule of Statutory Determinations made during the month of October 2021 is submitted to the Council for information. The information is reported in accordance with approved delegations and responsibilities.”

The Executive Services Officer reports as follows:

“A copy of the Schedule having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

■ “That the Schedule of Statutory Determinations (a copy being appended to and forming part of the minutes) be received.”

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11 CLOSURE OF MEETING TO THE PUBLIC

11.1 Meeting closed to the public

The Executive Services Officer reports as follows:

“The *Local Government (Meeting Procedures) Regulations 2015* provide that a meeting of a council is to be open to the public unless the council, by absolute majority, decides to close part of the meeting because one or more of the following matters are being, or are to be, discussed at the meeting.

Moving into a closed meeting is to be by procedural motion. Once a meeting is closed, meeting procedures are not relaxed unless the council so decides.

It is considered desirable that the following matters be discussed in a closed meeting:

Matter	<i>Local Government (Meeting Procedures) Regulations 2015</i> reference
Confirmation of Closed Session Minutes	15(2)(g) Information of a personal and confidential nature or information provided to the council on the condition it is kept confidential
Minutes and notes of other organisations and committees of the Council <ul style="list-style-type: none">Mersey–Leven Municipal Emergency Planning Committee – meeting held 10 March 2021Mersey–Leven Municipal Emergency Planning Committee – meeting held 9 June 2021Mersey–Leven Municipal Emergency Planning Committee – meeting held 8 September 2021Dulverton Waste Management Audit and Risk Committee – meeting held 27 October 2021Dulverton Waste Management Board – meeting held 27 October 2021	15(2)(g) Information of a personal and confidential nature or information provided to the council on the condition it is kept confidential.

Application for Leave of Absence	15(2)(h) Applications by councillors for a leave of absence
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A suggested resolution is submitted for consideration.”

- “That the Council close the meeting to the public to consider the following matters, they being matters relating to:

Matter	<i>Local Government (Meeting Procedures) Regulations 2015 reference</i>
Confirmation of Closed Session Minutes	15(2)(g) Information of a personal and confidential nature or information provided to the council on the condition it is kept confidential
Minutes and notes of other organisations and committees of the Council <ul style="list-style-type: none"> Mersey–Leven Municipal Emergency Planning Committee – meeting held 10 March 2021 Mersey–Leven Municipal Emergency Planning Committee – meeting held 9 June 2021 Mersey–Leven Municipal Emergency Planning Committee – meeting held 8 September 2021 Dulverton Waste Management Audit and Risk Committee – meeting held 27 October 2021 Dulverton Waste Management Board – meeting held 27 October 2021 	15(2)(g) Information of a personal and confidential nature or information provided to the council on the condition it is kept confidential
Application for Leave of Absence	15(2)(h) Applications by councillors for a leave of absence.”

The Executive Services Officer further reports as follows:

- “1 The *Local Government (Meeting Procedures) Regulations 2015* provide in respect of any matter discussed at a closed meeting that the general manager is to record in the minutes of the open meeting, in a manner that protects confidentiality, the fact that the matter was discussed and a brief description of the matter so discussed, and is not to record in the minutes of the open meeting the details of the outcome unless the council determines otherwise.
 - 2 While in a closed meeting, the council is to consider whether any discussions, decisions, reports or documents relating to that closed meeting are to be kept confidential or released to the public, taking into account privacy and confidentiality issues.
 - 3 The *Local Government Act 1993* provides that a councillor must not disclose information seen or heard at a meeting or part of a meeting that is closed to the public that is not authorised by the council to be disclosed.
- Similarly, an employee of a council must not disclose information acquired as such an employee on the condition that it be kept confidential.
- 4 In the event that additional business is required to be conducted by a council after the matter(s) for which the meeting has been closed to the public have been conducted, the Regulations provide that a council may, by simple majority, re-open a closed meeting to the public.”

Associated Reports And Documents

PENGUIN

TOWN CENTRE

MASTERPLAN AND STRATEGIES



**Complete
Streets**



JOHN MONGARD
LANDSCAPE ARCHITECTS



CENTRAL COAST COUNCIL
TASMANIA, AUSTRALIA

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EXECUTIVE SUMMARY

Executive Summary

Penguin is one of the best seaside villages in Australia. It has a unique one-sided Main Street (Main Road) with direct access and visibility to the beach. Penguin has relatively low population density, and yet it has a reasonable walkable and bike riding catchment which enables the Main Street to be less car dependent and more retail and people space oriented. These qualities give Penguin a competitive advantage over other places and provide the town some unique opportunities for the future: it can expand its walkable main street and improve its local catchment and visitation by better harnessing its community spaces and places.

Community values

Penguin is already a successful seaside village, popular for both residents and visitors, however it could deliver so much more given its compact nature and its significant natural advantages. This report summarizes the investigations, analysis, and recommendations for the ongoing revitalization of the Penguin Village Centre.

In 2019 an attitudinal survey was undertaken in Penguin to rate its place values, as seen by the local community. This Place Score data gave the design team a great start identifying what the community wanted from their village and these values were reinforced during the detailed shopfront engagement process held at the old railway station during the week of 12-16th of April 2021, when over one hundred and fifty people gave detailed ideas and contributions to help shape the future masterplan.

The issues

Combining this detailed community feedback with desktop and on- site analysis undertaken over a week, the team distilled the following key issues to address in the Penguin Town Centre Masterplan:

- The Main Street: improve traffic, parking, retail, street trees, footpaths, and intersections.

- The Recreation Ground: update the current masterplan to reflect current conditions.
- Public Buildings: rationalize use for the maximum benefit of the community.
- Hiscutt Park: Improve the active as well as passive use of the park and manage maintenance issues.
- The Foreshore: recover the green edge between the village and the beach, increase use of the green space for passive and active recreation day and night.

Planning approach

Small towns lack resources, so it is important to make changes that are well considered and cost effective. The masterplan comprises three main actions:

- The greening and linking of the foreshore, main street and village
- The activation of key sites, community facilities and buildings
- The refinement of guidelines and policies to support the Town Centre

The ten strategies

The Penguin Town Centre Masterplan focuses on ten key detailed strategies:

1. Maintain the Main Street as a two lane, two-way street with parallel parking on both sides. This layout is the most successful Main Street arrangement and suits the Penguin environment perfectly.

2. Introduce significant greenery, shade, shelter, and outdoor seating to improve the Main Street environment and to encourage more visible activity day and night.
3. Create Penguin “gateway” intersections at either end of Crescent Street.
4. Re-green the Foreshore and reconnect the main street to the beach.
5. Improve the use of public buildings (scout hall, railway station, Senior Citizens Club Hall, Information Centre and Library) by community groups and government to ensure they are being used to maximum efficiency and create more community outcomes.
6. Introduce appropriate commercial uses to certain public buildings to provide Council with an income stream to fund projects.
7. Update the Recreation Ground master plan and rezone the site appropriately for disposal to help fund improvements to public places and spaces.
8. Create low-maintenance improvements to Hiscutt Park, returning banks to a more natural profile where possible, as well as by updating shelters and introducing modern facilities to encourage more events and active usage.
9. Develop a masterplan for the Council Depot Site and rezone the land appropriately for disposal to help fund improvements to public places and spaces.
10. Refine planning policies and mechanisms to proactively promote Penguin’s seaside village character and building form in new development.

The short- term actions

Following on from these recommended strategies, there are immediate steps that Council can take to get some projects on the ground as soon as possible. These activities include:

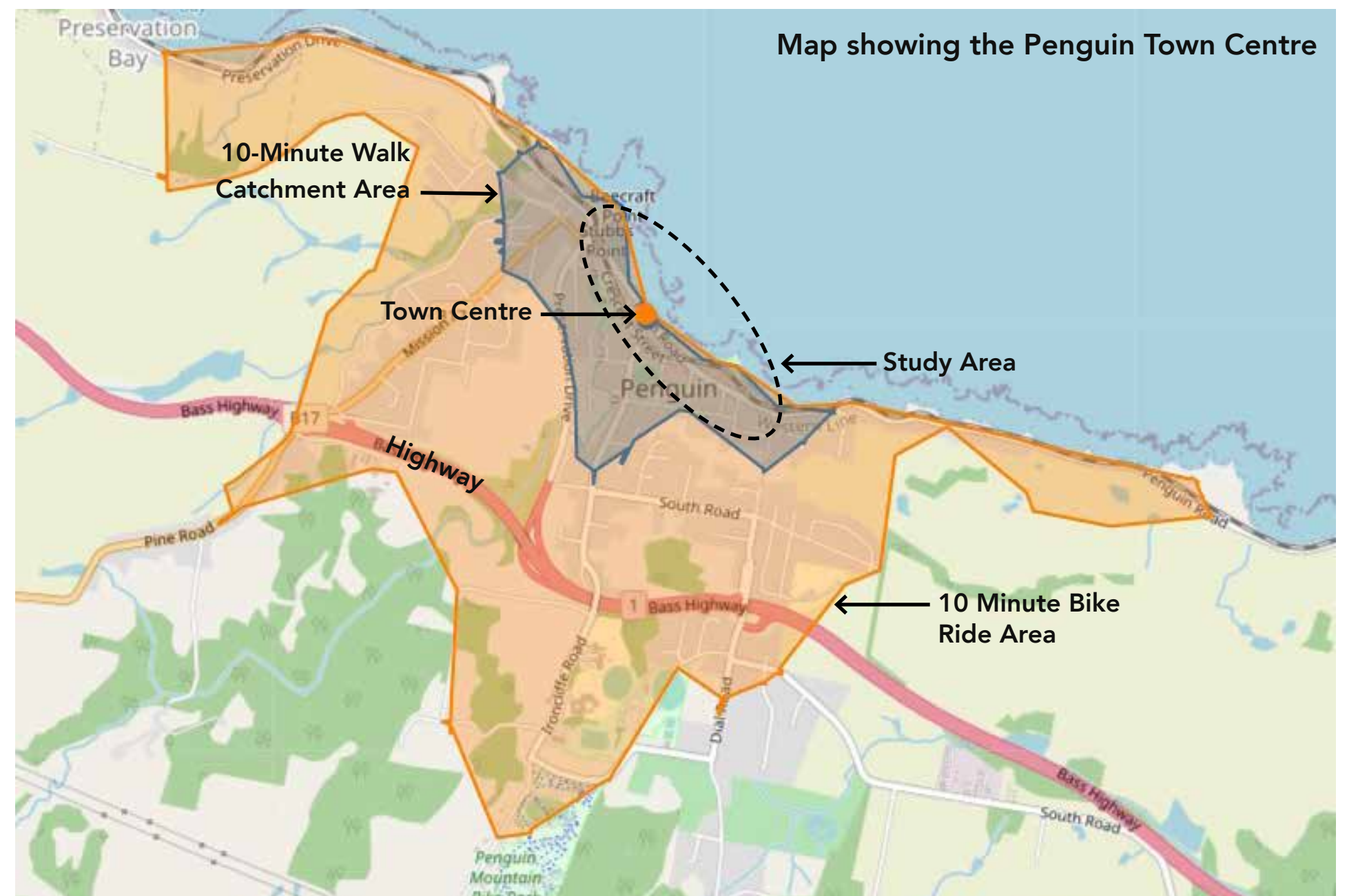
- Immediately commence a planning scheme amendment for the land behind Main Road including the Recreation Centre land to accommodate medium density residential.
- Immediately commence a planning scheme amendment for the Council Depot site to accommodate medium density residential;
- Immediately commence discussions with key stakeholders and plan improvements to address the underutilization of public buildings.
- Commence landscape design for re-greening and better activating the foreshore parklands and main street footpaths.
- Implement some short-term (temporary) tactical outdoor seating/dining/street tree areas in the Main Street that can be adjusted and moved around until the ideal location is found for permanent works.

These actions are extremely achievable and are designed to give Council an upfront cash injection to commence some significant community projects as well as some ongoing income stream to ensure the Penguin Town Centre is sustainable and able to be maintained to a high quality into the future. The actions are supported by the Place Score survey, by the findings from our set- up shop engagement and through significant and detailed analysis.

Regional towns and villages are in a competitive situation. They are competing to retain jobs and young people, to attract quality investment and they are competing to sustain their village lifestyle.

The villages that will prosper are the ones that are pedestrian based, and avoid sprawl driven car-based growth. Villages that are green, calm and innovative will attract day and night activity.

The Penguin Town Centre Masterplan is based on an approach that focuses on the quality rather than the quantity of community spaces and places. The masterplan and its strategies aim to make the improvements to the town both affordable and achievable and will further consolidate Penguin as the jewel of the Tasmanian Coastline.





PENGUIN

THE JEWEL OF THE STATE

Penguin was first settled in 1861 as a timber town and proclaimed on 25 October 1875. The area's dense bushland and easy access to the sea led to Penguin becoming a significant port town, with large quantities of timber shipped across Bass Strait to Victoria, where the 1850s gold rushes were taking place. The town was named by the botanist Ronald Campbell Gunn for the little penguin rookeries that are common along the less populated areas of the coast.

Sulphur Creek Post Office opened on 1 January 1867 and was replaced by the Penguin Creek office in 1868. The latter office was renamed Penguin in 1895.

Penguin was one of the last districts settled along the North West coast of Tasmania, possibly because of an absence of a river for safe anchorage. Nearly all travel in those days was by boat as bush made the land almost impenetrable. Many of the settlers probably emigrated from Liverpool via landing in Launceston then sailing west along the coast. Trade began when the wharf was built in 1870, allowing timber and potatoes to be exported. Penguin Silver Mine, along the foreshore slightly to the east of the town opened in 1870 but failed a year later. Neptune Mine, a tad further along, likewise failed. The rail from Ulverstone arrived in 1901, after which trade by sea declined. Passing of the Local Government Act in 1906 saw Tasmania divided into 48 Municipalities.

Penguin's first Council was elected in 1907, and the early stages of the municipal council were seen as benefiting the community. It was not until 1993 that the council was amalgamated with the Ulverstone council to form the Central Coast Council.

The Brief

The Complete Streets team was asked to look at ways to allow Penguin to be as good as it can be in the presence of some noticeable growth and a changing demographic. Specifically, the Central Coast Council was interested in the benefit of addressing several issues that they perceived as either opportunities or areas that might have been holding the town back.

These issues were:

- improving the Main Street shopping area;
- developing or improving the gateways to Penguin;
- improving the foreshore open space; and
- reviewing the Urban Design Guidelines.

Reference Studies and Plans

There are several previous pieces of work that the team has referred to during the course of this project:

1. The Penguin Recreation Ground Masterplan;

Very relevant study, significant community engagement with some solid well accepted outcomes.

2. Penguin Foreshore Remediation and Upgrade Project

Very significant and very relevant. The plans focused on the engineering aspects of a significant infrastructure investment.

3. The Penguin Urban Design Guidelines

Produced in 2008, this is a very solid but perhaps slightly dated document. This Masterplan suggests a continuation of the core principles with some minor changes.

4. Northwest Coastal Path

This strategic linkage plan is obviously entwined with the foreshore project. The behavior of the coastal path users will have to be modified significantly when going through the village. They will be interacting with longitudinal walkers

(walking along the path) and cross walkers, as well as learner riders, children playing, scooters, and skateboarders. The coastal path including the new foreshore path adjacent to the Main Street, is a difficult environment that will not tolerate high speed cyclists.

5. The Penguin Specific Area Plan (SAP)

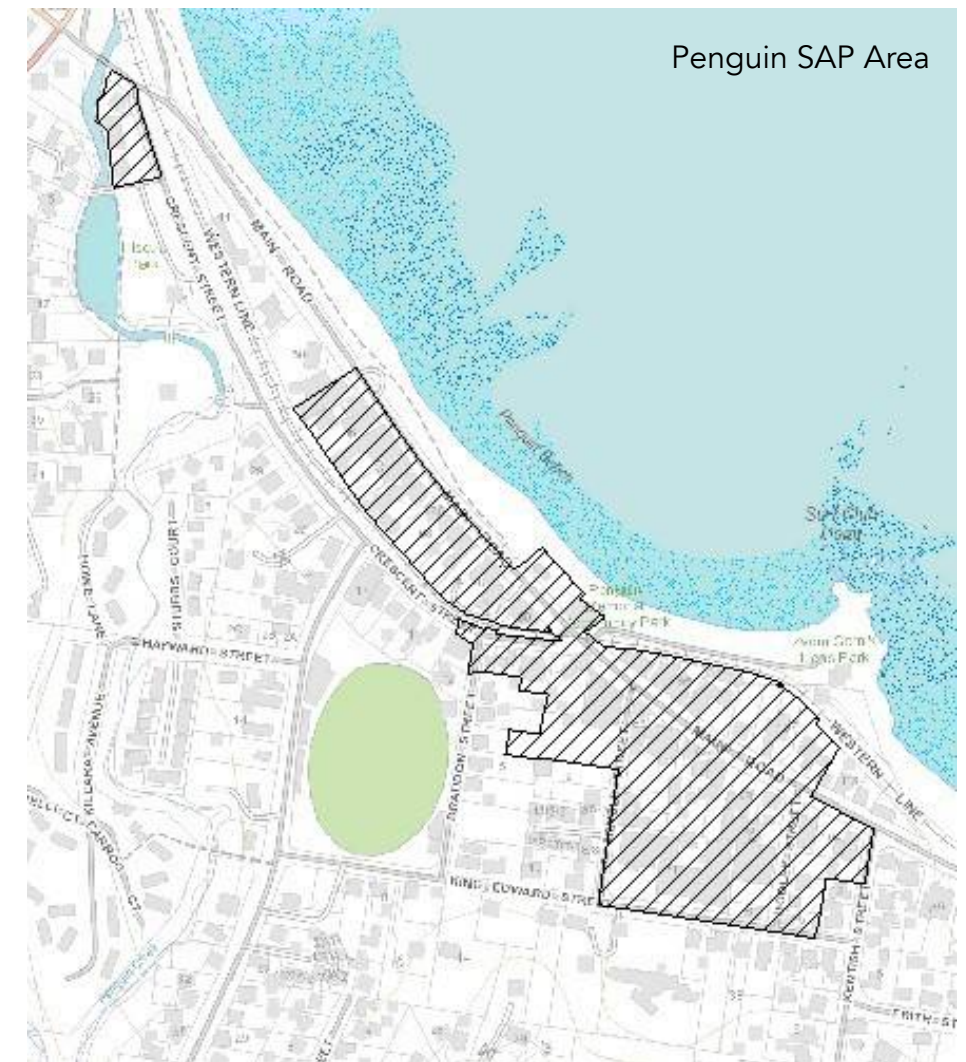
The Penguin Specific Area Plan for Penguin includes a significant amount of the Study Area. One of its aims is to maintain the village character of Penguin. This strategy considers what changes may need to be made to this SAP.

6. Perry-Ling Gardens Survey: Summary of Community Response

In October 2020, Tasmanian consultants Inspiring Place conducted a survey to determine what the Community's long-term desires were regarding the Perry-Ling Gardens. There were 197 responses, with the community expressing the view that the gardens should be restored and better maintained. The Perry-Ling Gardens are not in the study area, however this issue was raised many times during the Set Up Shop reinforcing the view that the gardens should be restored and maintained.

7. Penguin Cultural Study

In 1995 John Mongard Landscape Architects set up shop in the Library and undertook community planning which created a plan for Town Centre improvements which were undertaken from the 1990's until the early 2000's. Many of the civic improvements to the streetscape, foreshore and entries were built during this period. This study was reviewed to consider relevant issues and changes.



INTRODUCTION

Place Score

The place score study undertaken in 2020 was a significant data acquisition project to measure community sentiment about the live ability of Central Coast, specifically Penguin and Ulverstone. The place survey shows in a statistically significant manner what the people of Penguin consider to be important in their Town Centre. The three most important factors for Penguin are: cleanliness, visual character and elements of the natural environment. Note that car parking and car access did not come in the top ten of priorities. Notwithstanding this, the people of Penguin did rate car parking and car access higher than the national average. Other interesting data points were that young people thought that having things to do in the evening was way more important than it was to the other demographic groups. Overall, there was a very consistent top three or four priorities as shown right in Figure 1.



CENTRAL COAST LGA OVERALL (n=564)

RANK	ATTRIBUTE	% OF N
#1	Cleanliness of public space	76%
#2	Elements of the natural environment (views, vegetation, topography, water etc.)	57%
#3	Maintenance of public spaces and street furniture	54%
#4	Local history, heritage buildings or features	51%
#5	Overall look and visual character of the area	47%
#5	Outdoor restaurant, cafe and/or bar seating	47%
#7	Sense of safety (for all ages, genders, day/night etc.)	46%
#7	Quality of public space (footpaths and public spaces)	46%
#7	Evidence of public events happening here (markets, street entertainers etc.)	46%
#7	Amenities and facilities (toilets, water bubblers, parents rooms etc.)	46%

PENGUIN (n=167)

RANK	ATTRIBUTE	% OF N
#1	Cleanliness of public space	80%
#2	Overall look and visual character of the area	59%
#3	Elements of the natural environment (views, vegetation, topography, water etc.)	58%
#4	Maintenance of public spaces and street furniture	54%
#5	General condition of vegetation, street trees and other planting	51%
#6	Local history, heritage buildings or features	49%
#7	Sense of safety (for all ages, genders, day/night etc.)	47%
#8	Vegetation and natural elements (street trees, planting, water etc.)	46%
#9	Outdoor restaurant, cafe and/or bar seating	45%
#10	Quality of public space (footpaths and public spaces)	44%

ULVERSTONE (n=397)

RANK	ATTRIBUTE	% OF N
#1	Cleanliness of public space	74%
#2	Elements of the natural environment (views, vegetation, topography, water etc.)	56%
#3	Maintenance of public spaces and street furniture	54%
#4	Local history, heritage buildings or features	51%
#5	Car accessibility and parking	50%
#6	Evidence of public events happening here (markets, street entertainers etc.)	48%
#7	Amenities and facilities (toilets, water bubblers, parents rooms etc.)	47%
#7	Outdoor restaurant, cafe and/or bar seating	47%
#7	Quality of public space (footpaths and public spaces)	47%
#10	Ease of walking around (including crossing the street, moving between destinations)	46%

LEGEND

- #1 attribute
- #2 attribute
- #3 attribute
- #1 Different from LGA top 10 CF

Figure 1: Place Score Data Table
Source: Central Coast Council Data Analysis



02

THE ISSUES

ISSUES

Key Issues Plan

Following the set-up shop consultation and detailed town analysis process, key issues for the Penguin Town Centre emerged. These key issues are identified in the Key Issues Plan. Some physical strategies to deal with linkages, entries and important areas to improve are also highlighted on this plan. Key issues are also summarized in a visual form in chapter 5 (community ideas for the foreshore, walkways and beautification).

The Main Street

Penguin has an iconic Main Street. It is the centre for shopping in Penguin and its surrounding hinterland. One of its unique attributes is that it is a one-sided street for most of its length, with no buildings on the beach side of the street. The street is two way with parking on both sides and a speed limit of 50km/h.

The street is primarily mixed retail with a strong open space and recreational component on the beach side of the street. It is highly functional and currently has limited retail vacancies in the street.

As with all Main Streets, there are some issues, which if addressed would improve its economic and social levels of performance.

The key issues are:

- The footpath is too narrow and there are not enough street trees on the retail side of the Main Street.
- The traffic lanes are too wide, which encourages speed, except in the peak times. This is a problem for people crossing the street from the beach to the shops;
- There are not enough safe crossing points from the beach to the shops;
- There is limited use-able outdoor dining space.
- Many of these issues were mentioned in the Set Up Shop and are addressed in the recommended strategy.







The Foreshore

The Foreshore is part of Penguin’s “Instagram” appeal. It is a delightful space and its longevity is being improved with the current works to improve its resilience to sea events. It caters for passive and active recreation and provides a unique aesthetic outlook for all Main Street users.

The foreshore was one of the most popular topics discussed in all the Set-Up Shop sessions. The community is concerned about the level of landscaping work that has been undertaken, and which is yet to be delivered as part of stage two works. Penguin is a vital part of the Central Coast, and the appropriate repatriation of Penguin Beach to its naturalistic village character will have a significant influence on its economic future.

The character of the foreshore landscape after the sea wall works has become harder and straighter by virtue of the new engineering structures. Many residents during the set-up shop were disappointed in this character transformation. The previously soft edge to the beach has become a linear, fixed edge. This issue threatens the character of the village and is possible one of the most serious issues to be addressed. This will require a significant design effort, as at present, the community believe their connection to the beach has been diminished, and they can’t see how it will be reconnected.

The Recreation Ground

This is an amazing opportunity for any local government. Notwithstanding the great history of the recreational facility, and Australia's only cricket ground with the 'six and out' rule actually in play, the village really needs some more housing stock, and more diverse housing stock. There was a scheme prepared for the site in 2018.

There has been a significant change in the economic conditions since the 2018 site planning which will require a rework of the scheme to provide more housing, less green space and less retail space. There is always predisposition that new developments, particularly ones that government is involved in, should incorporate open space and community buildings. However

in this case, Penguin has substantial areas of parks and open spaces and also the existing community buildings are not used to capacity, so this site does not need to provide new green space or community facilities. The community is desperate for more housing in Penguin, so the Masterplan should be adjusted to accommodate these new conditions.

Another issue with the Recreation Ground Site is that it is zoned for recreational use. Council will need to have the scheme amended so that the site can be redeveloped for different uses.

In this case we are recommending medium density residential uses, to meet community needs in the town. There is

probably no need to zone it mixed-use in light of current conditions and needs. We will discuss later our recommended process to obtain a development approval for the site.

The design team recommends a disposal strategy: Council should undertake a planning scheme amendment and a subsequent development approval for its preferred use of the land, and then tender the land for development by the private sector.



Image: <https://writingfooty.wordpress.com/tag/football-grounds/>



Public Buildings

Penguin has some significant public buildings which would be the envy of many other regional towns. They are all used to some extent, but because community assets are so important, it is worth examining whether the current public buildings are being managed and used with the maximum community benefit.

It seems at first glance that they all may be underutilized, some things might be in the wrong place, and Council may be missing out on some income streams. The individual buildings have individual potential; however, they should work together to maximise the community value.

This chapter summarizes key issues regarding these facilities. Further detail and actions are outlined in Chapter 5. Strategies will require detailed consultation and ongoing collaboration with community groups and stakeholders

Heritage Listing

The Penguin Memorial Library and Obelisks (ID No. 10933), The Senior Citizens Club Hall (Former Council Chambers and Court House) (ID No. 10942), and the Penguin Railway Station (ID No. 10927), all have permanent listings in the State Heritage Register. This heritage listing ensures that the physical fabric of these buildings is maintained in an authentic manner relative to their history, even as the buildings are utilized in new and emerging ways.



03

THE SET-UP SHOP

PLACEMAKING IN PENGUIN

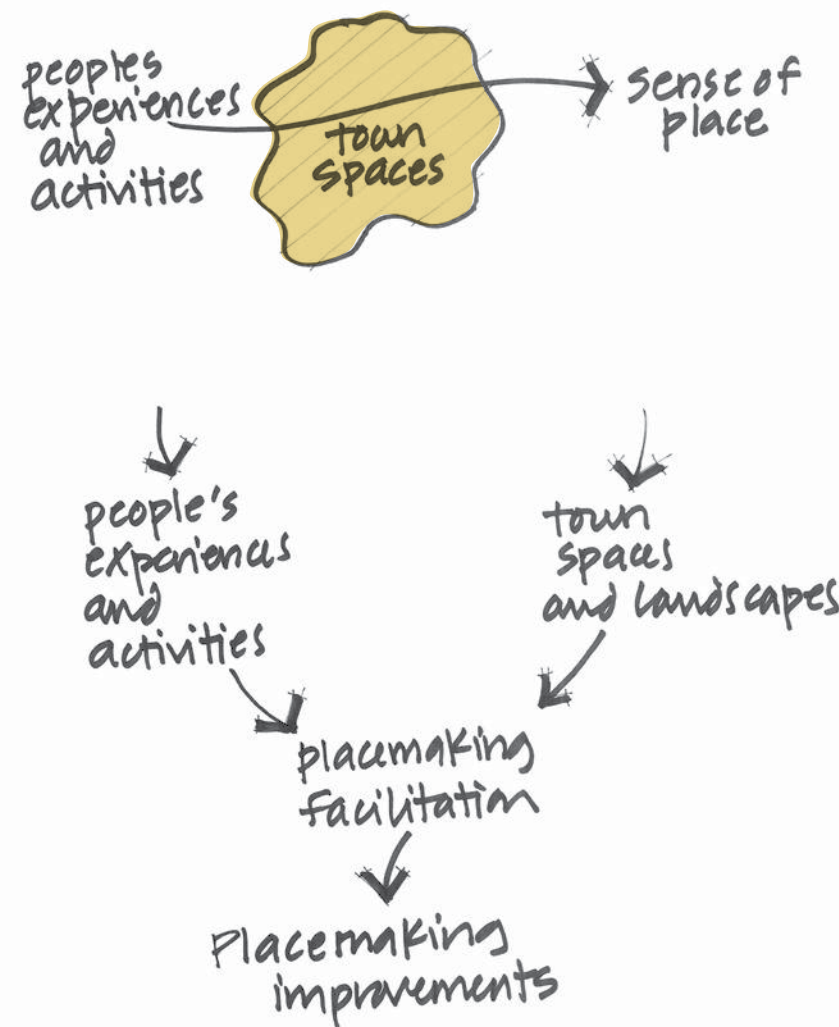
Placemaking in Penguin

The character of a place is made up of the landscape in combination with the activities and experiences of people. To shape the function and character of a place we need to understand the qualities of the existing place and how it is valued and perceived by people who use it.

This study has used a process of co-design to get inside the issues and values of people who live, work and visit Penguin. The team 'set-up shop' in the Old Railway Station for a week to allow people to share their thoughts and collaborate on emerging ideas to improve Penguin.

At the same time, the designers generated concepts and sketches based on on-site analysis and reflections on the engagement ideas. The process combines thinking / designing / drawing into an open and creative dialogue with users and decision makers.

The important issues and ideas float to the top of considerations as the shop of ideas filled up. At the end of the shopfront engagement, the railway station was full of ideas.



MASTERPLAN - POST SET-UP SHOP CONSULTATION OUTCOMES

Introduction

Over a hundred and thirty people gave one-to-one and group feedback on the Masterplan and community facilities during the set-up shop and community engagement process which occurred between Wednesday 15th September and Saturday 18th September, 2021. Two public meetings and one trader's breakfast were held, and the set-up shop consultation was open for over sixteen hours of one-to-one engagement and feedback. We had meetings with Senior Citizens, The Penguin Scouts, The History Group and The Penguin Library to discuss usage possibilities for the community facilities buildings in Penguin.

In a general overview, The Penguin Masterplan was presented in various public forums and comprises the following key elements:

- Improved parklands and amenities to compliment the Sea Wall works
- Revamped town entries
- Green habitat corridors along Penguin Creek, the Foreshore and the Highway Corridor
- Better interconnected walkways and trails
- A network of street trees to provide shade and colour
- Renewal of the Recreation Grounds and Council Depot to village housing
- Upgrading Hiscutt Park, Lion's Park and Perry-Ling Gardens
- Renewal and upgrading of community facilities buildings

Traders Feedback

Traders are generally happy with the proposals, with the two major food store owners both noting that improvements would be good for the town and that retaining car parking and two-way movement was important. Amenities that encouraged people to stay longer would be good for trade. Some traders do not want specific things: trees which are perceived to block signage or drop leaves were raised by one trader and by one past trader. Traders are generally precious about car parks immediate to their shops. The new craft beer venue was perceived to be creating a

parking problem with overstaying vehicles on the Main Street. Better management of parking is required. Some workers parking in key spots all day, and RV's and caravans take up precious parking space.

Specific traders mentioned the need to connect both ends of the Main Street. The intersection of Crescent Street and Main Street at the eastern end of the Main Street is perceived as a division. People are too tempted to stop walking at this location and don't continue east to the other part of the Main Street.

Good Ideas

All the ideas and issues are collated in the following set-up shop sheets. A number of very good ideas were raised during the discussions about the concepts in the masterplan, and we recommend they are incorporated into our report and within the updated Masterplan.

Community Feedback

People are generally happy with the overall Masterplan, its placemaking approach and its main actions.

The Masterplan comprises of predominantly landscape and streetscape actions, and these are broadly accepted. The following topics garnered a lot of discussion and varying viewpoints:

- The football oval site (perceived need for tour bus / overflow car park and some concern over the small number of three-storey dwellings incorporated in the layout)
- The perceived problem of car parking on the Main Street
- Need to sign/designate RV/tour bus parking
- The perception by some people that the development of the football oval and the depot site could threaten the village by over development (people still recall the development proposals by Tony Roche over ten years ago)

Foreshore Improvements

The improvements to foreshore parklands, particularly those associated with the greening of the seawall works was well received. Provision of more picnic shelters, BBQs, interpretive signage and walkway links to Main Street were liked. Some people want more trees and other people want fewer trees. The need to maintain views needs to be balanced with provision of shade and greenery.

Streetscape Improvements

The improvement to footpath areas in the town centre were generally well received. Fixing pavements emerged as a detailed concern which can be addressed in progressive area improvements. Creating safe and pleasant crossing points and implementing traffic calming on the Main Street were ideas well-received.

Hiscutt Park

People agree that Hiscutt Park should be improved, with old fixtures and equipment updated. The owner of the Art gallery Site does not agree with the naturalisation of the failing stone walls around the lake; however, most people did not disagree with this proposal. Improving shade, paths, toilets, the BBQ and play facilities were all accepted.

Football Oval And The Council Depot Site

The broad feedback is that there is indeed an urgent need for reasonably priced housing in Penguin and that the development of The Football Oval and The Council Depot provide Penguin with housing options which it would otherwise never have. The concepts related to creating a Penguin Village housing form to better fit in with the Penguin seaside cottage character was well received. The notion of these developments providing funds for foreshore and streetscape works within Penguin was also generally well received. Residents would like those funds to

MASTERPLAN - POST SET-UP SHOP CONSULTATION OUTCOMES

improvements and maintenance within Penguin.

The Football Oval was a topic of interest due to its size and location. A small number of residents see it as a solution to the perceived lack of car and bus parking, despite the site being well beyond the walking distance of other unutilised on street parking areas. Line marking and sign posting existing parallel car parking areas for cars, buses and RV's / caravans, particularly along Crescent Street, would go a long way to countering this perception of lack of car parking.

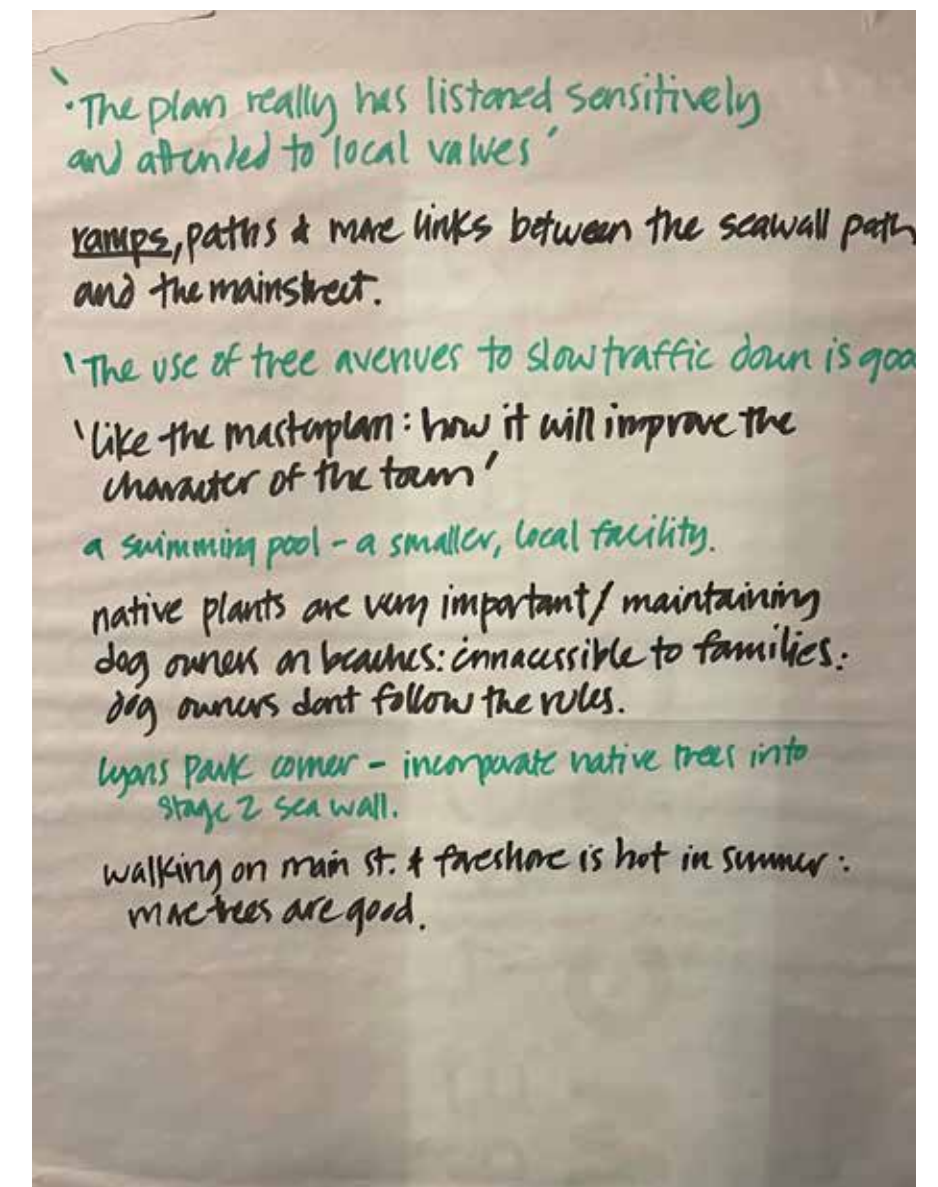
The concept of providing smaller homes for upsizers and downsizers was generally agreed upon. Providing these homes in a green setting with shared parklands was also liked. The three-storey high dwellings in the centre of the concept plan, despite likely not being visible from surrounding existing streets, were perceived as an over development by some residents. Some people however felt more housing could be provided, and some said that they would have bought the homes on the third storey. Irrespective of height or dwelling numbers, people agree that housing in a green setting, without commercial components is now the best outcome for the Football Oval Site.

The proposed concept for village housing on The Council Depot Site was generally accepted, and due to its set-back location, no real concerns over dwellings of three storeys or 'over-development' were raised.

Car Parking And Tour Bus Parking

Council undertook a carpark analysis in Penguin, counting all available car parks and the relative usage of those carparks the conclusion of this study was that Penguin has an oversupply of carparks. Unfortunately, residents perceive they have a problem parking. People are unwilling currently to walk much further than 200-300 meters to their desired shopfronts and as such many outer carparks are not utilised. Carparks between the pub and the real-estate agent on the Main Street are most sought after. The perception of a car parking problem relates to the parking bays in this zone.

Both residents and traders acknowledge that there is a management problem related to these car parks: for example, the off-street carpark behind the post office is predominantly used by traders and their employees, who are also unwilling to park a bit further away, thus assisting to create more carparks for residents. Main Street carparks are also occupied by traders for long periods of time, creating a shortage for residents. The time limit on carparks is an issue for some, who believe a longer than two-hour stay is normal. When parking officers apply the limits and give fines, this is very unpopular.



The Community

The community provided passionate and communal discourse, with clear and concise ideas being brought forward. Residents would like to protect its current village character and keep the town green. Enhancing what we already have and promoting parks, shops and surrounding green spaces are key concerns. The town is loved by its inhabitants for its seaside village qualities, its greenery and its community focus. Listening to what the people of Penguin say will build trust in the town going forward.

The following key ideas has been collated from the Set Up Shop at the Penguin Railway Station from April 12 to 16th which included informal brainstorms with various stakeholders, including senior Council staff. Consultation was also undertaken at the Penguin Markets. There was also extensive input from a community and traders survey conducted over the same period. All the actual comments from the Set-Up Shop wall are recorded in the Appendix.

The following key ideas are some of the dominant concerns of the community:

- Planning: The shops should be located on the Main Street in one cluster. New development should be sympathetic to the scale of the village.

- Street Maintenance: People would like better maintenance on the street, particularly bins, signage and gardens. More seating, more B.B.Qs and better toilets were frequently noted issues.
- The Foreshore: Should be protected and kept green. Residents feel the Seawall works look overly hard and have not incorporated the seaside village character or connected well to the Main Street. The foreshore parkland area needs to be improved to offset the hard seawall infrastructure. People would like the second stage which includes the Perry-Ling Gardens to be undertaken in a much more sensitive manner, with careful retention of existing trees, better/more generous links to Main Road and a greener outcome.
- Housing: A lack of housing was frequently brought up, both from older residents and young people. The Main Street should stay as an integrated corridor and not spread to other locations, such as the vacated Recreation Ground.
- The Recreation Ground: This site was discussed often, with people in favour of converting it to provide Penguin 'village' styled housing with options for older and younger people, less abled and single-family households, all set in a park-like environment. Shops in this location are not preferred since they would compete with the Main Street.

- Parking: Most of the parking is focused in a small strip on Main Road and people noted that RV's often take up available spaces there.
- Traffic Movement: Various people suggested options for the direction and movement of traffic through town, including one-way systems. A 30\40km speed limit is a popular idea, paired with a rethink of the traffic calming islands and more bike paths. Maintenance of pavers, walkways and fixing the intersections at either end of the train track are also good ideas.
- Hiscutt Park: Residents like the park but noted facilities could and activities could be improved such as the playground the toilets. Paths and facilities could be better linked.
- Masterplans: Residents noted there have been numerous plans for improvement but little resulting action. People would like an integrated plan which yields results.
- Community Buildings: Community facilities need more consideration. The Visitor Centre is valued but noted to be needing a face-lift. Encouraging more community events and better usage of key public buildings such as the Library, Scout Hall and Railway Station were noted concerns.
- Perry-Ling Gardens: The parklands need up-keeping as part of ongoing Seawall Works. The foreshore park and its existing trees is highly valued.



SET UP SHOP: WHAT THE TRADERS SAY

The Traders

A door to door survey and questionnaire was taken to traders who were available during the set-up shop in April 2021. This was complemented by a traders workshop held one morning during the set-up shop. The following key ideas were raised by traders:

- **Parking:** There was concern for parking space, not so much about the amount of it but the management of existing spaces. Little policing of the parking limits leaves cars parked in prime spots for hours on end.
- **Caravans and RV parking:** If RVs had designated parking and stopping areas this would free up multiple parking spaces in high demand areas near the foreshore. Penguin should be advertised as RV friendly, but that's not all that's on offer. What isn't wanted is a "cheap RV town", Penguin has many draws, the foreshore, the marine life and the big penguin that all should be highlighted.
- **Local food and beverage should be promoted.** Create more vibrancy and diversity of both night and day trade.
- **Creating for a bike friendly area and foreshore:** this would also help to connect to neighbouring townships such as Ulverstone.
- **Hiscutt Park:** Better outdoor dining\shelters, encourage more activities and usage. Link the park back to the Main Street.
- **Landscape:** Greenery along the main street was an area of high concern, along with cleanliness and the maintenance of existing attractions.
- **Litter Bins:** many people want bin numbers and they would like bins to be emptied more often.

- **Skate\Scout Hall area** is heavily used as RVs commonly dump their household rubbish there. Stubbs Point and Beecraft Point could be improved and utilised more. Provide visitors with reasons to walk all along from point to point.
- **Seating:** More seating in main street\foreshore as well as more BBQ areas. Other requests included more sheltered eating\picnic areas, more bus stops with shelters for said stops, an updated playground for the kids and more public toilets.
- **Foreshore:** Beautification is a priority. Traders see the value in creating more destinations and reasons for visitors to stay along the foreshore and close to shops.
- **Recreation Ground:** The Recreation Ground has a great deal of space to benefit the town, with housing and new community spaces a priority.
- **Community Buildings:** The town misses its town hall but agree that there are plenty of places in the area not being utilized fully. The Railway Station, Senior Citizens Club Hall, Scout Hall and Meals on Wheels building are all named as options for activation.
- **Housing:** There is an increasing need for affordable, smaller and alternative housing\accommodation, and this demand will increase over time. Lack of housing is reaching a critical point. A more relaxed attitude\process to shop top housing, medium density building, and accommodation will help to ease strain\cost of resources. Provide diversity in accommodation that matches the towns character.





04

THE STRATEGY

A SUMMARY OF THE PENGUIN MASTERPLAN

The design team set-up shop in the historic railway station for a week in April 2021 in order to listen to the community and traders. Many people provided ideas that have shaped this Masterplan and the key strategies are based on the most important and recurring concerns of residents. (refer appendix)

Penguin's advantage over other towns is its scenic main street and green landscape setting. The Penguin Town Centre masterplan aims to strengthen these advantages to create more community activity, visitation and trade.

Small towns lack resources, so it is important to make changes that are well considered and cost effective. The masterplan comprises three main actions:

- The greening and linking of the foreshore, main street and town,
- The activation of key site and community facilities and buildings, and
- The refinement of guidelines and policies to support the Town Centre.

Connecting shops and foreshore

The masterplan creates improved gateways and avenues through the main street. The seawall is softened and activated by crafted furniture and colourful gardens. The foreshore landscape works create more activities and attractions to entice people to walk from Preservation Bay across to Watcombe Beach. Rather than just taking a photo of the Big Penguin, visitors could take back with them a series of postcard-worthy pictures all along the improved foreshore parklands.

Making better use of buildings

Various locations around the Town Centre need a revamp in order to provide enticing places for people to stay and linger: these include the library, the Visitor Information Centre and parts of the older main street towards the peripheries.



Penguin has a lot of community facilities and open spaces but needs to utilise and showcase them better. With collaboration and creativity, spaces can be opened up to the life of the community and main street thus benefiting the shops and traders and providing life on the street both day and night.

Greening the Town Centre

The masterplan includes a range of streetscape, foreshore and park improvements which collectively will help bind the Town Centre into one distinctive place and experience. The ten priority projects are focused on the most visited and seen areas which require improvement: predominantly the main street and its linkages to the foreshore and beach front.

These projects, subject to grant and co-funding, may be parts of one or two consolidated grants or stages. They could be implemented annually through Council's infrastructure and capital works program. They could potentially be funded by optimising use of Council's assets.

These landscape improvements need to be well crafted so that Penguin can continue to be the most desirable place to stop and indeed to live in. A higher level of design and detail and a co-ordinated whole of town approach is required which will yield long term place quality.

Consolidating the town's image

The character of the main street can be improved with avenues of trees and occasional gardens. It is intended that deciduous trees form these avenues to provide spectacular autumn colour and allow winter sun along the main street. The foreshore gardens and trees will feature native plantings and a broader offering of trees that feature in local ecosystems. In the broader park areas, larger native and exotic trees can be incorporated to further green the town and provide shade canopies.

Green infrastructure is now what will yield the most beneficial returns for the life of the Penguin Town Centre. With these minor interventions Penguin will continue to thrive and maintain itself as the jewel of the state.

The Main Street

The Main Street strategy is easy: it needs to make pedestrians feel more comfortable so they will visit more often and stay longer. There were some small picture issues raised by the community, but they mainly related to the foreshore and more greenery. This will be addressed in the foreshore strategy. Naturally the team considered access and car parking in the Main Street. The community concern regarding RV's and Caravans in the Main Street is a minor issue but can easily be addressed. The main issue, and it is by no means a disaster when compared to many main streets, is that there is generally too much car activity, which limits human activity and hence overall income to the village.

To address these issues, the main strategies for the Main Streets are:

- Modify the intersection of Crescent Street and Main Road West to improve pedestrian safety and provide some more people and green space as shown in the adjacent sketch.
- Modify the intersection of Main Road and Crescent East to improve pedestrian safety and to provide some more people and green space.
- Provide intermittent footpath widening to provide more street greenery on the shopping side of the street and possibly some more outdoor dining opportunities, which were a priority in the place score community insights report. These actions could be implemented on a temporary or tactical basis until the ideal locations are found. An example is shown below. These Main Street initiatives have been discussed before in Ulverstone.



Intersection improvement at Western end of the Main Street

THE STRATEGY

*The improved Main Street needs
a look and feel as shown below*





Keep in mind that in Australia we are now permitted to have variations to the standard 'ZEBRA' crossing such as the Rainbow Crossing in Darlinghurst. It would be a great design competition for locals to design a 'PENGUIN Crossing'. The exact locations of these crossings would be subject to detailed design consideration.

Long term, when the pavement needs to be re-sheeted for maintenance, the lanes should be narrowed to 3.1 metres to get the speed in Main Street down to 30km/h. This action would not require the speed limit to be changed, it would just become a lower speed environment. This traffic calming strategy will improve the environment significantly and increase the number of visitors to the Main Street as well as lengthen their stay.



Create more high-quality street crossings: We recommend two additional crossings on Main Road (Similar to those on this page).

THE STRATEGY

The Foreshore

The community feedback during the consultation is that the sea wall has negatively impacted the informal village character of Penguin. The height and bulk of the seawall works have transformed the soft, green edge that existed between the beach and the Main Street.

These foreshore issues can be addressed by landscape design. The hard edges of the seawall need to be softened overtime by creating niches of seating, shade and shelter, as well as by using trees and gardens to create a more interesting sense of journey and discovery along the connected path. Small 'places' need to be reclaimed along the esplanade which create wind protected, comfortable gathering areas of various sizes and can reconnect the village for the beach.

There has to be a strong landscape design effort to recover this situation. The Complete Streets team cannot emphasize enough the level of effort that this will require in terms of design and implementation. The recommended strategy is that Council immediately plan for the following works:

- Review stage 2 seawall works to incorporate significant landscape design elements;
- Carry out design development plans for significant repatriation landscape works fronting Penguin Main Street; and
- Allocate short-term funds to build softening works along the foreshore as shown adjacent.



Immediate Foreshore Works to Green Up The Sea Wall

The Recreation Ground

Central Coast Council has invested significant effort in determining the best long-term outcome for the recreation ground, given it has outlived its usefulness for its original recreation purpose. The original masterplan is shown below in figure 3. It was considered the best outcome for the land at the time, and on the whole the Complete Streets team consider this to be a good outcome. However there have been some significant market changes since this masterplan was developed, and additionally our investigations of the village centre have further highlighted the needs of the village. In this case more importantly we have identified what the village does not need.

In recent times due to a number of factors, a severe market shortage has developed in affordable attached housing within walking distance to the village centre. There is also a significant oversupply of community buildings as discussed in section 2.4, and actually more than enough passive recreation space. For this reason, we have recommended minor changes to the masterplan to add in more residential space and less community building space to be a more contemporary representation of the current needs of Penguin, shown right in figure 4. Further detail on the updated concept plan for the Recreation Ground site is outlined in chapter 6.



Figure 3: Previous Recreation Ground Masterplan



Figure 4: Revised Recreation Ground Masterplan

In order for this renewal process to commence, the Council will have to amend the planning scheme to allow this recreational site to be redeveloped as a residential site. We consider this to be an opportunity to make a larger amendment to the scheme since there was some sentiment from the community that there should be more development on the waterfront to cater for more tourist accommodation and housing on top of the retail. Naturally there was also opinion to keep the village style main street.

As a balanced response to this, Council should rezone all the land behind the Main Street, nominally between Main Road and King Edward Street from Arnold Street to Ironcliffe Road. It could also include land to the east of Coreneagh Street and to the north of Hayward Street. It would need significant investigation to determine the exact details, but the Recreation Ground site should

aim towards a minimum density to achieve at least 60-65 dwellings with a maximum height of three stories and no minimum parking rate. Only a small number of dwellings would be three-storeys located centrally to be screened from all streets and providing low-cost residencies for single dwellers. We recommend the rezoning or special area plan provide new planning guidance on achieving a more definable village style housing: one which creates smaller mixed height dwellings, with smaller courtyard gardens and more shared open space (refer concept plans for the Recreation Ground site, and also the depot site, in Chapter 6).

This village character housing would reinforce the streetscape and landscape character identified in the masterplan Chapter 5 to support the communities strong request for smaller, more affordable homes suited to older people, singles and workers.

Hiscutt Park

Hiscutt Park is an amazing asset for a regional town. The design team's approach to this park is to ensure that the park's active and passive uses are improved and the park linked to the daily life of the Main Street. The substantial ongoing maintenance costs can be well justified by creating a destination with broader range of activities. The costs can be more than covered by implementing other strategies in this document. Whilst there should be changes to Hiscutt Park, they should be concentrated on increasing use, and even changing uses, as well as to reduce costs.

The strategy is to increase its active use to complement its existing passive use. This would mean curating activities and events and possible introducing some low impact commercial activities such as a non-permanent coffee cart/fishing hut or even some non-motorised water activities to complement the existing model sail-boat activities. The adjacent art gallery proposed paddle-boats and this use should consolidate recreational use of the lake. The park needs better connection to the village centre with improved crossings of the railway line to access the Main Street. Our major recommended actions are:

- Review wall and lake edges: expand the natural edges, relocate paths to suit;
- Climate risk from storm and inundation to be considered: replant vulnerable banks;
- Review furniture and amenities in park and modernise / replace including appropriate three phase power facilities to enable more events;
- Design footpath link to main street and railway station;
- Tender low impact commercial activities in the park;
- Prepare lake and drainage way to cater for more frequent flash flooding and events: consider best weir maintenance regime.





05

THE MASTERPLAN

PENGUIN TOWN CENTRE MASTERPLAN



MASTERPLAN LEGEND

- 1 Western town entry
- 2 Green habitat corridor
- 3 Scout Hall / Nut / Johnsons Beach precinct
- 4 Parkland on foreshore improvements
- 5 Railway Station precinct
- 6 Hiscutt Park precinct
- 7 Trail system
- 8 Street tree planting
- 9 Recreation grounds concept plan
- 10 Playground precinct improvements
- 11 Eastern town entry
- 12 Lions Park precinct



PENGUIN TOWN CENTRE MASTERPLAN: COMMUNITY IDEAS FOR THE FORESHORE

FORESHORE IDEAS

The following ideas for improving the foreshore were the most frequently mentioned by the community during the set-up shop process:

- People shower / dog tap
- BBQ & picnic shelter at kids pool
- More play equipment at the playground
- Main Street playground needs updating and expanding
- More seating decks and shelter
- Better and more BBQ areas on foreshore dog beach with bins
- Easier access across tracks
- Connected paths and bike way system along the foreshore is important
- Tree planting to stop the wind
- Better access for boats
- A mooring\jetty and ramp

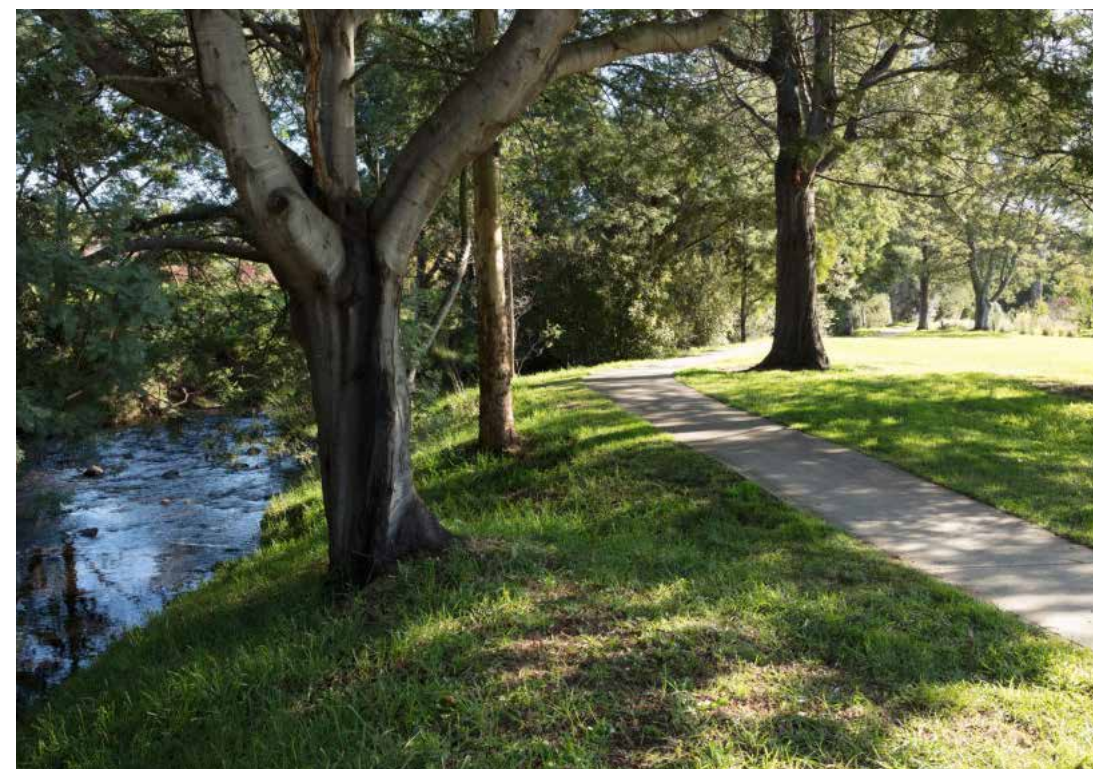


PENGUIN TOWN CENTRE MASTERPLAN: COMMUNITY IDEAS FOR WALKWAYS

TRAIL & WALKWAY IDEAS

The set-up shop consultation raised many ideas for walkways and trails around penguin. Ideas suggested by the community include the following:

- Link Hiscutt park to foreshore park, create a walking trail loop
- Link main street areas with other residential areas
- Make paths of simple materials
- Give people things to do
- Provide interpretation and stories
- Create shady tree corridors



PENGUIN TOWN CENTRE MASTERPLAN: COMMUNITY IDEAS FOR BEAUTIFICATION

BEAUTIFICATION

The set-up shop consultation raised many ideas for beautifying Penguin, including the following:

- Foreshore\seawall needs greening and trees, preferably creepers and natives ie pigface, saltbush, decorative trees not pines. Don't lose any trees or habitat with the next sea wall stage
- Provide more trees in the Town Centre
- More public\community art
- A viewing platform.
- A stage with power.
- A floating pontoon for music and events
- No greenery needed on the sea wall. It looks professional and tidy
- Focus on the interaction between the seaside, main st and the towns points.
- Focus on the natural character.
- Improve the level of park maintenance
- More interpretive signage and other points of interest
- Create a welcome garden\ natural garden at the railway.
- Improve the presentation of the shop fronts
- Get a community notice board where people can post notices



PENGUIN TOWN CENTRE MASTERPLAN: COMMUNITY IDEAS FOR MAIN ST & TOWN CENTRE

MAIN ST & TOWN CENTRE IDEAS

The following ideas for the main street and Town Centre were raising during the set-up shop process:

- Provide more bins and empty them more frequently
- Provide more seating on main st and on the foreshore
- Create equal access toilets on main street
- Built better bus stops with shelter
- Move the community book Tardis but keep it in the vicinity
- The Town Centre needs wider footpaths.
- Don't move the Tardis, it's a good attraction.
- Make a family friendly main street
- Traders to work together to enhance main street
- Improve the streetscape along Crescent Street
- Provide public table tennis and a chess board
- Improve the access to Lions Park
- The towns internet needs better public connectivity. Access is not great.
- Put a shared pedestrian zone on the main street, but use pavers or patterned concrete
- Put in a seaside bike trail from Penguin to Ulverstone
- Underground the power on the eastern end of main street



PENGUIN MAIN STREET IMPROVEMENTS: EASTERN GATEWAY



IMPROVEMENTS TO THE MAIN STREET AT THE VISITOR CENTRE

Revamp the precinct around the Visitor Information Centre



PENGUIN MAIN STREET IMPROVEMENTS: WESTERN GATEWAY



IMPROVEMENTS TO THE REAR OF THE PENGUIN LIBRARY PRECINCT

Create an outdoor activity hub to



Create an outdoor activity
hub to the rear of the Library

PENGUIN FORESHORE & MAIN STREET IMPROVEMENTS

The Foreshore Landscape & The Seawall

The Penguin seawall improvement works will create much greater accessibility along the coastal foreshore. Stage one works from Stubbs Point to Lions Park creates a linear path broken up at the Penguin library heritage area. The intention for Stage B works is to extend the path toward the Eastern end of Penguin at Watcombe Beach.

The 2.6-metre-wide concrete path is in a location which makes it an important informal walkway / bikeway. It should not be used as a fast recreation or community trail since it is discontinuous and would create risk points along the foreshore.

The path should be treated as a slow speed shared zone to enable all types of users to enjoy the foreshore and safely cross to beach and main street. To this end, minor detail could be added to the walkway to make it feel more for pedestrians and less like a highway. The improvement sketch of the foreshore shows additional tiling, crafted seating, pathways and picnic / shelter facilities which will assist to harmonise the hard infrastructure into softer a Penguin foreshore character and to encourage beach / path / foreshore activation.

Improving the Foreshore Character

The character of the foreshore landscape after the sea wall works has become harder and straighter by virtue of the new engineering structures. Many residents during the set-up shop were disappointed in this character transformation.

The previously soft edge to the beach has become a linear, fixed edge. By design this may be softened overtime by creating niches of seating, shade and shelter, as well as by using trees and gardens to create a more interesting sense of journey and discovery along the connected path. Small 'Places' need to be reclaimed along the esplanade which create wind protected, comfortable gathering areas of various sizes.

The Penguin Town Centre plan and associated sketches shows new green niches or places along the foreshore as a means of extending the use-ability of the whole area. The park space between the road and the sea wall now requires substantial trees, gardens and landscape elements to soften and improve areas for use.

Actions:

- Review stage 2 seawall works to incorporate landscape design and elements.
- Carry out design development plans for landscape works fronting Penguin Main Street.
- Allocate short-term funds to build softening works along the foreshore.



PENGUIN FORESHORE & MAIN STREET IMPROVEMENTS



Soften the seawall with active green spaces

Designing for Activation

Penguin Town Centre has short periods of activation during morning to lunch periods and after school until about 6pm. Small coastal villages share these types of fluctuating activity periods. At these times shops are busy, the parallel parking is taken up at the retail core and there are residents and visitors activating the Main Street.

After 6pm most shops are shut and generally the pub forms a hub for activity. There are few dining options in the evening particularly in the colder months.



Visitors pass through and stop for coffee, a photo of the big penguin, or for a lunch break.

Often the playground is a welcome break for travelling family groups. On good days, visitors use the beach and walk further along the foreshore.

Actions:

Penguin could increase its level of activation by:

- Consolidating the things people can see and do.
- Providing more night-time life and activity.
- Extending the stay of residents and visitors.
- Making Penguin a stronger destination village.
- Improve the annual events space at the uniting church frontage.
- Get traders to paint facades through a rates reduction/program.
- Entice people to walk along all of the Main Street and foreshore frontage.
- Cater to growing teenage demographic with more visible main street activities and active play.
- Cater for the growing Boomer demographic with more photogenic and pleasant connected experiences along the main street.
- Keep in mind the value of attracting millennials to Central Coast, which penguin could be a key selling point.



COMMUNITY ENGAGEMENT

7-Day Makeover

In 2018 a community improvement project called Penguin 7-day Makeover, (link below) was held in the town and resulted in some noticeable and unique local outcomes which improved Penguin's local character.

<https://www.facebook.com/penguinmakeovercommunity/>

<https://www.youtube.com/watch?v=edcclbfuwFs>

The moveable chairs, organic timber seating benches under trees and rainbow painted beaches, lookout deck add a local touch to the feel in the town of Penguin and these should be promoted and extended as part of the ongoing place improvements.

The process of involving local residents and craftspeople in improving or 'making over' the town should also be continued, since it creates awareness, local pride and ongoing community spirit. Future town improvements can easily incorporate processes to continue local renewal.

Community Engagement

The Penguin community is very active and continues to manage and improve elements that contribute to Penguin's character.

Ongoing capital works and improvements can easily incorporate community involvement, both in the design and implementation phases.

The unique culture and creativity of Penguin should focus on local values and local crafts. In this way, every new construction is a part of a community building process which engenders community pride.



New universal access toilet

New Universal Accessible Public Toilets

There are no universally accessible public toilets in the Penguin Town Centre. The existing toilets should be assessed and made compliant to current standards.

A new fully accessible public toilet could be incorporated into an expanded or relocated Visitor Information Centre. Over time the level of visitation to the Penguin Foreshore will increase and create a demand for an additional toilet facility at the western end of the foreshore in the vicinity of the skate park and Scout hall. The Hiscutt Park toilets may need to be revamped to improve facilities and make them compliant.



Images of existing
toilets at Info Centre
and Hiscutt Park



06 TOWN CENTRE

KEY SITES

UPDATED CONCEPT PLAN FOR RECREATION GROUND SITE



VILLAGE HOMES CONCEPT PLAN

- A village scaled place surrounded by greenery
- Small lots with patio gardens
- Common open space (body corporate)
- 1/2/3 storey patio homes suited to elderly, singles, families
- A new central laneway
- On street and visitor parking
- Undercover garages built-in

Legend

- | | |
|----|---|
| 10 | One storey patio house with small garden |
| 32 | Two Storey patio house with small garden |
| 21 | Three Storey patio homes (single storey ground floor, 2 storey walk-up above) |
| 63 | Potential village patio homes |
| * | Patio homes without cars / garages |



UPDATED CONCEPT PLAN FOR RECREATION GROUND SITE



Village homes can be set in a green, rural character setting (The Ecovillage at Currumbin, QLD).

A new mid-block laneway allows easier circulation. All homes would face common open spaces which would be managed by a body corporate and be publicly accessible, with walkways circling and connecting to adjacent streets and shops.

The overall site would allow a dominance of greenspace which would sit well with the Penguin village character which the community wants retained.

Cost Efficiencies

The feedback from the community is that smaller, lower maintenance housing within walking distance of shops and with a leafy village character would be a highly desirable place to live.

People don't really want the main street to be split into two alternative centres, so the commercial uses noted for the original oval masterplan may best be taken up by additional housing to cater for the pent-up housing and rental needs of Penguin.

The Recreation Ground Site: ideas in the concept plan

The community feedback and analysis of the current needs of the town have shaped the updated strategy for how best to develop the site.

A focus on a diverse mix of permanent residential dwellings is envisaged, catering for affordable housing, young families, ageing in place and single workers.

The site could accommodate at least three times the number of residential dwellings outlined in the original masterplan. These would be in a village townhouse format of mixed sized dwellings: one storey / two storey and three storey dwellings to the centre of the site. Shared walls to the homes allow for more density and the village eco-townhouse concept shown in the revised concept plan would allow a mix of small lot dwellings with or without small gardens / courtyards. Picket fencing would allow access and visibility to the common greens at the centre of each hamlet cluster.



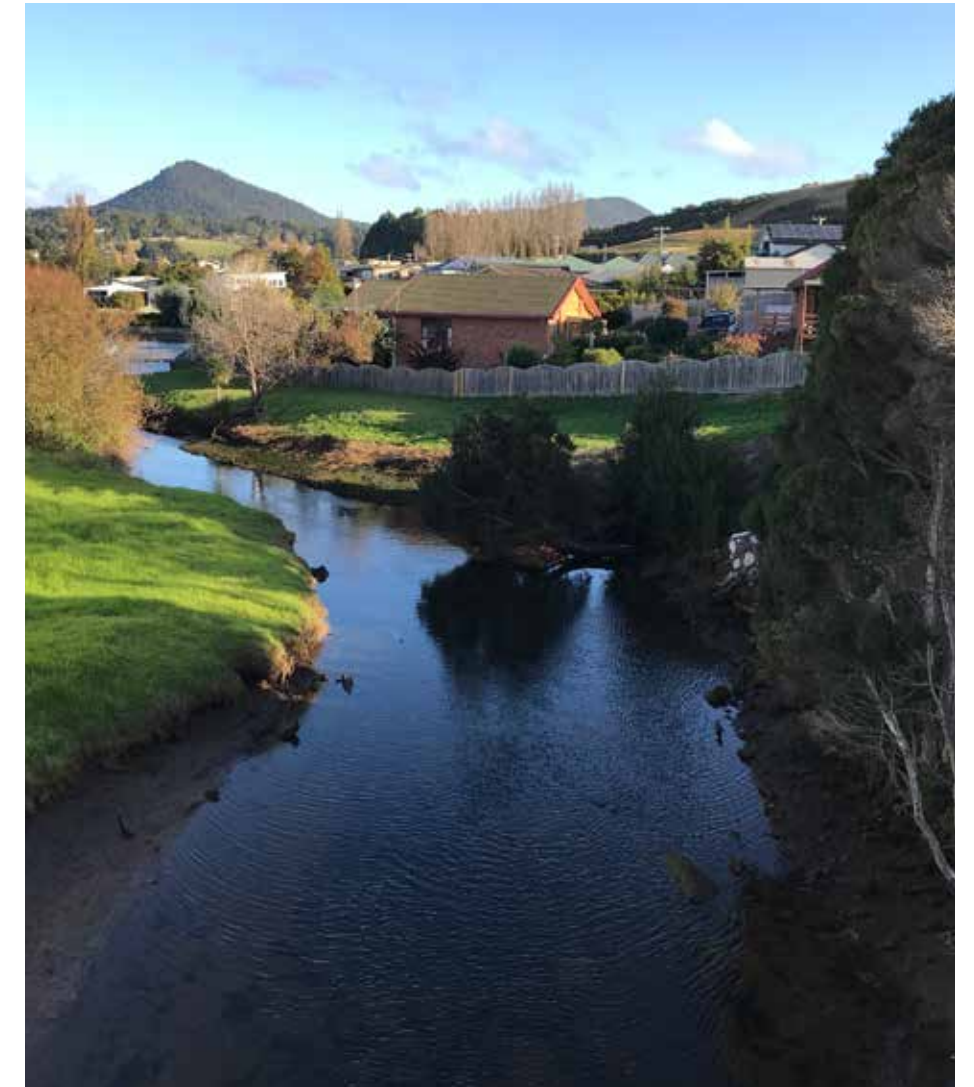
Central greens can provide public open space visible and accessible to all homes

HISCUTT PARK

Hiscutt park is a high-quality open space right in the heart of Penguin. Easily accessed by walking for a great portion of the community it is a significant community asset. Anecdotaly it appears underutilized, and the watercourse is becoming a maintenance issue for Council. This is significant, as local governments are under more and more financial pressure with limited opportunities to increase revenue. Hiscutt Park however does not necessarily have to be quite as passive of a space and opportunities for it to create an income stream should be investigated, so the park can be upgraded and maintained as the great community asset that it is.

Actions:

- Review wall and lake edges: expand the natural edges, relocate paths to suit.
- Climate risk from storm and inundation to be considered: replant vulnerable banks.
- Review furniture and amenities in park and modernise / replace.
- Design footpath link to main street and railway station.
- Lake and drainage way to cater for more frequent flash flooding and events:
- Consider best weir maintenance regime.
- Create and foster opportunities for events and commercial activities to support the life of the park.





Hiscutt Park

Hiscutt park is a high-quality open space right in the heart of Penguin. Easily accessed by walking for a great portion of the community, it is a significant community asset. From our site observations and discussions with residents, the park appears underutilized, and the watercourse is becoming a maintenance issue for Council. This large park asset and its ongoing maintenance is significant and as local governments are under more and more financial pressure with limited opportunities to increase revenue, this could create substantial ongoing costs. For example, recent rock wall investigations have identified replacement costs could be up to \$1 million to upgrade stone walls which are becoming undermined.

Hiscutt Park does not necessarily have to be quite as passive of a space and there are opportunities for it to create an income stream to provide for its ongoing running costs.

COUNCIL DEPOT SITE

Located on Park Avenue and surrounded by existing housing, the old Council Depot comprises two lots totaling 2668m2 and 5203m2 each, with a road reserve between the lots. The depot is underutilised, with a washing-out area used occasionally by Council and the balance used by a community group.

Some contamination issues may still be present. Council need to remove the sheds to decontaminate the balance of the site. The site is nestled among houses making a residential use ideal and raising revenue to fund important projects in Penguin.

The sites are large enough for medium density residential uses such as retirement housing or small lots. Providing a range of smaller housing and lots would suit the changing accommodation needs of Penguin. The village homes concept shown could accommodate 40 homes in a village setting.

A new public pocket park would be created which would provide a public park within close walking distance of the adjacent neighbourhood.

Actions:

- Engage with current community groups who use the site and prepare a strategy to relocate the groups.
- Undertake a valuation and land-use review.
- Prepare a rezoning or Special Area Plan
- Develop a medium density concept plan to determine likely housing yield. Develop strategy to divest site. Council to prepare an Expression of Interest (EOI) with an approved DA in place to ensure best planning outcomes.
- Create a new pocket park: there are currently no parklands within walking distance of this part of Penguin’s residential area.
- Relocate remnant Council depot facilities and functions.



Village Homes Concept Plan

- A village scaled place surrounded by greenery
- Small lots with patio gardens
- Common open space (body corporate)
- 1/2/3 storey patio homes suited to elderly, singles, families
- A new central laneway
- On street and visitor parking
- Undercover garages built-in

Legend

4	One storey patio house with small garden
6	Two Storey patio house with small garden
30	Three Storey patio homes (single storey ground floor, 2 storey walk-up above)
40	Potential village patio homes
*	Patio homes without cars / garages

COMMUNITY FACILITIES

The Scout Hall

The Scout Hall is a significant building at the extreme north western end of the Penguin main beach. It is large in size, and used by the Scouts on a regular basis.

The building is serviceable. It is leased by the scout group directly from the crown. The Scouts require additional boat storage space and may require a new shed to accommodate this within the precinct.



Penguin Railway Station

Penguin Rail Station is a beautifully restored building right in the middle of town, and almost part of the Main Street. The building has a colourful history and is well loved by the community. The Penguin High School lease a large area which is currently underutilised. Not only has the building been well restored and maintained, it has an amazing unused front forecourt and spectacular visual and physical access to the waterfront. This building is in a prime location which could incorporate more usage.

COMMUNITY FACILITIES

Penguin Senior Citizens Club Hall

This is another large building right in the heart of the village. It is used by the Senior Citizens Club, which is an excellent community use, but the building and site could be more utilised. There are some disability access improvements required at the building entries and better signage and lighting would assist.



The Penguin Library

The community have said that they want better access to this most beautiful of buildings. The Penguin Library is possibly one of Penguin's best waterfront buildings, and provides a valuable community hub. It does have cultural and heritage significance for the town.

Council needs to consider the opportunity of making better use of this building, and the benefits it could bring to Penguin. An improved covered deck facing the waterfront would assist to activate the Library and connect it to the life of the waterfront. Council and the State Library could create more activity in this precinct.

VISITOR INFORMATION CENTRE

The Visitor Information Centre

The Visitor/Information Centre in the heart of Main Street is a versatile space in a great location. The building is robust but not architecturally significant. It presents as a dated facility which is not attractive to visitors in its current form. Its location, across the street from the famous Penguin, has become co-dependent, but does not have to be. One of the main concerns the community have with the location of the Visitor Centre is that it encourages motor-homes and caravans to park in the Main Street. This is probably not a significantly detrimental outcome in practical terms but moving tourist vehicles in general out of the real central heart does have a range of benefits and it is something the local community is concerned about.

This a useful building in a suitable location, but a re-examination of how it fits with the whole suite of alternatives for the highest and best use of public buildings will still be required to ensure Council and the community is getting the best value for this asset. Chapter 4 shows how a revamped Visitor Centre could look, incorporating other sales and cafe activities.





07

TOWN CENTRE

PLANNING & ENVIRONMENT

A COMMUNITY PROFILE FOR PENGUIN

Community profile

In 1995, the Penguin Community Cultural Study was undertaken by John Mongard Landscape Architects, which also included an analysis of the community profile of Penguin. The Penguin Community Plan in that study led to physical improvements in the townscape, such as town entries, clay-paved footpaths, and the replanting of gardens around the Library and Visitor Centre.

A comparison between the community profile of then and now reveals that Penguin has changed in many ways in the past twenty to thirty years. Significant changes in that period include:

- Population growth
- Population aging
- Increasing couples in families without children, 25% of whom are both not working (possibly retired), and who live in houses with spare bedrooms.
- An increasing proportion of owner-occupied houses under mortgage
- An increasing number of renters.
- Increasing resident population with professional occupations and higher educational attainment
- Increased median individual annual income levels.

The Penguin resident

In 2016 at the last census, a typical Penguin resident was likely to:

- Be Australian born and an Australia citizen.
- Speak English at home.
- Be married.
- Be in a couple family without children.
- Live in a separate house with 3 bedrooms.
- Identify as Christian.
- Be aged over 50 years old.

- Have completed school to at least Year 10, or to Certificate III Level.
- Work full time weekly hours.
- Work in professional services or trades
- Earn a median total annual income of \$47,521.
- Drive to work.

An ageing population

The Australian Bureau of Statistics (ABS) 2016 Census recorded the population of Penguin as 3,849.

Like Australia as a whole, Penguin's population is aging. In 2016, the median age in Penguin was 45 years, compared with 42 years for Tasmania and 38 years Australia wide. The 1995 community profile indicated nearly 14% of Penguin's residents were elderly. In 2016, this had increased, with around 21% of residents aged over 65 years, and a further 23% aged between 50 – 65 years. During the Set-Up Shop, many older residents noted how they would like to age-in-place near the Town Centre, but there was a lack of smaller homes.

In 2016, children aged under 14 years made up 17% of the population, with young people aged 15-29 years also comprising around 17% of residents. During the Set-Up Shop, community members of all ages noted a lack of activities and facilities for young people, particularly young adults.

Smaller households

The 1995 community profile indicated nearly 40% of residents were families with two parents and at least two children. This too has changed in the last twenty years: in 2016, 48% of households were couple families without children, and 29% of households were families with children.



Rising income and education

The annual median total personal income in Penguin has increased dramatically since 1995. This reflects some Australia-wide wage growth early in this period, but also the increase in professionally qualified residents in mature/ career age stages now living in Penguin. In 1995, the median income was estimated to be \$11,160 and it in 2018 was estimated to have risen to \$47,521. Notably, this figure rose sharply from 2017-18.

Most of Penguin's residents (90%) are Australian citizens. Most claim European ancestry. A growing number of people identify as being of Aboriginal and Torres Strait Islander descent, which reflects similar changes around Australia. While 51% of residents see themselves as Christian, a growing number, now 38%, identify as secular.

More rentals and mortgages

In 1995, home ownership rates were very high at 73%, with 45% of residents owning outright and 28% of residents in homes under mortgage. In 2016, the majority (75%) still owned (39%) or were in the process of owning their own home (36%), with the remaining 20% of people renting their home. ABS data from 2019, which increased in the area of population survey to include Sulphur Creek and Haybridge, showed declining rates of home ownership and corresponding increases in residents in rentals**.

Anecdotally, in discussions during the Set- Up Shop the local real estate agents noted there were few houses for sale or rent in the district, and a high latent demand for all types of housing. It is apparent that the model of large houses on suburban blocks no longer suits the current and future housing needs of Penguin's residents, given the above changes in community demographics. The coming 2021 Census may well document an acceleration of these trends.

Significant shifts in the last five years

More recent 2019 ABS data for the extended Penguin-Sulphur Creek Statistical Area 2 (SA2) shows areas of apparent rapid change recent change:

- An estimated population of 5,225 people (ABS 2021). – an increase of 26%* from 2016
- A jump in net migration, with 155 people moving into the area in 2020, compared with an average of 27 per year in the three years prior.
- A median age of 45.9 years
- Increasing numbers of people employed in professional services, with higher post-school qualifications.
- Increasing medium income, particularly since 2018.
- More people living in couple families with no children.
- More people living in couple households where neither is working.
- Significant increases in the proportion of renting households and a decline in home ownership**
- Declining numbers of children aged 0-14 years.
- Declining fertility rates for women over the period
- Increasing death rates

* Note:

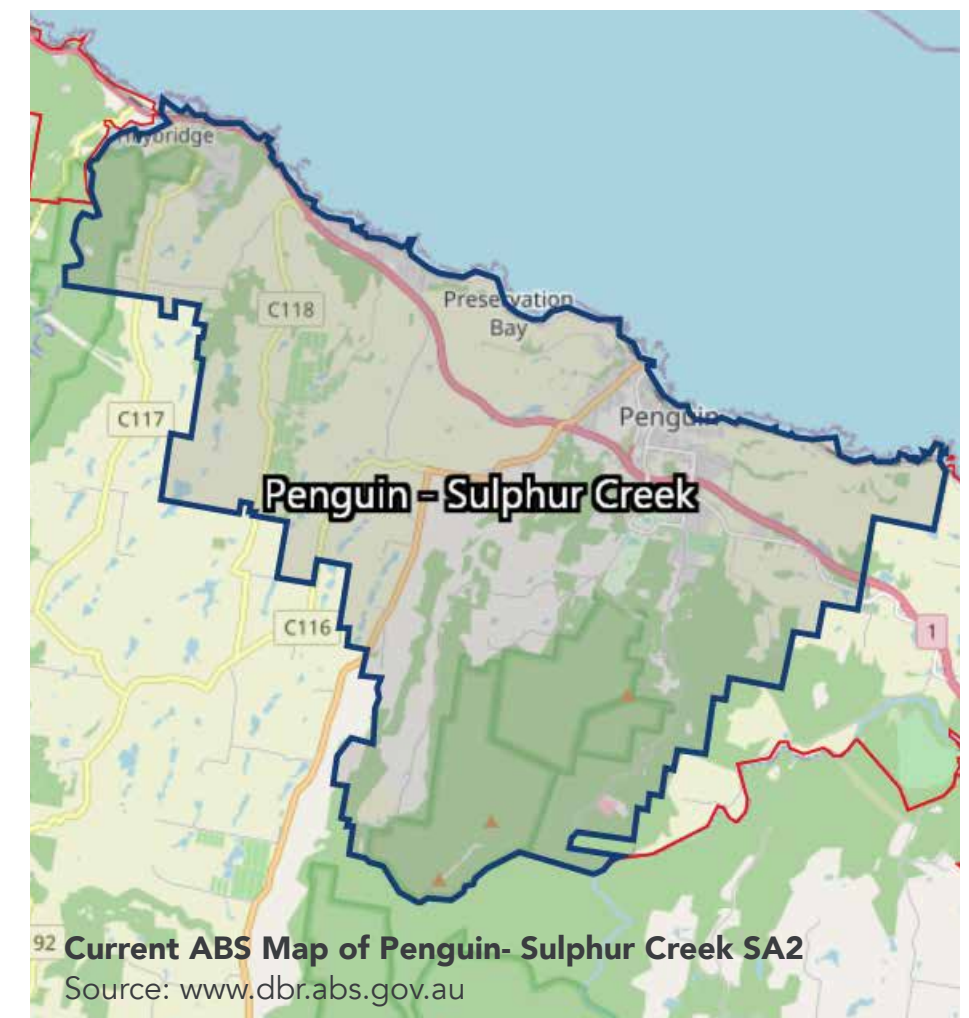
There has been a change in ABS SA2 boundaries between 2016 – 2019. This extended the Penguin SA2 to include Haybridge, Preservation Bay and Sulphur Creek suburbs on the coast to the north. Based on 2016 Census figures, these suburbs account for approximately 1133 of the population increase evident in Penguin's ABS 2019 population estimates, meaning an additional 546 people were, at that point, resident in the Penguin SA2 – an increase of 14% in around 3 years.

** Note:

This boundary change may also explain the increase in rentals reported compared to 2016 (from 20% to 32%) and corresponding decline in reported home ownership (from 75% to 64%).

References

1. Source data:
2019 Region Summary: Penguin-Sulphur Creek SA2, ABS (viewed as at 2021)
<https://dbr.abs.gov.au/region.html?lyr=sa2&rqn=604011079>
2. Source data:
2016 QuickStats: State Suburb – Penguin. ABS (2021)
https://quickstats.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/SSC60496



PLANNING AND URBAN DESIGN

Penguin: town or village?

Penguin is a small coastal town, but it is most often referred to as a village by the sea. The compact Main Street faces onto the beach and combined with its old cottages and smaller, traditional shops gives Penguin the informal character of a coastal village.

There are few towns either in Tasmania or on the mainland that offer a Main Street directly onto the beach. This combination of unique natural attributes makes Penguin the ideal stopping-off point for most visitors and residents travelling along the North Coast roads. The beauty of the village will continue to attract travelers and new residents, and it is likely to become even more successful over time.

How to maintain the village character?

Unlike the centres of Burnie, Ulverstone and Devonport, Penguin has maintained a compact centre without large 'big-box' retail centres competing with the Main Street. Penguin's population will continue to grow, and more demand for retail space may create pressure, however the proximity of Burnie and Ulverstone and their large retail and commercial centres should allow Penguin to maintain its village scaled character and shopping facilities.

The residential areas which have expanded up the hill from the village have the character of a dormitory suburb. These more recent homes and streets have been built to a suburban subdivision standard, which has shifted the character from that of a village to that of a suburb. The main way to consolidate future village character would be to alter some of the requirements of the Penguin Specific Area Plan, and some of the Building Approval mechanisms which are currently in place.

Additionally, some of the intentions of the subdivision design mechanisms could be reviewed to encourage smaller roads, and alternative sustainable village infrastructure solutions. Without such actions, it is likely Penguin's character will continue to be suburbanized over time. The concept plans shown for the

Recreation Ground and Council Depot Sites aim to achieve a village styled residential development pattern more in tune with Penguin's traditional cottages.

Urban Design Guidelines

The 2008 Penguin Urban Design Guidelines have been reviewed as part of this Town Centre plan. In principle, the guidelines are still relevant and provide helpful assistance for integrating new development and growth into Penguin. Key elements have already been incorporated into the Penguin Specific Area Plan. Key aspects to reinforce from the Urban Design Guidelines are:

- The need for canopy trees on streets and lanes.
- Respecting the scale of the Main Street and the Penguin landscape setting.
- Providing opportunities and more pro-actively facilitating integrated shop-top living / office spaces.
- Reinforcing the village character.

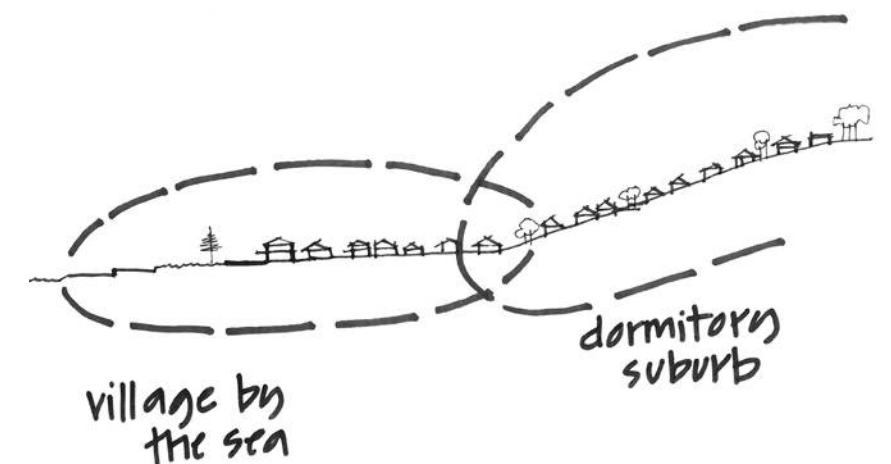
In essence, the guidelines continue to be relevant. It may be more useful to ask what is no longer within the guidelines relevant to the current situation. The main items which are superseded in the 2008 document are:

- The Recreation Ground site has been master planned to mixed uses rather than just a large open space.
- The idea of utilising the buildings to the East of the Penguin Library for civic uses has not eventuated, with new retail uses occupying these shops.

In the fourteen years since the 2008 Guidelines, there does not appear to have been a lot of development to really test whether the land-use pattern and shop-top development has been positively influenced with current residential demand in the town, the urban design guidelines may be further tested.

Actions:

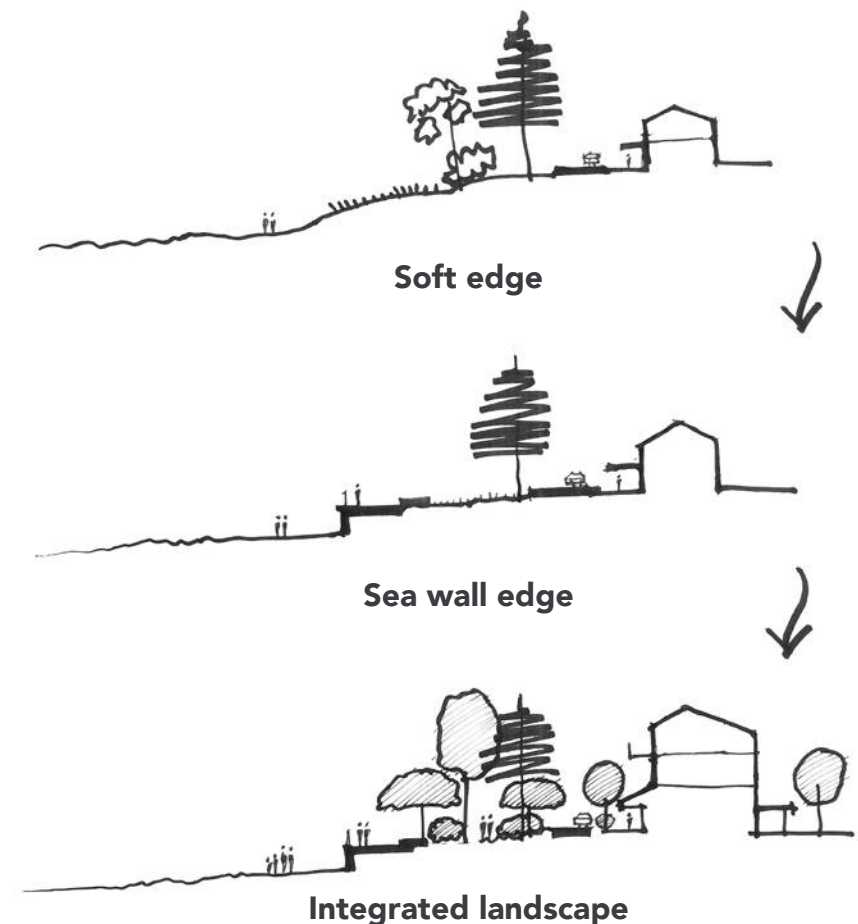
- Review and amend The Guidelines and specific Area Plan to incorporate and promote village character housing and lot planning.



walkable
compact

car-oriented
spread out

Current urban form



Future urban form: transition of village scale

Aside from descriptions outlined in the Penguin Special Area Plan and in the Urban Design Guidelines, the following additional terms should be added:

Main Street:

The covered awning over the footpath along the Main Street is a defining village characteristic. Street awnings sufficient to provide a 3 metre covered pedestrian way should be required for all retail and commercial uses.

Residential areas: the coastal village is strongly defined by traditional small seaside cottages with smaller, unfenced frontage gardens. Older cottages are predominantly white with tiled or dark steel rooves and houses sometimes feature central porticos.

Landscape:

The landscape character of Penguin incorporates significant mature trees and gardens. Ongoing development requires more guidance related to landscape character to prevent the coastal village becoming suburban in character.

Actions:

Performance criteria for these elements, including village character housing and subdivisions, landscape, driveway and external works should be added to the Penguin Specific Area Plan.



STREET CHARACTER: THE SEASIDE VILLAGE



Landscape

Penguin's unique and distinctive character comes from its mature landscape, its predominance of greenery, and its older character buildings within the main street and adjacent areas.

The Penguin Masterplan envisage more greenery and less hardstand and bitumen areas in order to reinforce the seaside village character. New and active people places can be reclaimed by simply reducing the amount of bitumen, without impacting any current movement patterns. An avenue of deciduous trees down the main street and along Crescent Street will create additional scenic qualities to match those of other memorable and photogenic main streets, such as the main street of Ross. The progressive improvements to the Penguin streetscape arising from the masterplan will balance the dominance of bitumen and concrete which occurs on the peripheries of the main street and which currently reduce its village character appeal.



STREET CHARACTER: PENGUIN'S WILDFLOWER GARDENS

Penguin is famous for its community run verge wildflower gardens which are principally located along the Old Penguin Road and following the coastline. This wildflower character comprised of both native and exotic coastal plants is a unique feature that should be the template for the Town Centre landscape improvements. Careful consideration of flower, season and low maintenance will determine the best plants for various public open spaces.

The Perry-Ling Gardens to the East of The Town Centre encapsulate this unique Penguin character. The gardens are adjacent to the proposed stage two Seawall works and the community are very concerned about the potential destruction of this soft landscape corridor.

Engagement with community occurred in detail in October 2020 led by Consultants Inspiring Place. 89% of the community said they thought these gardens were either significant or very significant. The significance related to the landmark character, heritage values, unique qualities and local community pride.

People strongly opposed relocating the Perry-Ling gardens in order to accommodate proposed civil works. The hundreds of people surveyed for the Perry-Ling Gardens as well as the hundreds of people who engaged during the set-up shop have all placed strong emphasis on keeping these gardens.

The future Perry-Ling Gardens may require a higher level of ongoing maintenance, commensurate with our recommendations for a higher level of maintenance for the Main Street foreshore parkland. These key soft landscape areas provide Penguin's most unique character and the capital works should respect this and provide ongoing funding to retain them.



Image: <https://www.facebook.com/penguinmakeovercommunity/>

STREET CHARACTER: BUILDINGS



Buildings

Penguin has a seaside village character complemented by its historic buildings, cottages and its walkable main street.

Buildings from the last twenty years have not added to that original character, with a focus on lesser quality outcomes and fewer civic aspirations in new main street buildings.

Various street and laneway areas in the town lack basic shade and are not attractive to walk along: this means both visitors and locals are concentrated into very small areas where the character has been retained (around the big penguin and the food shops nearby). The poor streetscape quality on the edges of the Town Centre prevents shops from receiving more passing trade.

New buildings should strengthen this village character and not make the centre look more suburban or like that of the larger town centres nearby. Council could be more proactive to achieve this built outcome and The Special Area Plan should be refined to reflect these goals.



Penguin's main street has numerous historical buildings which give character and history to the town. The predominant features in historical buildings which can provide ongoing character direction include: facades with detailed parapets on boundary; wide street awnings; red brickwork with rendered details; street windows featuring recesses and detailed tiling and window framing. The adjacent images show a snapshot of valuable buildings and moments in time.

117 Main Road (Image from 1908)

Cyclists lining up outside G.S Richardson's Beach cycle works shop prior to the Penguin Ulverstone bicycle race.



117 Main Road - Image: B462, Penguin History Group Inc.

86 Main Road (Image circa 1913)

This image captures the character of the main street at the time, showing the dominance of brick buildings featuring continuous street awnings. The existing buildings do not feature footpath awnings or brickwork.



The Block, 86 Main Road - Image: B207, Penguin History Group Inc.

93 Main Road (Image from 2018)

Two historical buildings which feature the original facades and awnings are the Thomas' Store from 1904 and B.Brown's building which was a bakery till the 1960's. It has been carefully converted into shops with accommodation above.



93 Main Road - Image: from 2018

64 Main Road (formerly the National Bank of Australia, built in 1905)

This neoclassical style building is an important landmark on the Main Street. The building has been converted into hotel accommodation.



64 Main Road - Image: Penguin History Group Inc.

STREET CHARACTER: HISTORY



Penguin: historic panorama of landscape

Image: <https://www.facebook.com/PenguinHistoryGroup/photos>



Penguin: current panorama of landscape

Source of plan: Penguin History Group Inc. (Visitor Brochure from 2007)

Historic Sites of Penguin



- 1 CEMETERY**
The first burial was in 1869. This cemetery was used until 1977 when the Ulverstone /Penguin Lawn Cemetery was opened. There were almost 2000 buried here
- 2 ANGLICAN RECTORY 1909 - 1995**
- 3 ABERFOYLE HOUSE**
Built in 1899 by William Archer as a summer house. It has also been used as the Methodist Parsonage
- 4 OLD DOCTOR'S HOUSE**
Former Government Medical officers' house and surgery
- 5 ST STEPHEN'S CHURCH**
Built in 1874 on land given by Alexander Clerke of Coroneag Estate
- 6 HISCUTT PARK AND DUTCH WINDMILL**
Built in 1988 by Dutch migrants
- 7 PLAY CENTRE**
Built in 1901. This was the Station Master's house. The first station master was Thomas
- 8 UNITING CHURCH**
Built in 1903. Site of Primitive Methodist Church
- 9 SUPERMARKET**
Built in 1903 by Don River Trading Company as a general store until 1967
- 10 MADSEN**
Built in 1905 and occupied by the National Bank and the Commercial Bank
- 11 FORMER BAPTIST CHURCH**
1908 - 1996
- 12 SENIOR CITIZENS**
Originally built as the police station, council chambers and magistrates court. 1908
- 13 ST MARY'S CHURCH** Built in 1908
- 14 PATRICK ST. CLINIC, PENGUIN**
Penguin Council Chambers 1964- 1993
- 15 COMMERCIAL BANK OF TASMANIA - PENGUIN**
Built in 1904.
- 16 NEPTUNE HOTEL**
The first hotel was built in 1887 by J.B. Taylor - the following year it was sold to Captain C. Anthon for the sailing ship "Eveline". The present hotel was built in 1949 after a fire destroyed the previous building
- 17 93 MAIN ROAD**
In 1888 a bakery was built on this site by William Kidd. This building was built by B.Brown(1912)and was used as a bakery until the late 60's
- 18 THOMAS'**
The original store opened in 1904
- 19 WATCOMBE HOUSE**
About 1870 this was the site of the first general store. Thomas Sullock bought the property in 1878 and built Watcombe House as a guest house
- 20 PENGUIN RAILWAY STATION 1901 - 1978**
Relocated back to original site and reopened 15 April 2001

- A CORONEAGH HOUSE**
In 1861 E.J. Beecraft became the first landowner in Penguin, when he purchased 167 acres. By 1867 this land had been purchased by Alexander Clerke and named Coroneagh Estate.
 - B McKENNA'S GENERAL STORE**
Built in 1888 for J.D. McKenna and demolished in 1968 to make way for the Bass Highway.
 - C PENGUIN WHARF**
Constructed in 1872 by Cummings & Co. of Don, under the direction of William Cann. Demolished in 1929.
 - D ROGERS SAWMILL - 1896 & STUBBS BUTCHERY - 1899-1950**
 - E SITE /THE FIRST POST OFFICE**
1871 - 1882
 - F TEMPERANCE HALL & HOTEL**
1878 - 1882 burnt down in 1893.
 - G POST OFFICE 1889 - 1899**
 - H ALBION HOUSE**
Two storey weatherboard apartment house. Demolished in 1965
 - I A.J. WADE**
First chemist shop - 1887
 - J FIRST STATE SCHOOL & SCHOOL HOUSE**
Built in 1885
 - K PRIMARY SCHOOL 1923 - 1987**
Now Penguin Market
 - L PENGUIN HOTEL**
This was the first hotel in Penguin - Built in 1871. The Road Trustees met here until it burnt down in 1891.
 - M PENGUIN SILVER MINE 1871-1872**
 - N SURF CLUB**
Original club built in 1930 - rebuilt in 1953. Demolished in 1997
- ★ Formerly **RECHABITE HALL** Built in 1890. Later the site of the Town Hall until demolished in 1986

- 1 - 20 : existing sites and buildings
- A - N : buildings which no longer exist
- : walking track
- +++ : railway line
- : Bass Strait

Penguin's Main Street features numerous historical sites and buildings, as shown on this map featured in the Visitor Information Centre. Historical images and stories could be better featured in the Visitor Centre and its brochures. Currently there is no integrated historical text which focuses on the Main Street.

CHARACTER & STREET FURNITURE ACTIONS



Character and street furniture actions:

- Create a preferred suite of Penguin street furniture which focuses on long-term quality: focus on locally made, better quality fixtures, and on warm/welcoming materials and colours.
- Make a Penguin colour and material palette for use in ongoing public works, and to assist private developers to use colours consistent with the historic beach-front village character
- Remove and relocate inconsistent/aged fixtures and furniture to clean up and make the town's character consistent and contemporary. Keep what looks good and relocate everything else to minor parks.
- Consider incorporating festoon lighting along the foreshore parklands to improve character and lighting at night
- Provide additional moveable chairs along the foreshore to extend this unique and popular character element
- Create new deck sitting spots with wind protection to allow people to extend their stays on the foreshore
- Change the fencing around playground to make a more attractive/natural setting that fits with surrounding landscape.
- Create avenues of shady attractive trees along each street



STREETSCAPE CHARACTER: STREET FURNITURE TO FOSTER



The unique elements which have added character include the movable chairs on the foreshore lawns, the timber slatted seats which were added around foreshore trees, the penguin bins, and the penguin bollards. Future improvements should utilise a Penguin furniture range which is designed and made locally, thus retaining local work for the talented craftspeople living in the district



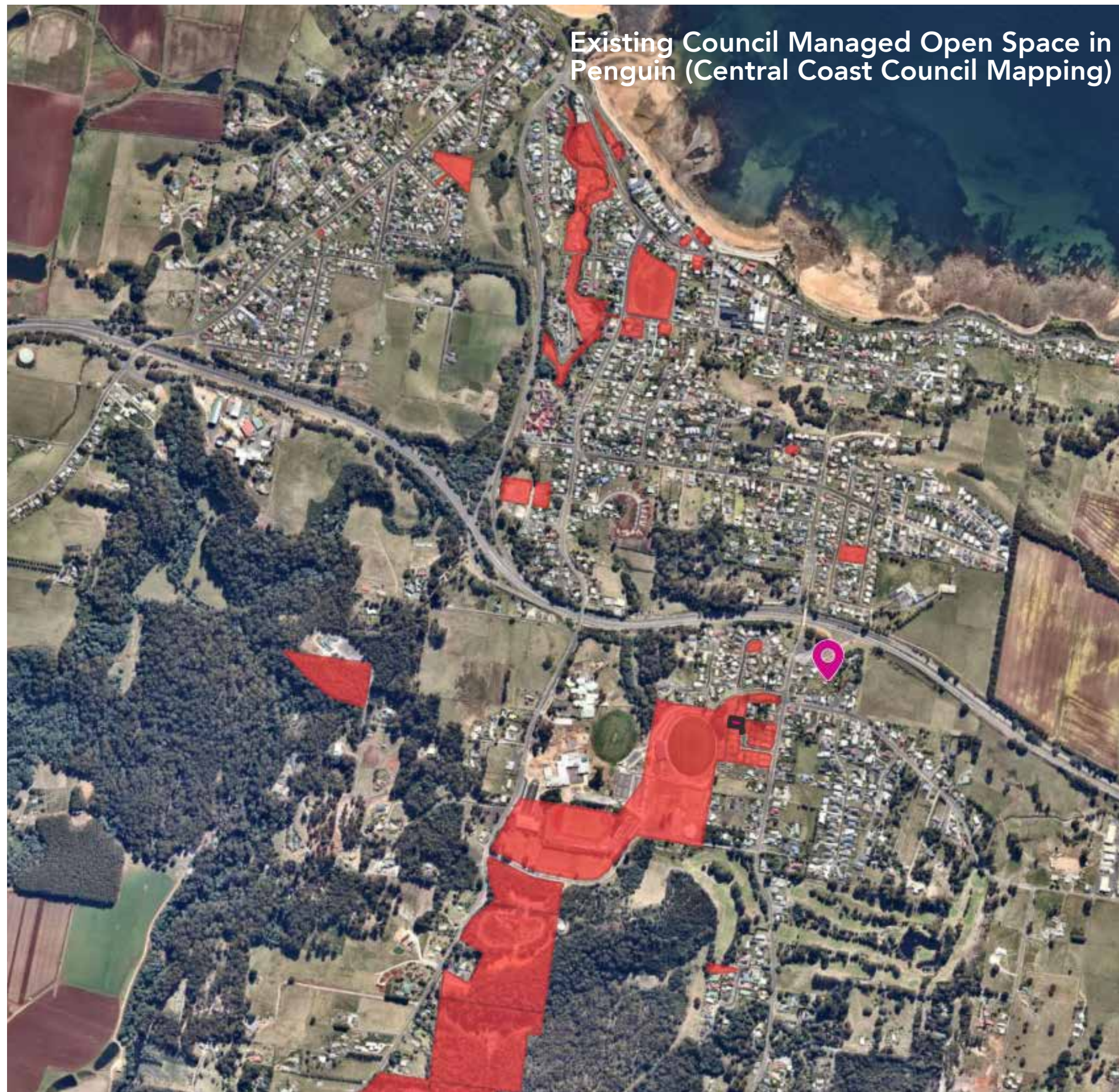
STREET FURNITURE TO IMPROVE



Penguin's character on the footpath is strongly influenced by the character of street elements such as seats and furniture.

There has been an ad-hoc addition of fixtures over the years, with each new item adding to the confusing array of elements. Older fixtures are not often taken away, leading the main street to feel run down in some footpath areas.

Existing Council Managed Open Space in Penguin (Central Coast Council Mapping)



Penguin is very well serviced by a range of informal and formal open spaces and facilities. In many ways it has more facilities than most other towns of equivalent size. Penguin has one full-time gardener who maintains parks in various locations and also maintains the foreshore / main street park areas.

The Foreshore wall works have created a longer and more usable foreshore edge which now requires activation and softening from landscape improvements to complement the hard infrastructure. The main street has the opportunity to be greener and more vibrant. There are many places where street and park trees would improve the character of the town and provide shade.

These Town Centre improvements will create new areas requiring a higher level of maintenance. Penguin will increasingly attract more visitors and residents and a forward plan to carefully manage existing as well as new open spaces will be important. Future funding for both capital and maintenance of open spaces should increase to enable the plan to reach successful fruition.

Actions:

- Develop detailed forward plan for short term Main Street and Foreshore landscape improvements.
- Allocate budget and resources to implement new open space works in the next 2-5 years.
- Raise revenue through the sale of the Recreation Ground site and the Council Depot, to provide badly needed housing areas proximate to town and to fund all the existing parks and open spaces to a higher level of quality and facilities.
- Develop a vegetation strategy / plan to create green habitat corridors such as Penguin highway verges (refer masterplan).
- Assess, upgrade and provide additional public toilets. Ensure all facilities meet current building standards and are universally accessible.

THE BROADER PENGUIN VILLAGE: BIODIVERSITY & WILDLIFE

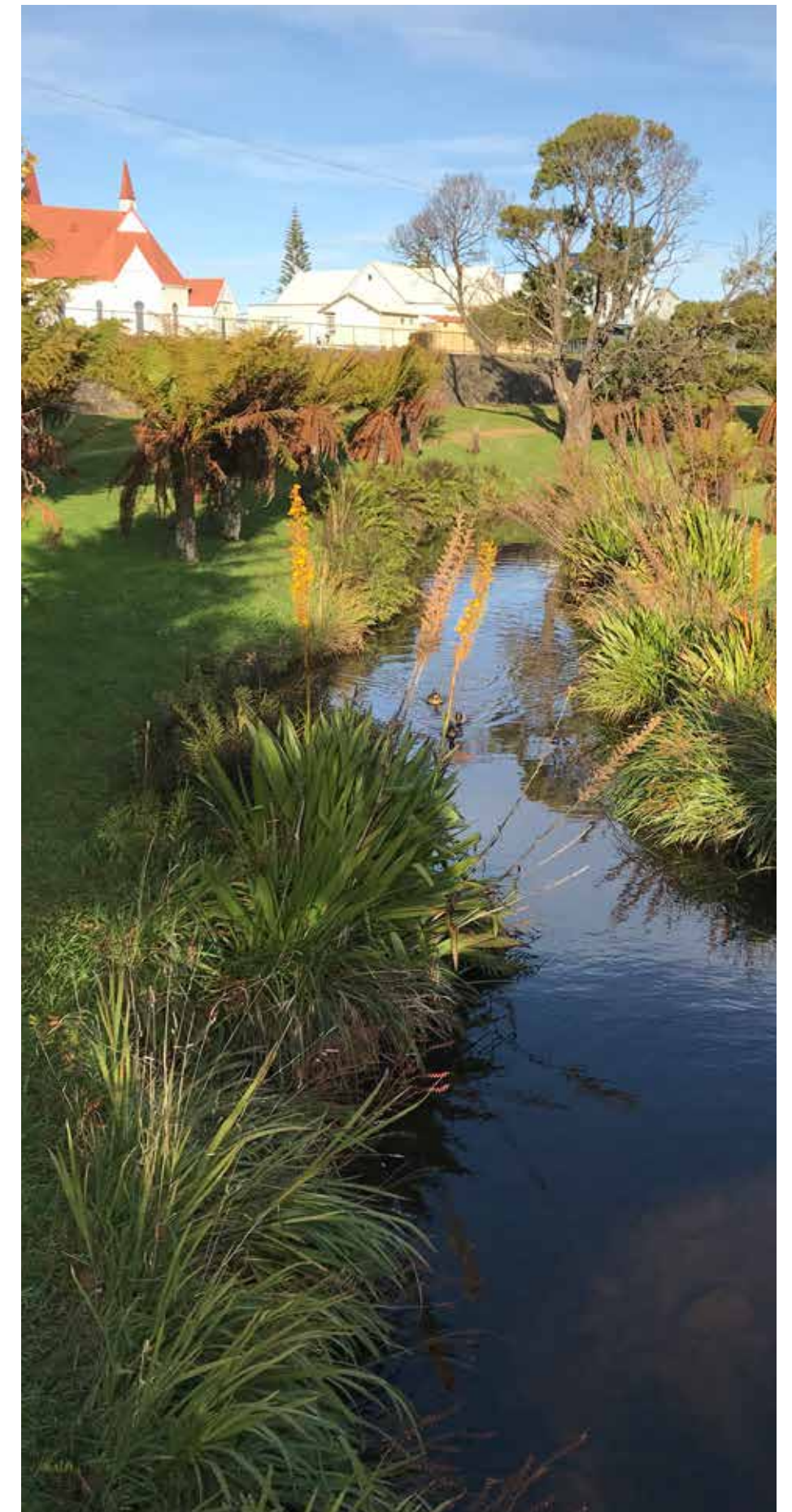


The landscape of Penguin has been substantially modified and cleared. The coastal foreshore, waterways and highway corridors remain as the largest fragments of natural landscapes.

The coastal foreshore and the old Penguin Road have valuable pockets of native trees which form habitat for a range of fauna. By planting connecting corridors of trees and shrubs between existing pockets, continuous wildlife corridors and scenic landscapes can be created.

Along the highway road there are substantial verge corridors which over time could be re-vegetated to create wildlife corridors and attractive tree lined avenues into Penguin.

Corridors of 10-20 metres in width would allow for larger canopy trees and a multi-layered natural forest corridor. Along the waterway that leads to Hiscutt Park, tree and re-vegetation works would assist to join up tree corridors and provide erosion stabilisation. These new potential greenbelt and corridors are shown on the broader Penguin Town Centre Masterplan.





Climate Adaptation in the Penguin Town Centre

The future climate in the region surrounding Penguin will lead to increased storm events and flooding on riverine systems. More extreme wet days, rising sea levels and extreme tides will lead to stronger flash flooding and coastal erosion impacts.

Penguin's new seawall is designed to assist protection of the Main Street from storm surge and coastal erosion. The adjacent foreshore landscape areas will need to accommodate for increased temporal events, salinity and strong winds. Native plants which assist with binding soils and recreating biodiversity should be the primary focus.

Increased periods of lower rainfall and heat waves will require a focus on drought-hardy trees which provide canopy cover and shade during longer summer periods.

Penguin's Main Street lacks shade trees or continuous awnings along the key walkways, and improvements can assist to provide shade and protection in the summer. Deciduous trees can be utilised in these locations to allow winter light and also to create seasonal colour effect.

Hiscutt Park and adjacent waterway corridors are likely to receive increasing storm impacts and the banks should be improved and maintained with riverine trees and shrubs to assist with soil binding to minimise erosion. Public open spaces and activity areas will need to be designed to the frequency of increased storm events. New facilities should be focused on higher land within Hiscutt Park. The inlet is an area which will need revegetation and rehabilitation.

Actions:

- Review building codes and town planning policies to plan for increased events due to changing wind and weather conditions.
- Plantings to be hardy to suit the drier, windier, and more frequent storms in the future. Prepare planting guidelines to anticipate climate change.
- Waterways and drainage ways to cater for more frequent flash flooding and events. The risk areas are near the art gallery, the rail corridor and foreshore low points.
- Use native gardens to create more foreshore erosion protection and protect from prevailing future strong winds from west and east.
- Create more wind protection for outdoor gathering spaces.
- Create more continuous shade tree corridors along the key walkways.
- Create more native gardens and shrubbery planted areas for

wildlife refuge.

- Reduce carbon footprint of new public works by using local materials, contractors, plants, and resources.
- Recycle buildings and fixtures where possible to new uses and places.
- Negotiate with DSG for an electric/hydrogen on demand bus service in and around Penguin.
- Encourage low carbon movement: walking, bike riding, and electric micro transport.
- Use low carbon materials such as clay paving, fly ash concrete and low carbon asphalt in new works.
- Reduce hardstand areas to minimize glare and heat impacts in town.
- Use solar power and LED for new community facilities and street lighting.

References:

Climate Change Fact Sheet, climatechangeedpac.tas.gov.au
ACE Climate Futures for Tasmania: Oct.29.2012,
General Climate Impacts, acecrc.org.au/climate-futures-for-tasmania
Climate Action Plan, Central Coast Council 2010



A climate responsive village

The dominant physical action in the Penguin Masterplan is the planting of trees. This will reduce the town's carbon footprint, increase shade along walkways, provide wildlife habitat and improve its scenic qualities. On the Main Street, reduction of bitumen and increasing gardens and canopy trees will make the street more enticing to walk, and in the summer reduce heat stress and provide corridors of shade.

The Penguin Masterplan aims to create continuous green habitat corridors along the waterways, the highway and the coastal foreshore (refer masterplan). These actions will increase biodiversity and reduce summer heat stress.

Redevelopment of the Recreation Ground and the Council Depot Site anticipate a greener, more climate responsive form of development: one in tune with Penguin's green village character. The concept plans for these sites shows a predominance of greenspace and the minimisation of hard surfaces. These Council led developments have the potential to make Penguin a leader in climate responsive development.

The refurbishment of the town's community facilities buildings also offers an opportunity to lead in sustainable development, with a focus on recycling, low carbon materials and use of local labour and materials. Conversion of all community facility buildings to solar power and a local community battery storage facility could dramatically reduce carbon footprint and on costs.



Council's street tree strategy was developed in 2010 and is now overdue for an update. In relation to Penguin, there is really no guidance in the strategy for a suitable range of trees for differing purposes and areas. The street tree strategy for Penguin Town Centre should incorporate a range of trees that:

- Provide shade and canopy cover
- Consolidate local ecologies and create wildlife corridors
- Provide both evergreen and deciduous options
- Encourage flower, colour and seasonal change
- Are suited for location and size
- Are low maintenance
- Anticipate climate change
- Are suited to soil conditions

The Penguin masterplan incorporates a substantial number of new trees to improve amenity and comfort. New trees are broadly shown in three zones on the masterplan:

- Waterways, parks and habitat corridors
- Foreshore park areas
- Main Street areas

The street tree strategy has identified some key tree and shrub species which could be planted as part of ongoing works. These species will need to be further investigated to determine usability and availability, which would be undertaken as part of a comprehensive review of the street tree guidelines for Penguin.

Actions:

- Test, investigate and further develop a street and park tree palette as part of a Penguin Town Centre landscape manual for both Council and others to utilise.
- Propose a forward budget for regular tree planting over a 10-year period allocating \$50,000 per annum (this will establish 1000 trees of 75 litre size average in a range of Town Centre locations).

PENGUIN DISTRICT VEGETATION MAPS



Source: <https://maps.thelist.tas.gov.au/listmap/>

This vegetation map, provided by LISTMAP Tasmania, shows the current vegetation communities around Penguin. Small remnant vegetation patches surround the town and have been used to inform the native plant palette that follows. This will help to ensure plant choices are well suited to local soils and climate. Vegetation communities correspond with the three broad ecozones in Penguin described in this report (waterways, foreshore and townscape). Notable remnant vegetation zones shown on the vegetation map which provide species for the suggested native plant palettes in the following pages are as follows:

Coastal Vegetation Zones:

Dial Point:

(SAL) *Acacia longifolia* coastal scrub; (SSC) Coastal Scrub

Penguin Point:

(ARA) Saline sedgeland/rushland

(FPF) *Pteridium esclentem* fernland

(NME) *Melaleuca ericifolia* swamp forest

North western peri-urban slopes:

(DOB) *Eucalyptus obliqua* dry forest (Messmate Stringybark/ Tasmanian Oak)

(DSC) *Eucalyptus amygdalina* - *Eucalyptus obliqua* damp sclerophyll forest

(DVG) *Eucalyptus viminalis* – *Eucalyptus globulus* coastal forest and woodland
(White Gum/Manna Gum, Southern Blue Gum)

Wetland areas (behind urban area)

(WOU) *Eucalyptus obliqua* wet forest

(WVI) *Eucalyptus viminalis* wet forest

Town area and immediately south

(DOV) *Eucalyptus ovata* forest and woodland (Swamp Gum/ Black Gum)

(FPU)/(FPL) Silvicultural plantations

(DAC)/(DAD) *Eucalyptus amygdalina* forest and woodland (/on Dolerite) (Black Peppermint)



Eucalyptus ovata
Swamp Gum



Eucalyptus globulus compacta
Tasmanian Bluegum



Agonis flexuosa
Willow Myrtle



Allocasuarina verticillata
Drooping Sheoak



Banksia serrata
Saw-toothed Banksia



Corymbia ficifolia
Red Flowering Gum

Native Trees

This selection of native trees are of small to medium size, provide a relatively compact canopy and good shade. They generally respond well to crown lifting and shaping to maintain street sight lines.

They are salt and wind tolerant with strong limbs, so are suitable for coastal conditions. This selection flower throughout the year to introduce colour, scent and birds to the streetscape. Some feature as street trees in other Central Coast towns. The natives selected throughout reflect vegetation mapping of local regional ecosystems present in the district. A detailed map, sourced from LISTMAP, is included in this section.

The palette should be adapted to suit the local ecological zones identified within the town area, which include the coastal foreshore, waterway/riverine or coastal foothills. Local soil types and conditions should also be considered when selecting species for particular locations.

Street Tree Palette

Botanic Name	Common Name
<i>Agonis flexuosa</i>	Willow Myrtle
<i>Allocasuarina verticillata</i>	Drooping Sheoak
<i>Angophora hispida</i>	Dwarf Apple Gum
<i>Banksia serrata</i>	Saw-toothed/Old Man Banksia
<i>Corymbia ficifolia</i>	Red Flowering Gum
<i>Cupaniopsis anacardioides</i>	Tuckeroo
<i>Elaeocarpus reticulatus</i>	Blueberry Ash
<i>Eucalyptus globulus compacta</i>	Tasmanian Bluegum
<i>Eucalyptus ovata</i>	Swamp Gum

STREET TREES



Acer x freemanni 'Celzam'
Celzam Celebration Maple



Fraxinus pennsylvanica 'Urbanite'
Cimmaron White Ash



Pyrus calleryana 'Chanticleer'
Callery Pear

Exotic Trees

This selection of exotic trees are of medium to large size, and provide a relatively compact canopy. As they are deciduous, they offer good street shade in summer, strong seasonal colour and allow sun to warm the street in winter. They are of medium size and of varying canopy shape and are amenable to pruning. These hardy species are largely wind and coastal tolerant. Some of these species are already planted in other Central Coast towns. They provide diversity of shape, size and colour to contrast with the strong forms of well-established pines along the foreshore. Equally suited to planting as individual feature trees or as mass planting along avenues, these street trees will offer memorable and functional new streetscapes to Penguin.

Street Tree Palette

Botanic Name	Common Name
<i>Acer x freemanni</i> 'Celzam'	Celebration Maple
<i>Acer x freemanni</i> 'Autumn blaze'	Maple Tree
<i>Acer negundo</i>	Box Elder, Ash-leaf Maple
<i>Fraxinus oxycarpa</i>	Golden Desert Ash
<i>Fraxinus pennsylvanica</i> 'Urbanite'	Cimmaron Ash
<i>Pistacia chinensis</i>	Chinese Pistachio
<i>Pyrus calleryana</i> 'Chanticleer'	Callery Pear
<i>Quercus palustris</i>	Pin Oak



Pistacia chinensis
Chinese Pistachio



Acer x freemanni 'Autumn blaze'
Maple Tree



Fraxinus oxycarpa
Golden Desert Ash



Parkland Native Trees

The following selection of native trees represent a selection of larger trees typically found in local remnant vegetation (refer Penguin district vegetation map). They are suitable for inland waterway and other larger park areas that are more protected from the harsh coastal conditions and prefer moist soils.

Trees chosen:

- Provide shade and medium to high canopy
- Provide habitat for local fauna species
- Blossom throughout the year
- Encourage biodiversity
- Are native and evergreen
- Are suited for parks where more space is available
- Minimise branch drop
- Are low maintenance

Parkland Tree Palette

Botanic Name	Common Name
<i>Acacia melanoxylon</i>	Blackwood
<i>Allocasuarina littoralis</i>	Black Sheoak
<i>Callitris rhomboidea</i>	Oyster Bay Pine
<i>Eucalyptus amygdalina</i>	Black Peppermint
<i>Eucalyptus obliqua</i>	Messmate Stringybark, Tasmanian Oak
<i>Eucalyptus ovata</i>	Swamp Gum, Black Gum
<i>Eucalyptus viminalis</i>	Manna Gum

PARKLAND TALL SHRUBS



Parkland Shrubs

These native and exotic shrubs will add interest and consolidate biodiversity values in waterway and parkland corridors. Some of the shrubs are suited to the moist soils and relatively protected areas of a riverine micro-climate.

This selection of native shrubs offers a range of plant heights and habits, and flower across the year. Along with the trees, the shrubs add depth and structure to the parkland. The native shrubs build its capacity as a quiet refuge and corridor where flora, fauna and human communities can connect and recharge.

Parkland Tall Shrubs Palette

Botanic Name	Common Name
<i>Acacia mucronata</i>	Narrow-Leaf Wattle
<i>Alocasuarina littoralis</i>	Black Sheoak
<i>Banksia integrifolia</i>	Coastal Banksia
<i>Bursaria spinosa</i>	Sweet Bursaria
<i>Elaeocarpus reticulatus</i>	Blueberry Ash
<i>Melaleuca ericifolia</i>	Swamp Paperbark
<i>Melaleuca squarrosa</i>	Scented Paperbark



TOWNSCAPE AND PARKLAND SHRUBS



Acacia dealbata
Silver Wattle



Acacia longifolia
Coastal Wattle, Sydney Golden Wattle



Acacia longifolia var sophorae
Coast Wattle, Booyalla

Native Shrubs, Ground Covers and Grasses

Shrubs of varying size and habit are required for the different conditions and requirements within the Town Centre and coastal zone.

To soften the new seawall and create places to gather and linger, hardy coastal natives should be planted. Their low undulating forms create visual interest and will help to stabilise the foreshore area. They offer habitat corridors for small fauna, and will maintain sight-lines in what will become a well used public space.

Shrubs Palette

Botanic Name	Common Name
Tall shrubs / shrub-like small trees	
<i>Acacia dealbata</i>	Silver Wattle
<i>Acacia longifolia</i>	Coastal Wattle, Sydney Golden Wattle
<i>Acacia longifolia var sophorae</i>	Coast Wattle, Booyalla
<i>Banksia marginata</i>	Silver/ Honeysuckle Banksia
<i>Correa backhouseana</i>	Australian Fuchsia
<i>Hakea lissosperma</i>	Needle Bush
<i>Leptospermum scoparium</i>	Tea Tree
<i>Myoporum insulare</i>	Coast Boobialla



Banksia marginata
Silver/Honeysuckle Banksia



Correa backhouseana
Australian Fuchsia



Myoporum insulare
Coast Boobialla

TOWNSCAPE AND PARKLAND MEDIUM SHRUBS, GROUND COVERS & GRASSES: NATIVE



Atriplex cinerea
Grey Saltbush, Barilla



Correa alba
White Correa



Dianella revoluta
Blueberry Lily



Pimelea humilis
Rice Flower



Dianella tasmanica
Tasman Flax-lily



Poa labillardierei
Tussock Grass

Medium Shrubs, Ground Cover & Grasses Palette

Botanic Name	Common Name
Small to medium shrubs	
<i>Acacia verticillata</i>	Prickly Moses
<i>Amperea xiphioclada</i>	Broom Spurge
<i>Atriplex cinerea</i>	Grey Salt-bush, Barilla
<i>Calytrix tetragona</i>	Fringe Myrtle
<i>Correa alba</i>	White Correa
<i>Dianella revoluta</i>	Blueberry Lily
<i>Dillwynia cinerascens</i>	Grey Parrot-pea
<i>Goodenia lanata</i>	Trailing Goodenia
<i>Goodia lotifolia</i>	Golden Tip
<i>Westringia fruticosa</i>	Coastal Rosemary
Ground covers	
<i>Carboprotus rossi</i>	Pigface
<i>Chrysocephalum apiculatum</i>	Yellow Buttons
<i>Chrysocephalum semipapposum</i>	Clustered Everlasting
<i>Kennedia prostrata</i>	Running Postman
<i>Pimelea humilis</i>	Rice Flower
<i>Scleranthus biflorus</i>	Cushion Bush
Grasses	
<i>Bulbine glauca</i>	Rock Lily
<i>Dianella tasmanica</i>	Tasman Flax-lily
<i>Isolepis nodosa</i>	Knobby club-rush
<i>Lepidosperma concavum</i>	Sword-sedge
<i>Poa labillardierei</i>	Tussock Grass
<i>Themeda triandra</i>	Kangaroo Grass

TOWNSCAPE AND PARKLAND MEDIUM SHRUBS, GROUND COVERS & GRASSES: EXOTIC



Leucadendron salignum
Conebush



Mimetes cucullatus
'Crackerjack Red'



Dietes grandiflora
Wild Iris



Miscanthus sinensis
Chinese Silver Grass



Rosmarinus officinalis 'prostratus'
Prostrate Rosemary



Senecio cylindricus
Narrow Chalk Sticks

Medium Shrubs, Ground Cover & Grasses Palette

A range of both exotic and Australian (native but not indigenous to area) plants will be required in ongoing park works to complement the local native plants shown on other palettes. These plants provide solutions for locations where other plants are not suitable. These plants include:

Botanic Name	Common Name
Small to medium shrubs	
<i>Coleonema compactum</i>	Pink diosma
<i>Hebe</i> sp.	Shrubby Veronica
<i>Laurus nobilis</i>	Bay Tree
<i>Lavendula</i> sp.	Lavender
<i>Leucadendron salignum</i>	Conebush
<i>Mimetes cucullatus</i>	Common Pagoda
<i>Olea europea</i> sp.	Olive Tree
<i>Photinia</i> sp.	Chinese Firebush
<i>Skimmia japonica</i>	Japanese skimmia
<i>Pachystegia insignis</i>	Marlborough Rock Daisy
Ground covers	
<i>Echeveria glauca</i>	Blue Hens and Chicks
<i>Juniper squamata</i>	Prostrate Juniper
<i>Rosmarinus officinalis</i> pr.	Prostrate Rosemary
<i>Santolina chamaecyparissus</i>	Silver Cushion Bush
<i>Senecio cylindricus</i>	Narrow Chalk Sticks
Grasses / strap-like plants	
<i>Astelia banksii</i>	Coastal astelia
<i>Dietes grandiflora</i>	Wild Iris
<i>Hemerocallis</i> sp.	Day Lilies
<i>Liriope</i> sp.	Liriope
<i>Miscanthus sinensis</i>	Japanese Silver Grass

PENGUIN & HINTERLAND: VISITOR INFORMATION

Penguin

Penguin is a hub for a beautiful rural hinterland featuring agricultural fields, rolling hills and large areas of forested riverine corridors. Tourist attractions such as Leven Canyon and the Gunn's Plains Caves provide high quality nature based visitor destinations.

The Visitor Information Centre at Penguin needs a refresh to better present and communicate all the local attractions and scenery.

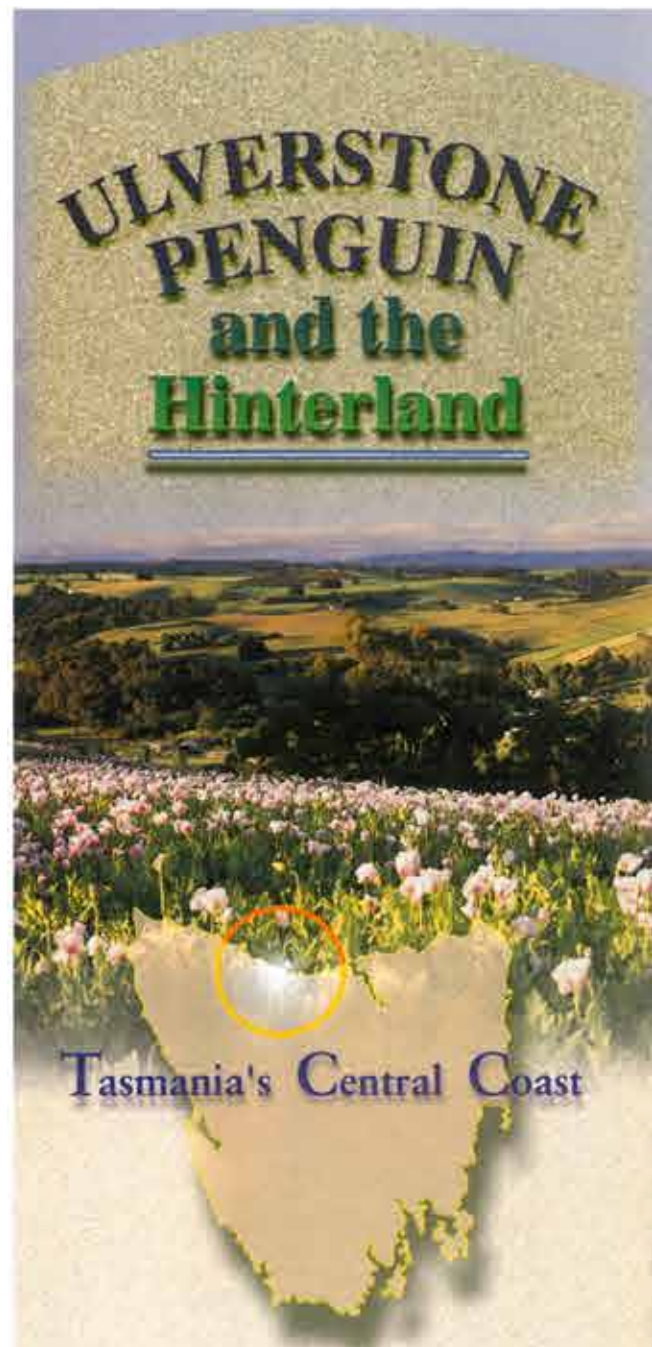
Actions:

- Review Council Visitor Information documents and pamphlets and upgrade as required.
- Extend / revamp / refurbish / relocate the Visitor Information Centre to provide a better hub for visitors. Carry out a conceptual study to investigate further the best use of current locations and assets.
- Develop a plan which could expand the Centre and provides shop-top accommodation and new commercial uses which can improve the visitor destination.

Source: Visitor Information Brochure from 1990's



PENGUIN & HINTERLAND: LOCAL DESTINATIONS



Attractions

How to get here...

- 15 minutes drive west of the Spirit of Tasmania Terminal Devonport
- 30 minutes drive west of the Devonport Airport
- 40 minutes drive east of Burnie-Wynyard Airport

1/2 hour trips

- Braddons Lookout-via Forth
- War Memorial Parks
- Picnic Spots, parks, playgrounds and beaches
- Zig Zag Walk to lookout at Upper Maud Street, Ulverstone
- Antique and craft shops
- Hiscutt Park, Penguin
- Cann Hill Lookout, Penguin

2-4 hour trips

- Spellmans Bridge drive
- River, sea and lake fishing
- Dial Range walks
- Ferndene
- Gunns Plains (caves, lookout, hop farm)
- Preston Falls
- Penguin Market
- Pioneer Park, Riana
- Leven Canyon

1-2 hour trips

- Penguin to Ulverstone Scenic Coast Road drive
- Ulverstone History Museum
- Scenic Coast Road Gardens
- Preservation Bay surfing
- Penguin and Ulverstone Miniature Railways
- Fairy Penguin tours

4-6 hour trips

- Winterbrook Falls, Black Bluff

The map shows the region around Ulverstone and Penguin, including roads like the Bass Highway and various local roads. Key locations marked include Ulverstone, Penguin, Forth, Leith, and various smaller towns and reserves. A note on the right states: 'It is recommended that a recognised road map be used with this regional map.'

Tasmanian Visitor Information NETWORK

Centres in **Ulverstone**
Ph (03) 6425 2839
and **Penguin**
Ph (03) 6437 1421



The hinterland Penguin and its scenic features are not currently well promoted within The Visitor Centre due to a lack of high quality colour tourism information.

Visitors need a range of destination trips and times to enable planning longer local visitation. A new brochure and web-link / app is required which gives them this information. It is recommended to recreate a colourful tourism brochure of Penguin and hinterland similar to the brochure from the 1990s.



TOWN CENTRE

PRIORITY PRECINCTS

PENGUIN TOWN CENTRE MASTERPLAN: PRIORITY PROJECTS



Summary of the short-term projects

The following streetscape and parkland capital works are key elements to activate Penguin Town Centre.

The following pages outline the key priority projects in the next one to two years.

PENGUIN TOWN CENTRE MASTERPLAN: PRIORITY PROJECTS

PRIORITY PROJECTS PLANNED FOR PENGUIN:

- 1 Penguin Main Street:
Streetscape at Visitor
Information Crossing
- 2 Penguin Library and
Surrounds
- 3 Surf Club Point:
Destination Park
Improvements
- 4 Streetscape
- 5 Foreshore / Streetscape
Fronting Shops
- 6 Foreshore / Streetscape
Fronting Uniting Church to
Art Gallery
- 7 Railway Station
Precinct
- 8 Library Precinct
- 9 Main Street Gateway
- 10 Crescent Street
Gateway



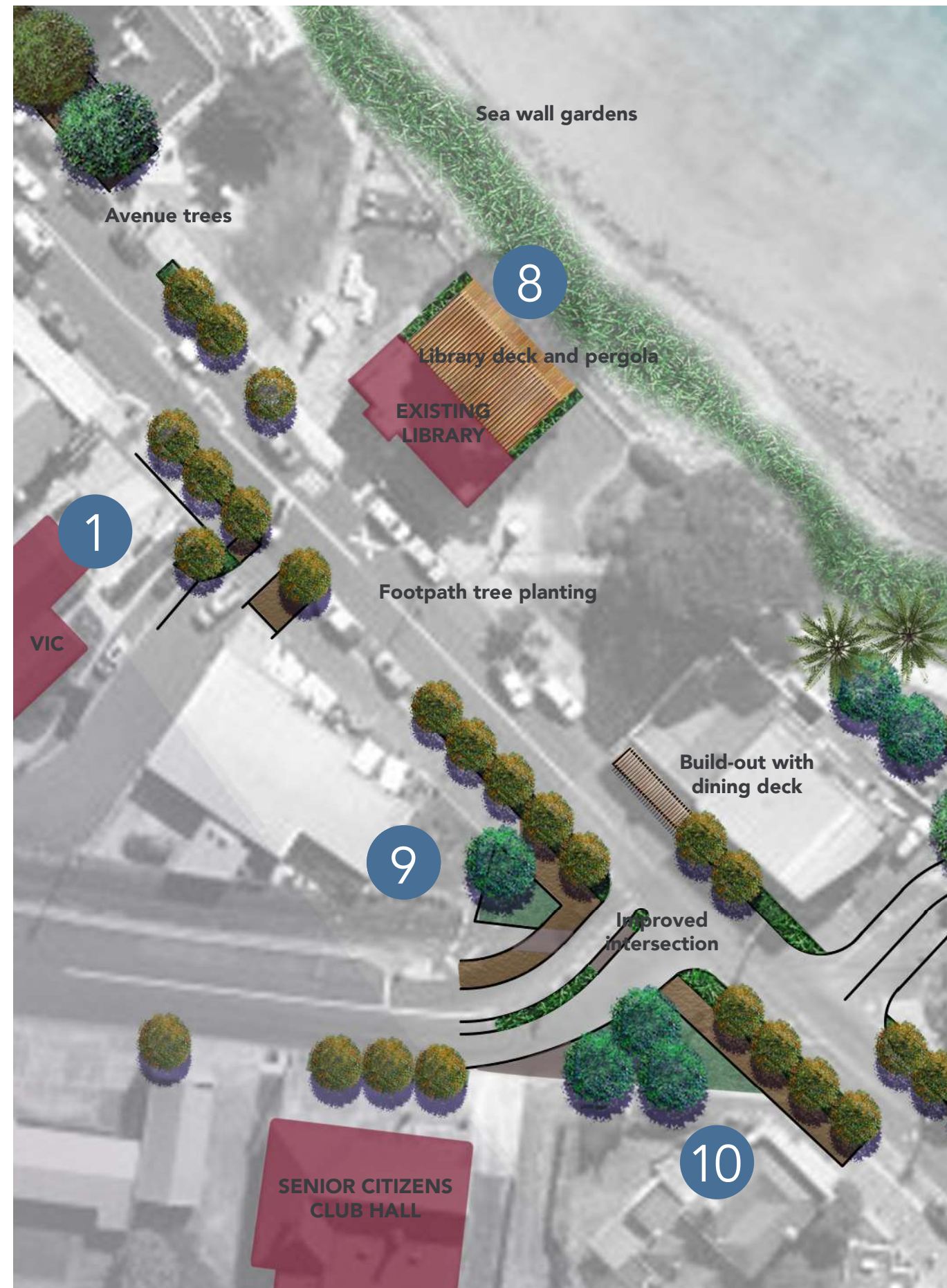
PENGUIN TOWN CENTRE MASTERPLAN: PRIORITY PLAN AREA 1 & 8

PRIORITY PLAN AREA 1 & 8: KEY WORKS

Area 1:
The Visitor Information Centre needs to be revamped and could incorporate shop-top accommodation, retail uses and higher quality entry and interior spaces.

Area 8:
The Penguin Library could co-locate with commercial use and incorporate a wide covered deck facing the sea.

Areas 9/10:
A green gateway which improves traffic safety and provides a link across the Main Street.



Key Works: Priority Area 1 - Penguin Main Street: Streetscape at Visitor Information Crossing

- Create new verge gardens (either side of crossing)
- Advanced feature trees
- Street furniture
- Asphaltic pattern applied to crossing
- New footpath clay paved

Key Works: Priority Area 8 - Library Precinct

- Revamp Library and consider co-located uses
- Build large covered timber deck for outdoor community and commercial uses
- New disabled deck ramp to rear deck
- Improved paths
- Garden works
- Furniture / fixtures / lighting

Key Works: Priority Area 2 - Penguin Library and Surrounds

- Create a new attractive sitting and activity deck for use by library users or visitors
- Provide rain protection
- Improve adjacent walkways and provide deck ramp
- Improve gardens
- Street tree planting

Key Works: Priority Area 9 / 10 - Crescent Street / Main Street Gateway (near Post Office)

- Advanced trees
- Create new grass areas
- New garden areas / verge gardens
- New footpaths
- Install lighting / signage
- Provide seating & furniture
- New civil / roadworks
- Outdoor dining build-out in front of Penguin Brewery

PENGUIN TOWN CENTRE MASTERPLAN: PRIORITY PLAN AREA 2

PRIORITY PLAN AREA 2: KEY WORKS

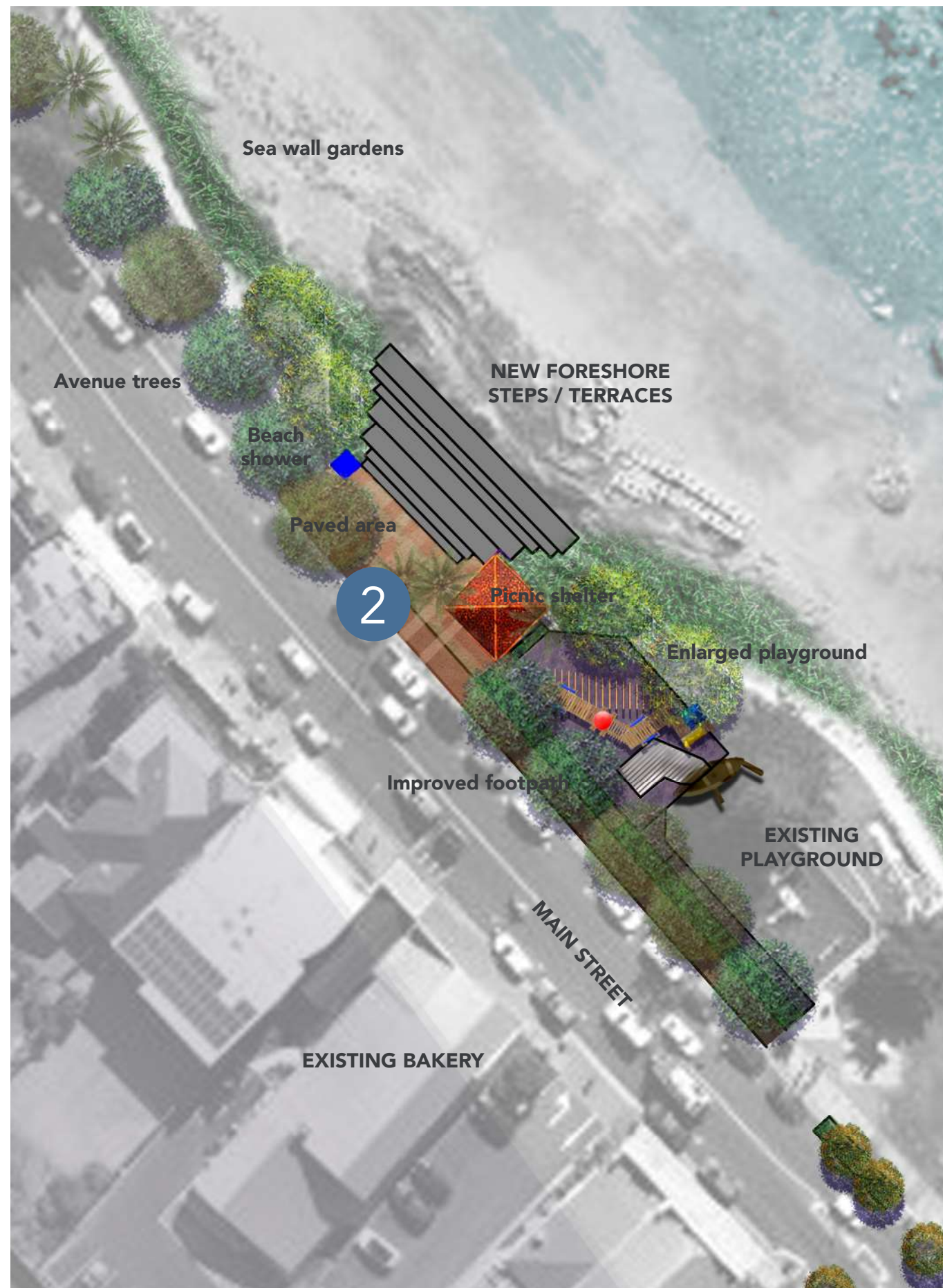
Double the size of the play-space to create a modern and creative destination playground.

Improve the streetscape with avenue trees and revamped footpath.

Provide gardens and picnic shelter to soften sea wall and create activity areas.



SCALE 1:500



Key Works: Priority Area 2 - Penguin Main Street: Destination Playground & Streetscape Playground:

Playground:

- Expand / improve play elements
- Lighting / power outlets / electrical
- New perimeter fencing
- New soft fall areas
- Furniture / seats
- Tree and garden works to playground / surrounding gardens

Streetscape / Park:

- New footpath
- Verge gardens
- Advanced trees
- New gardens
- Table & chairs
- Picnic shelter
- Outdoor shower
- Deck seats
- BBQ
- Relocate book library in Tardis

PENGUIN TOWN CENTRE MASTERPLAN: DESTINATION PLAYGROUND



The most popular seaside destinations feature art and crafts which tell about the culture, history and environment of a place.

Crafted play elements, structures, seating and art-built in features are elements to add vibrancy and interest to Penguin's public places.

PENGUIN TOWN CENTRE MASTERPLAN: PRIORITY PLAN AREA 3

PRIORITY PLAN AREA 3: KEY WORKS

Provide additional new picnic shelter, seating and gardens.

Revamp old park fixtures and integrate facilities into one lookout park destination.



SCALE 1:500



Key Works: Priority Area 3 - Surf Club Point: Destination Park Improvements

- Upgrade existing shelters
- Extend / improve gardens
- Improve seating areas
- Create lookout point / signage

PENGUIN TOWN CENTRE MASTERPLAN: PRIORITY PLAN AREA 4, 5 & 6

PRIORITY PLAN AREAS 4, 5 AND 6: KEY WORKS

Area 4:
Create build-outs to act as shaded traffic calming and to provide a treed avenue to Main Street. Improve footpath linkages.

Areas 5/6:
Soften the seawall, activate the foreshore parkland and create more activity niches with crafted seating, picnic shelters, BBQ's and gardens. Create build-outs.



Key Works: Priority Area 4 - Streetscape

- Advanced trees
- New gardens
- Furniture / fixtures
- Verge build-outs

Key Works: Priority Area 5 - Foreshore / Streetscape Fronting Shops

- Advanced trees / palms
- Picnic shelter
- Table & chairs
- Deck seating around trees
- New gardens
- Path links to street
- Furniture / fixtures
- Verge build-outs

Key Works: Priority Area 6 - Foreshore / Streetscape Fronting Uniting Church to Art Gallery

- Advanced trees
- Picnic shelter
- Table & chairs
- Deck seating around trees
- New gardens
- Furniture / fixtures
- Verge build-outs

PENGUIN TOWN CENTRE MASTERPLAN: DESTINATION FORESHORE PARK

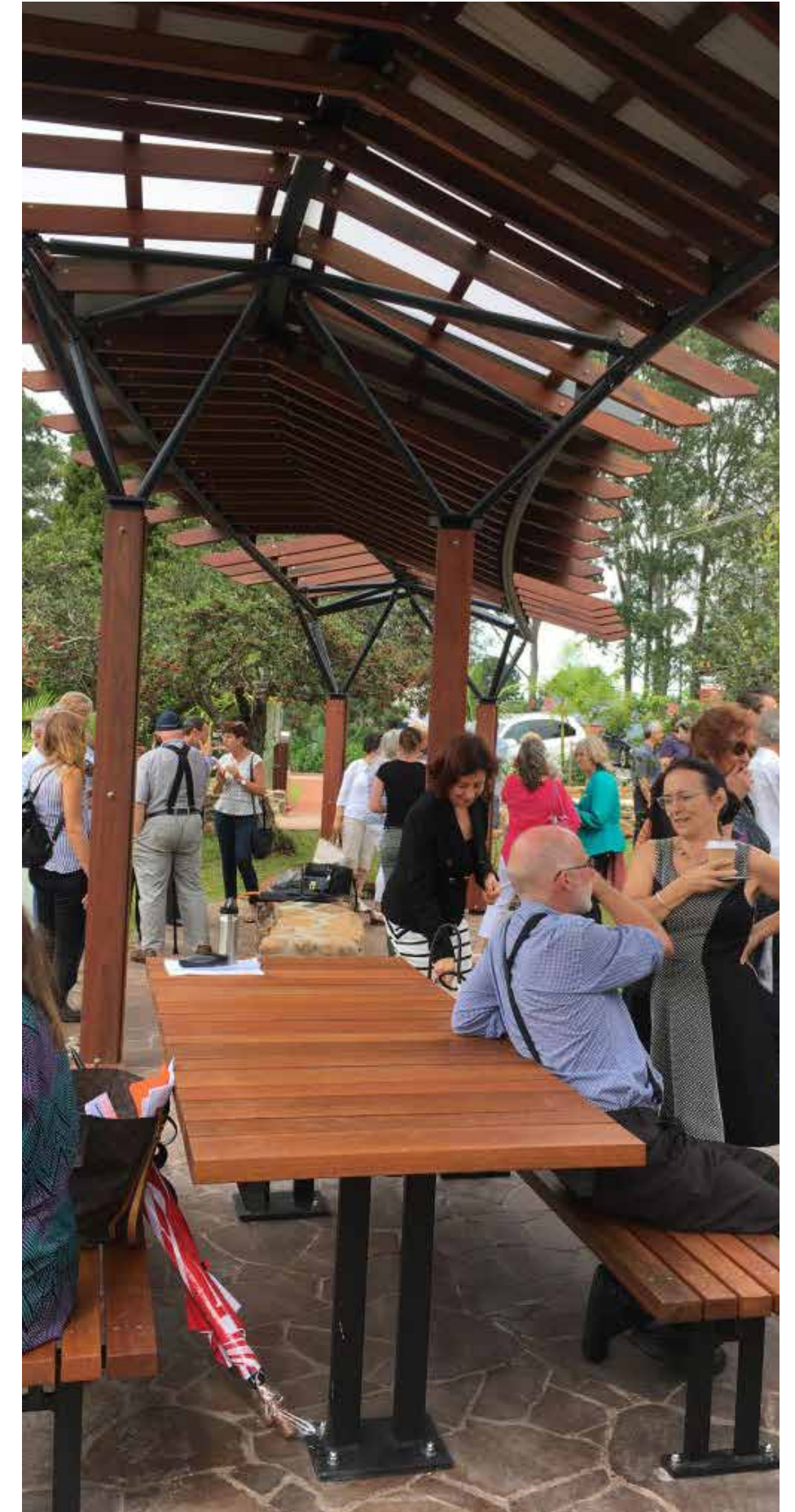


The foreshore parkland between the Seawall and the Main Street is the most important public realm in Penguin. Improvements need to create high quality places that allow residents and visitors to stay longer. Crafted sitting areas with shelter and interpretive signage which tell the story of Penguin are proposed.

PENGUIN TOWN CENTRE MASTERPLAN: DESTINATION FORESHORE PARK



The foreshore parklands and public park areas need to be treated as places for gatherings and events. Comfortable and interesting places need to be designed to foster increased usage and to provide more destinations along the foreshore.



PENGUIN TOWN CENTRE MASTERPLAN: PRIORITY PLAN AREA 7

PRIORITY PLAN AREA 7: KEY WORKS

Activate the Railway Precinct by building an ocean fronting covered deck.

Consider co-located commercial and community uses to create more visitation.

Create colourful meaningful entry gardens around the Railway Station and incorporate avenue trees and palms.



SCALE 1:500



Key Works: Priority Area 7 - Railway Station Precinct

Landscape:

- New feature entry gardens
- New advanced avenue trees
- Seating decks
- Signage

Building:

- Covered outdoor deck to street side of railway station
- Lighting
- Ramp / path works

PENGUIN TOWN CENTRE MASTERPLAN: PRIORITY PLAN AREA BEECRAFT POINT

PRIORITY PLAN AREA BEECRAFT POINT: KEY WORKS

Provide gardens and shade trees to link back to Penguin Town Centre.

Improve the park facilities with new shelter, litter bins and signage.

Investigate opportunities to improve Scout Hall building and usage, consider co-located commercial and community uses.



SCALE 1:500





TOWN CENTRE IMPLEMENTATION

FUNDING STRATEGY

The Funding Strategy

Penguin has an abundance of community facilities and generous open spaces. These public assets need improvement to sort issues and take account of opportunities identified by the community and the design team, however small regional Councils do not have a large rates base and so improvements of this order usually require either government grant funding or innovative ways to generate income, and to assist to maintain aging assets.

A key recommendation is to implement actions which create relatively quick and cost-neutral funding. We suggest that Penguin's public assets can be optimised by:

- Rezone (SAP) and on-sell Recreation Ground site with an approved DA;
- Rezone (SAP) and on-sell Council Depot site with an approved DA;
- Create retail opportunities in key buildings which provide ongoing rental and maintenance income
- Use income stream to potentially fund all the public building and open space works in the Penguin masterplan;
- Use income stream to create cost neutral state/federal co-funding stream for projects beyond the 10 priority projects

Multiple Uses / Multiple Income Streams

Co-using facilities is a common means of activating public assets in Australia and places with scenic attractions offer additional commercial opportunities which can assist public budgets. Co-locating commercial uses or tenancies such as cafes, restaurants, gift shops provide more interest and length of stay opportunities to visitor centres and other community facilities.

The new Devonport City Council administrative services precinct (The Paranal Centre) incorporates a café, an adjacent gallery and provides dining venues in an integrated and active precinct. Public parklands such as Southbank in both Brisbane and Melbourne provide kiosks, leases and commercial opportunities within public open space, at the same time creating economic activity flows and vibrancy.

Preliminary Activities

As a preliminary task, before any significant physical changes can be made, there are some items that have to be 'ticked off' the to do list. The major task here will be to make the appropriate planning changes that will allow Penguin to develop how it should in keeping with the community's expectations.

Planning Changes

To achieve the investment in Penguin that will be necessary to fund the hard infrastructure projects that the community wants, there will need to be some changes to the planning scheme. These will be significant and will involve submissions to the commission which will require detailed reporting.

The design team recommend that work commence immediately to establish the appropriate strategic and economic benefits as well as establish the demand for the appropriate land use. Our recommendation is not to just rezone these sites/areas, but to develop a Specific Area Plan (SAP). This will give Council more control over height and character and ensure the private sector delivers specifically on the community expectations.

Council can then commence the disposal plan outlined in the report. (To obtain development approvals for the recreation ground and the Council Depot site). This process could slightly overlap work on the SAP. It would involve appointing an independent party to develop a scheme and formulate the application and an independent party to assess the application on Council's behalf. Council will then dispose of the sites with a

realistic expectation that the community expectations will be met.

Short-term Improvements (open spaces and community facilities)

The Masterplan has identified ten short-term open space projects which will provide the most visual impact to the greatest number of town users.

These ten projects collectively require in the order of \$1.5 million in funds, excluding design, contingencies and escalation costs. (This package is a cumulative budget in the range of \$2-2.2 million).

It is anticipated that short-term budgets are best utilised for the following projects:

1. Investigate, plan and carry out study and concept plans to improve/revamp the Visitor Information Centre and Library forecourt.
2. Recreation Ground development plan - prepare urban design plans, feasibility report and D.A level information to prepare site for divestment with a development approval.
3. Depot site development plan - prepare urban design plans, feasibility report and D.A level information to prepare site for divestment with a development approval.
4. Landscape design plans and details for short-term projects 1-10.
5. Project 2 implementation: destination playground and adjacent streetscape in the centre of town.
6. Regulatory planning changes to special area plan to support changes to key sites.

Stage two seawall and foreshore works

For ongoing foreshore works, it would be prudent to adjust and broaden the engagement process moving forward for the seawall implementation works, since this foreshore work is having a large impact on the community. The stage two engagement should include before and after renderings of improvements, since it appears that very few people have understood the detailed engineering plans to date. A more comprehensive community engagement process could be undertaken, following the set-up shop format of this Penguin Town Centre study, a process which has worked very well and garnered a lot of broad input. Following the engagement, detailed landscape architectural plans should be undertaken, to support the current engineering plans.

These plans would include retained vegetation and tree surveys, detailed landscape plans outlining planting, surface treatments, finishes, furnishings, storytelling and signage, art and craft elements, lighting and way-finding. A focus on local fabrication and local construction can be created by creating specific 'Penguin' Town Centre furniture and fixtures. This would allow local contractors to make all of the works.

Rationale

This package of works allows for the income generating opportunities in the masterplan to be pursued with a view to potentially providing more shovel-ready plans suited to co-government funding within the next year or so.

Whilst the planning and design is furthered for key sites and spaces in the short-term, the Year One 'bang-for buck' physical improvement could be the creation of the destination playground and improved streetscape nearby, providing quality improvements at the highest visitation area in the Main Street.

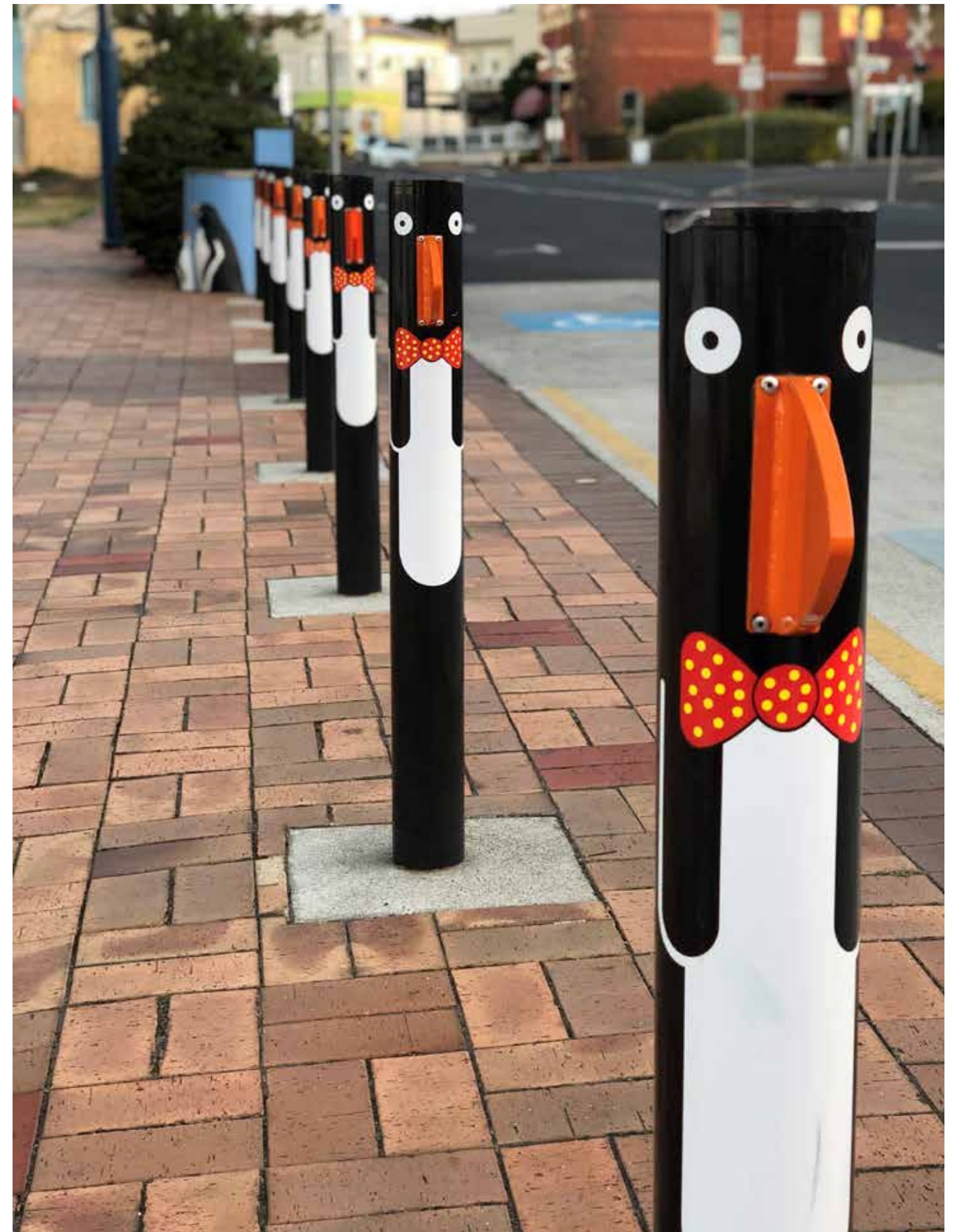
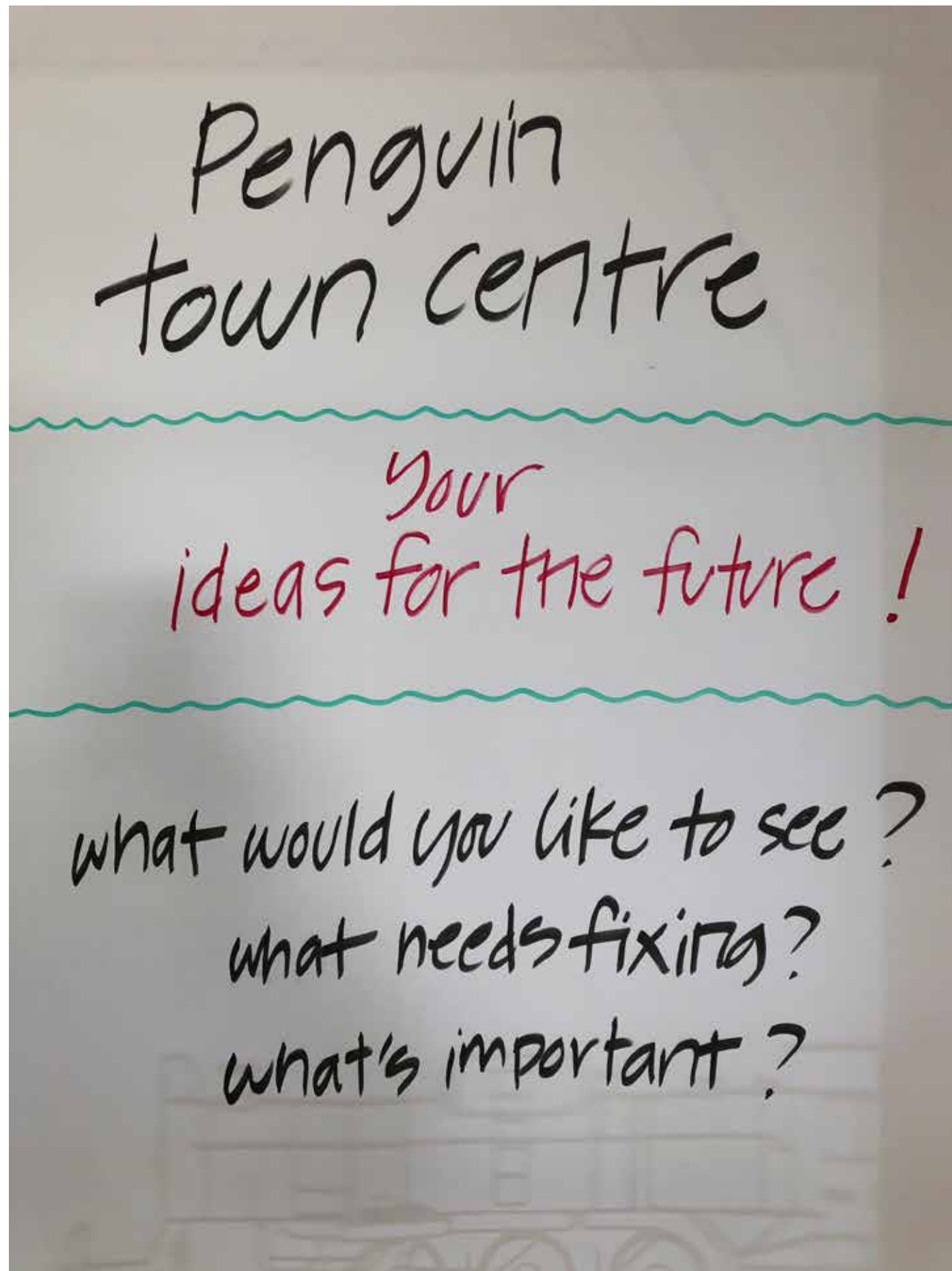




10

APPENDIX

PLACEMAKING AND COMMUNITY ENGAGEMENT



PENGUIN SET UP SHOP: IDEAS FROM THE RAILWAY STATION



PENGUIN SET UP SHOP: IDEAS FROM THE RAILWAY STATION

- Temp stage & event spaces along foreshore
- maintain the old shop fronts
- fix the Neptune Pub deck! It's a prime location.
- Council could make licences/approvals easier
- develop walking paths/tracks around town + along creek. You can only follow creek so far at the moment, then it gets overgrown! Can it be extended?
- make sure footpaths maintained to make it easy to get around town
- Bitumen/pavement out at either end of Main St.
- Disability access issues for most of town shops
→ entry into shops & wheelchairs
→ access. car parking
- electric vehicle charging points.
- Create a loop for running around town → starts on flat-away from cars
- be good if it ended or/t started at a cafe
- gravel/grass is best
- doesn't need to be concrete or bitumen.
- Market - would be great if it went back to former glory
- used to be mini Salamanca.
- Shuttle up to mountain from penguin → so people can start & stop here & spend money here
- Traffic a big issue → could main street be one way
→ wider space for on-street dining, bike paths
- Restaurant at old sea scout hall
- Accommodation does not deal with bikes - need more accom in town to suit.
- Beach shower people & for mountain bikes
- Recycling hub - promotion of sustainable consumption & use of waste
- Signals at traffic lights need adjusting

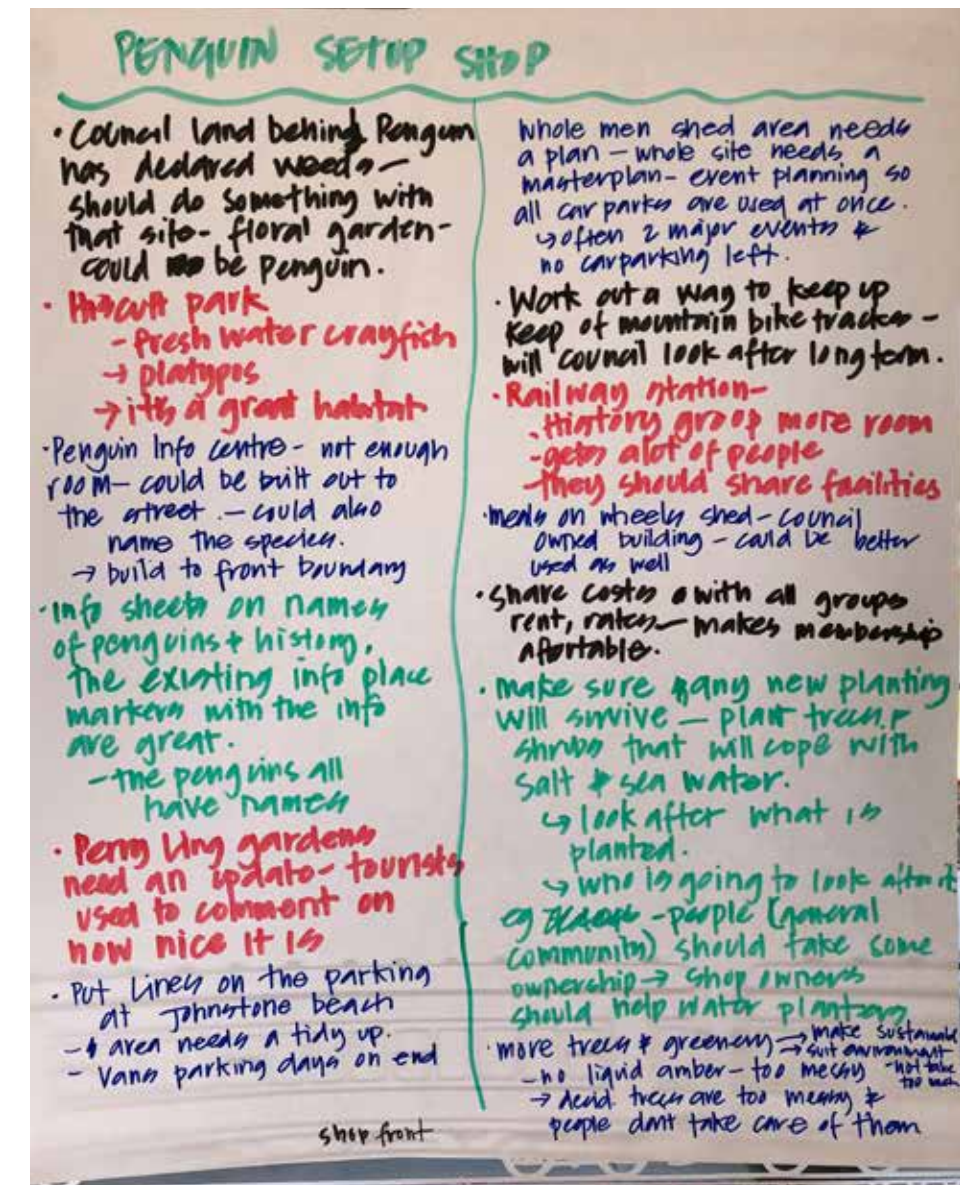
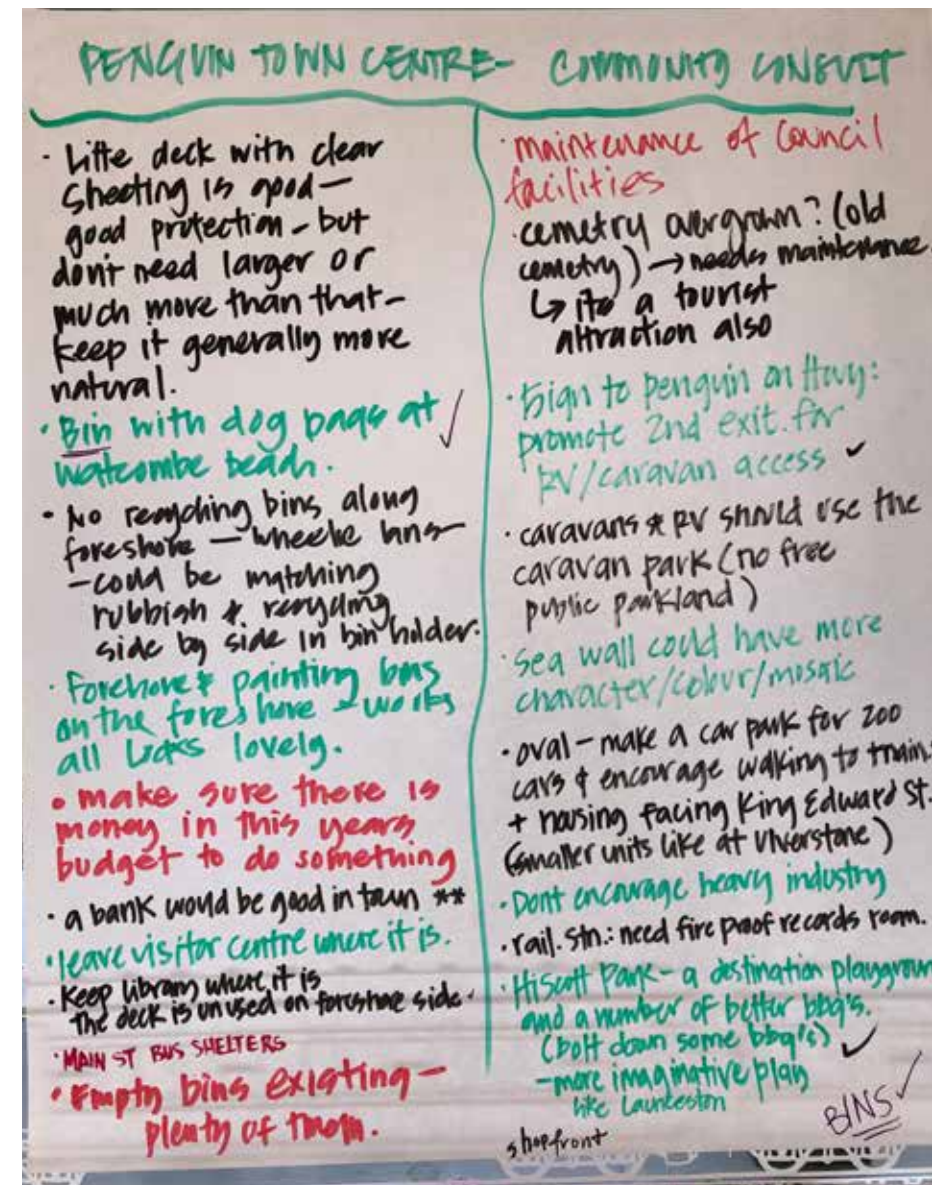
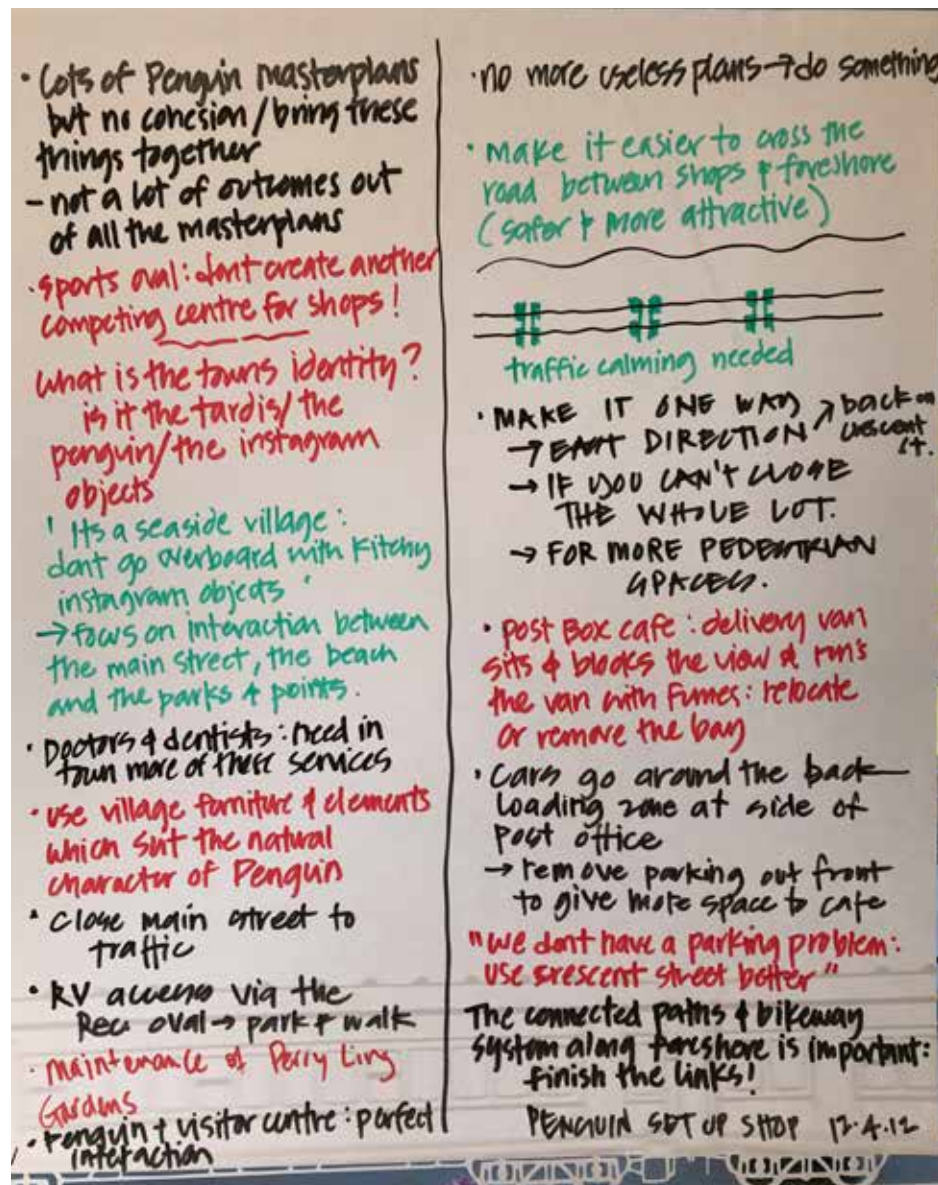
- ## PENGUIN SET UP SHOP - COMMUNITY CONSULT.
- Good hall bins - need ** esp. attention - more cleaned often
 - Sign at East end of Ulverstone to direct onto Swan St & then to Coastal Road.
→ Esp. for people off the ferry
 - Extend 7-days idea & call for a working bee at Perry Ling garden - same as Hiscutt park - community gardening group working with Council.
 - Make sure no trees to block vision on roundabouts
 - Eastern end Natcombe beach
→ very end of garden
- Improve crossing or access at very end of lawn at level section → needs access either end!
 - Don't move the Tardis → perfect next the penguin.
 - CCTV is needed in town
→ Minor vandalism.
→ petrol station has issues
→ pages ripped out of the centre of books
 - Anger parking would help get a few more in.
 - Good public toilets are needed
→ Fix the ones at Johnstone park, & the ones at the info centre - add some at railway - should have: best public toilets in Tasmania → was an idea
 - Would be good to see a play area at the rec oval amongst the housing esp with the older people
 - RVs are putting rubbish at skate park - put more bins in or empty more
- RAILWAY STATION

- Hiscott Park: good for young children but under utilized for other people?
 - Foreshore works have created more grassland spaces at the top.
 - Senior citizens centre: low usage & folk can't afford to pay rates: allow a retail subplot of front/old police str. to allow co-funding.
 - Library - only open for 3 days for 6 hrs total: best spot in town and underutilized.
 - Meals-on-wheels - shed most likely underutilized
 - Link Hiscott to foreshore park - create a loop
 - LINK better crescent of to main street there to make rec & centre work oval to
- consider buying mid lot block that is currently for sale.
 - more bins: near skate park especially
 - lights at the western rail crossing: unnecessary/slow vehicles: would prefer a roundabout
 - sea wall: plant hebe's and shrubs to soften it up
- some colour/mosaics which represent 'Penguin'.
 - In consultation for rec ground study the community didn't want retail
→ majority of community just wanted housing
→ some wanted gated community.
 - Town houses - smaller houses - fit more on - make more of the flat space
→ lots of people go out to work & shop
→ the Council doesn't want houses to development to East.
 - make one way direction West.
 - crescent one way east
 - angle car parking on foreshore
- take more games at cres./railway
- Railway station shopfront



The design team engaged in over forty-hours of 'one-to-one' brainstorming with residents and visitors. They 'set-up-shop' in the Old Railway Station for seven days between 12th -16th of April and also at the Penguin Market on April 11th.

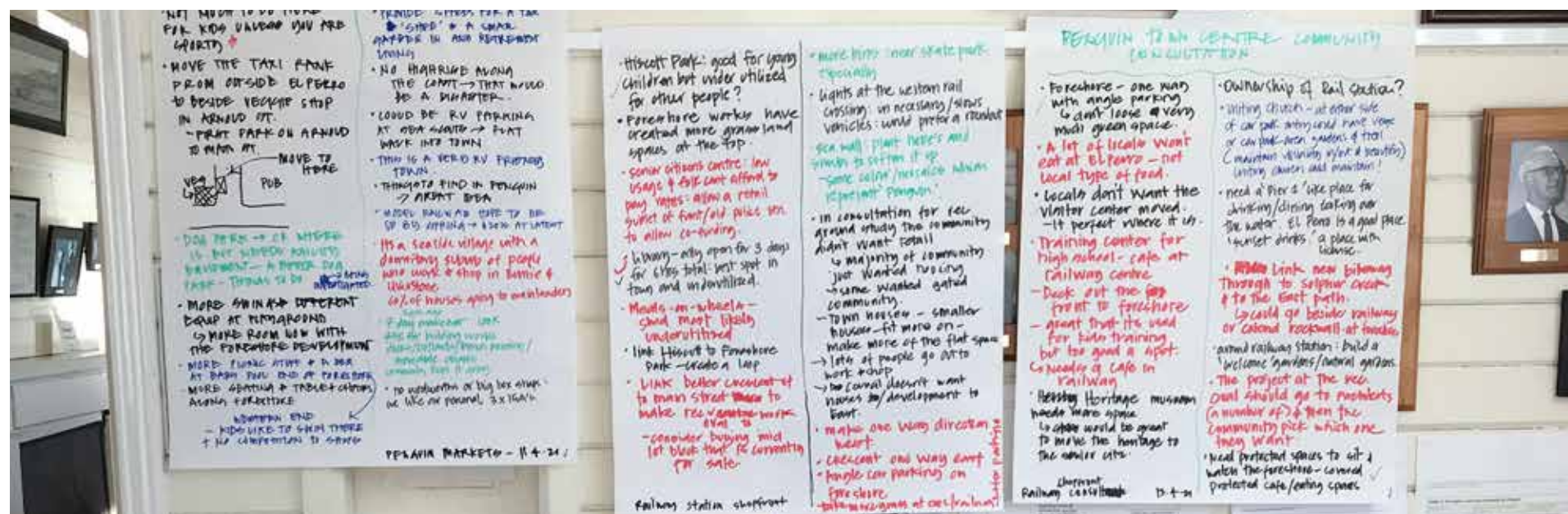
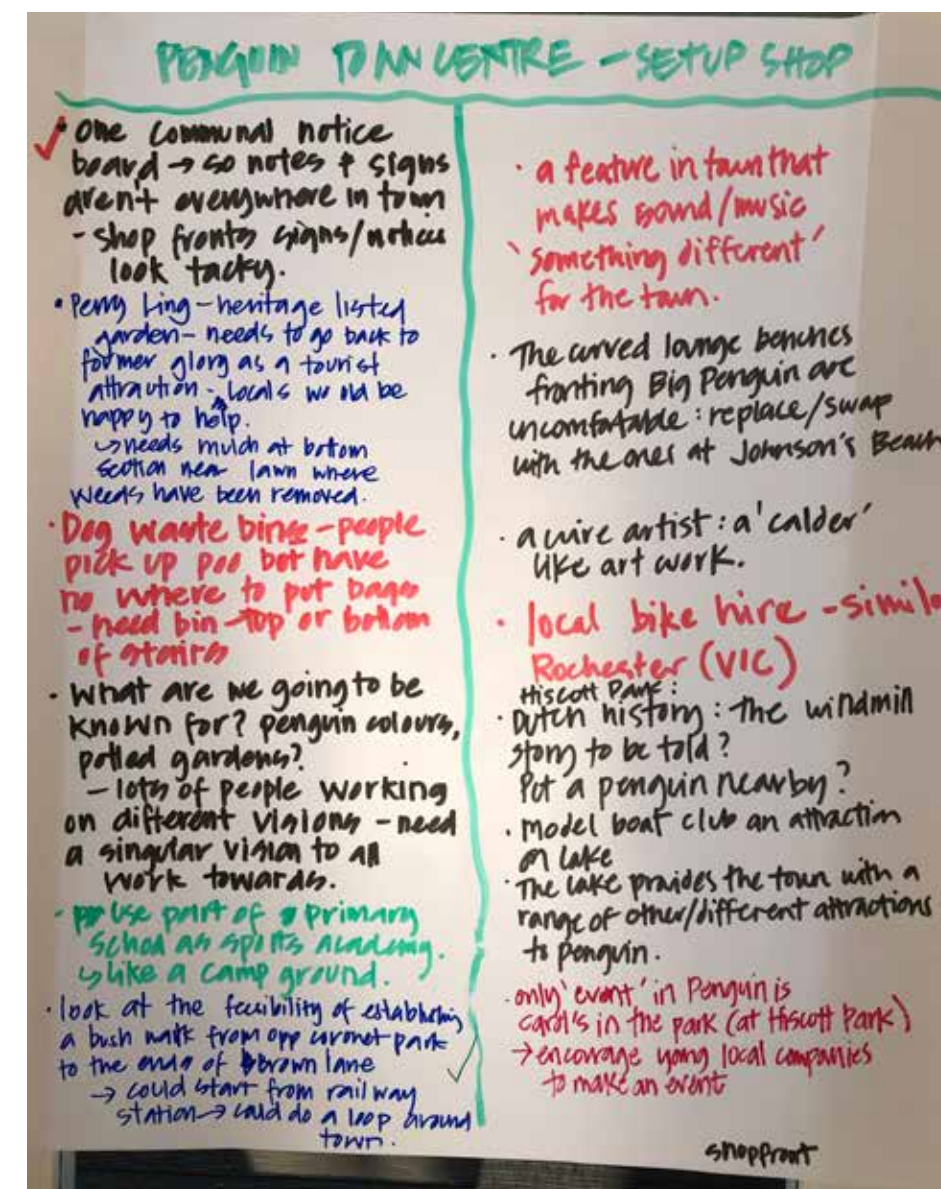
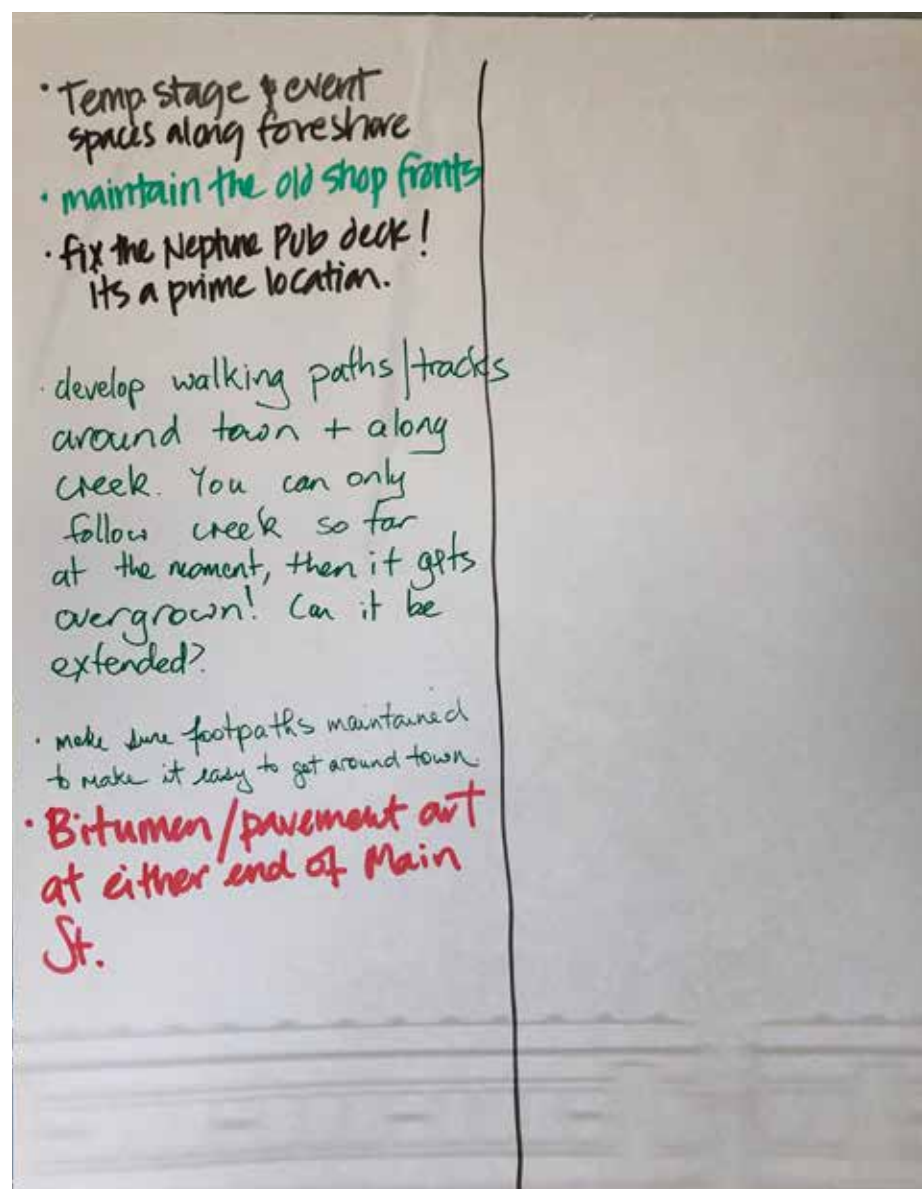
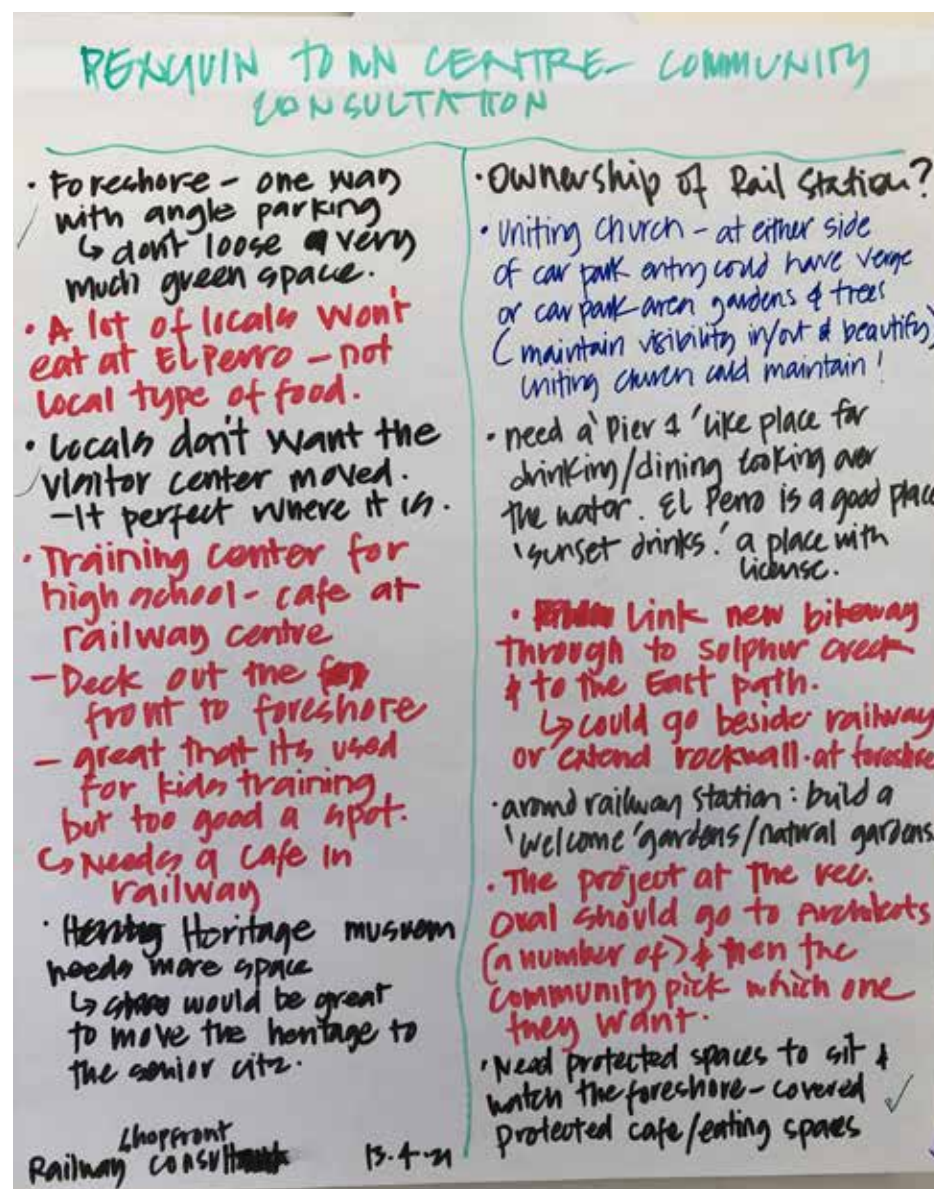
PENGUIN SET UP SHOP: IDEAS FROM THE RAILWAY STATION



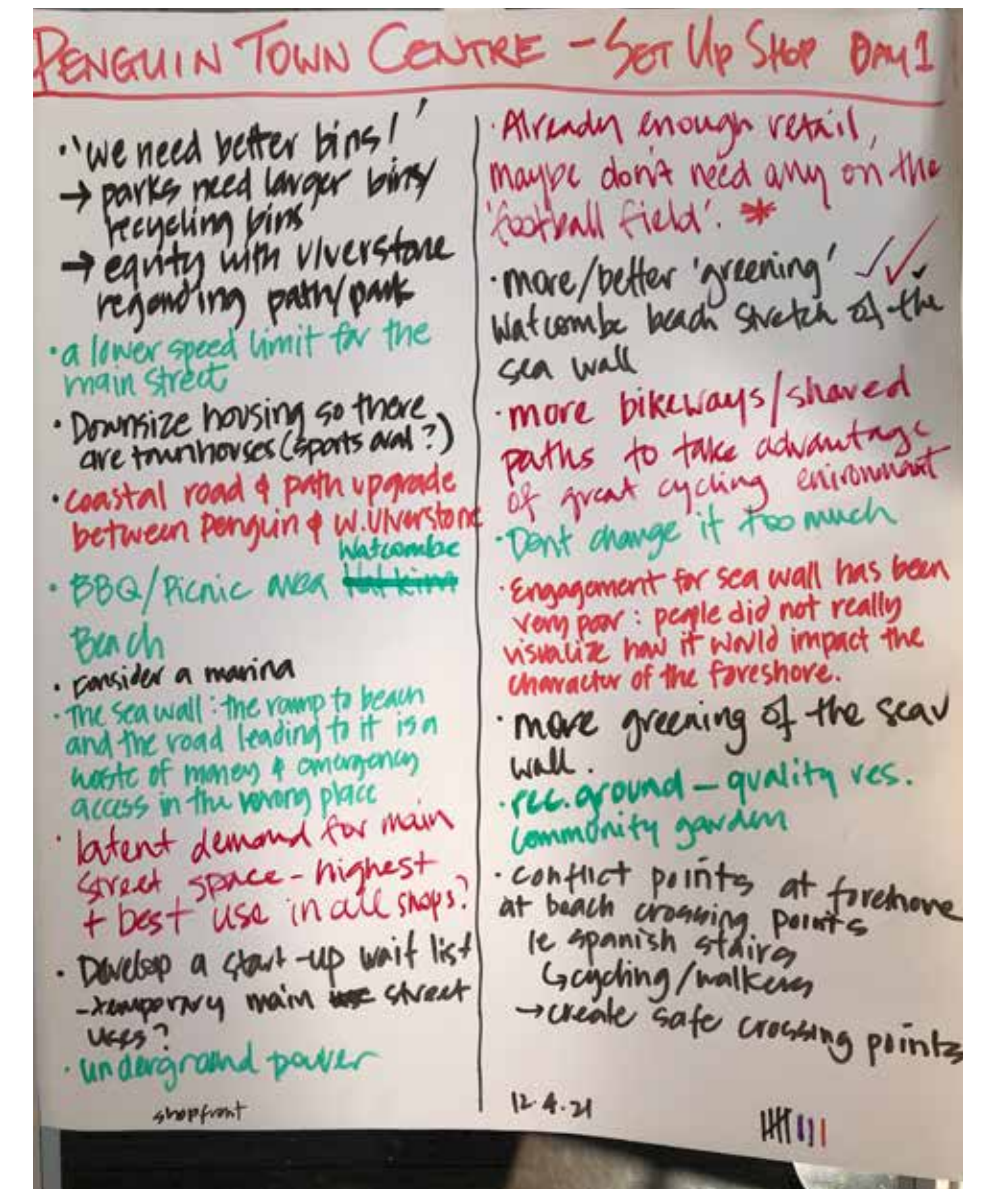
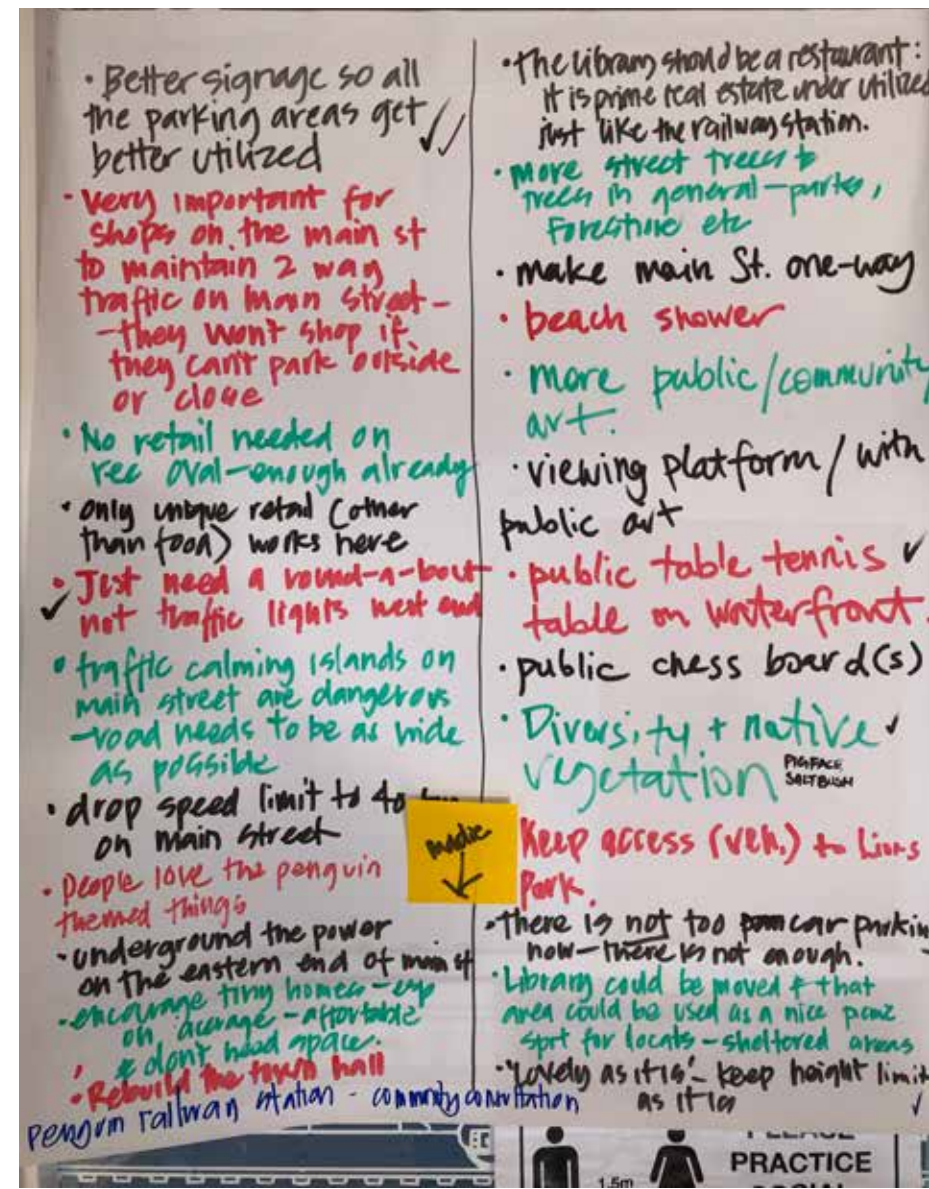
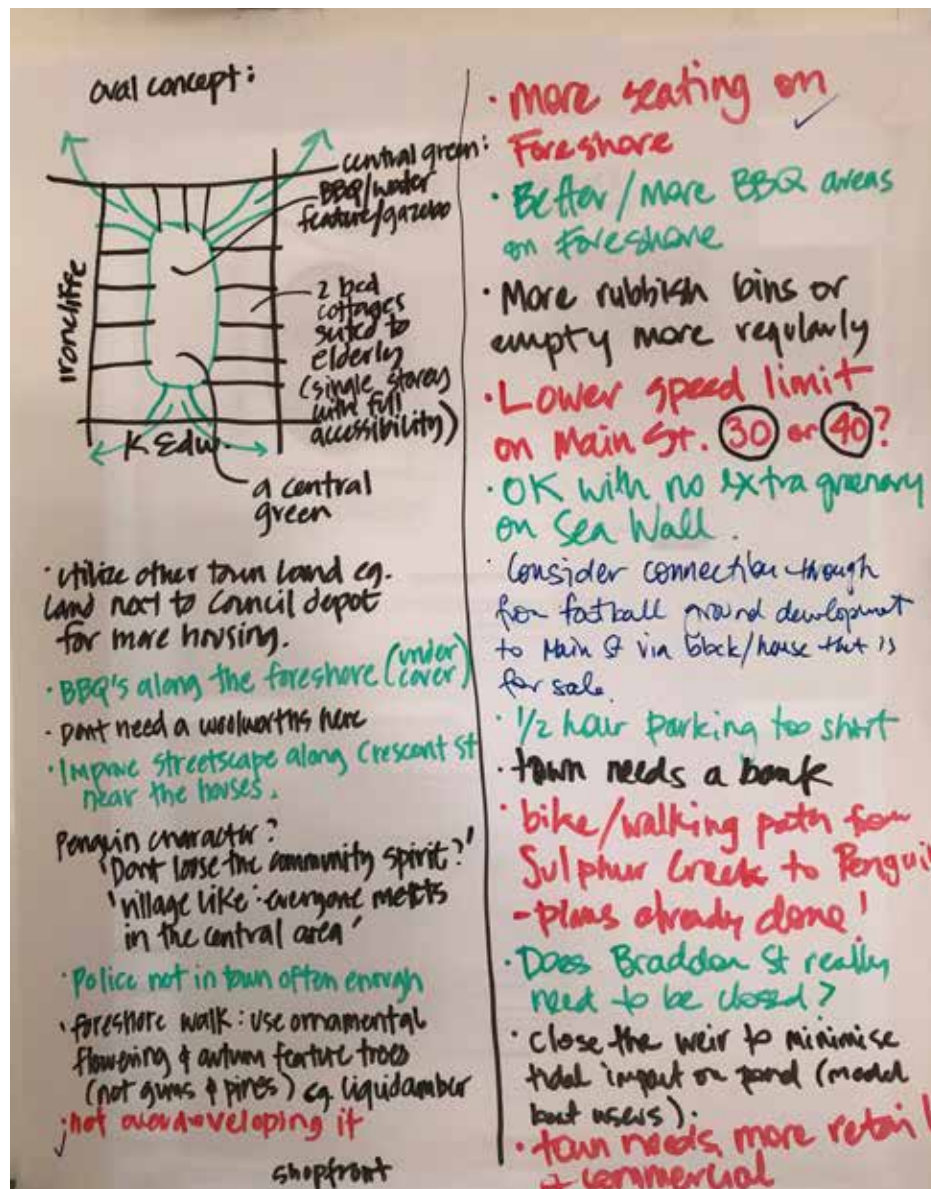
The Railway Station was filled with community ideas after a week of co-design. The Masterplan emerged out of the community's key issues, raised during this process.



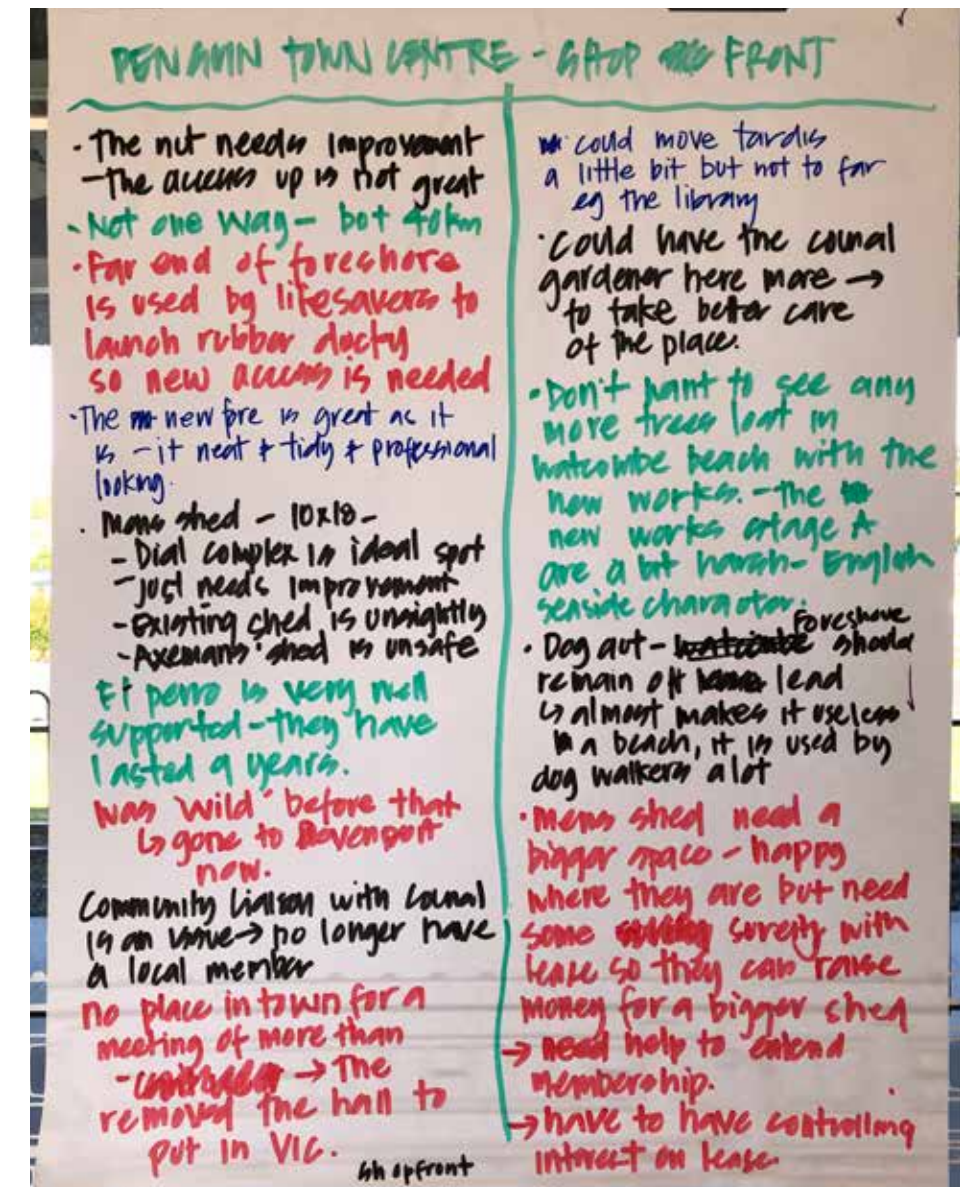
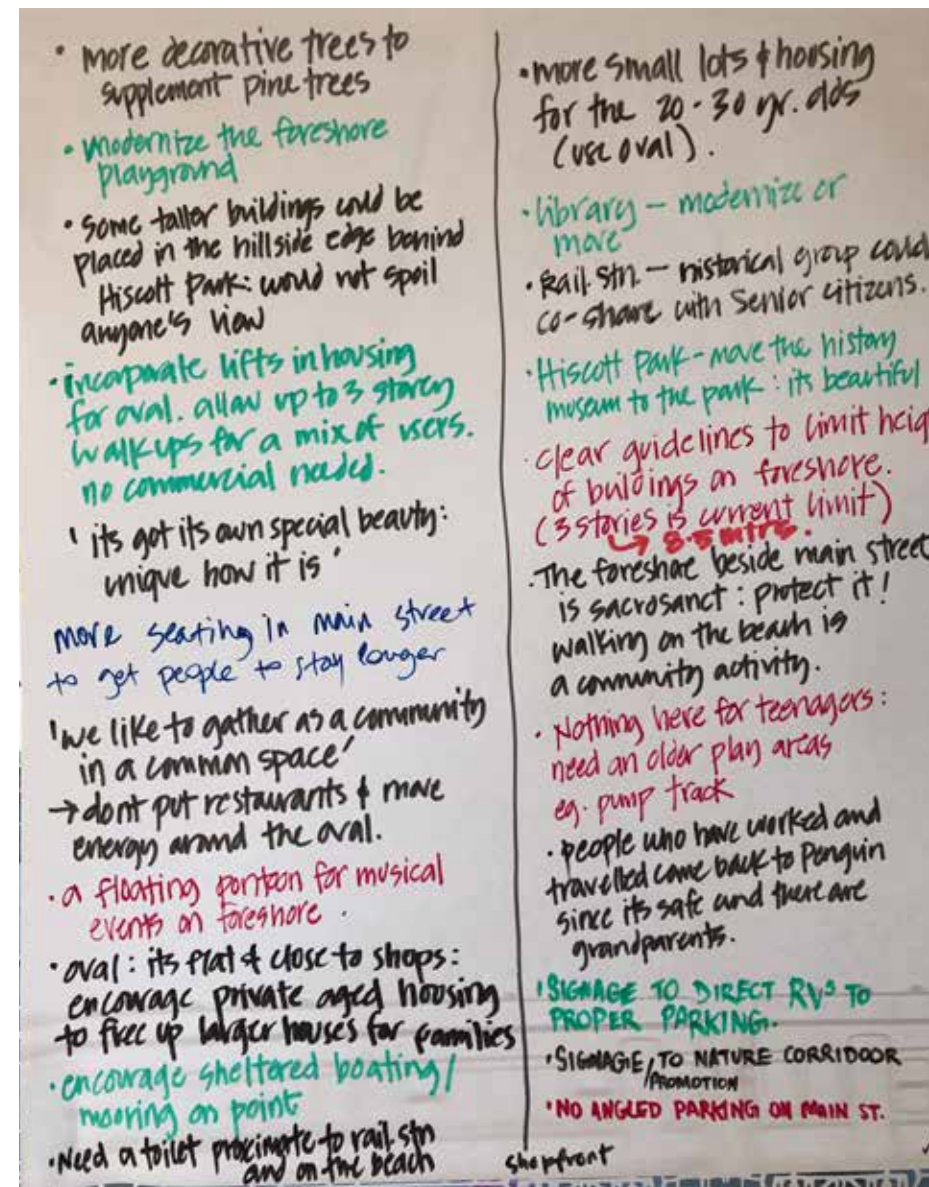
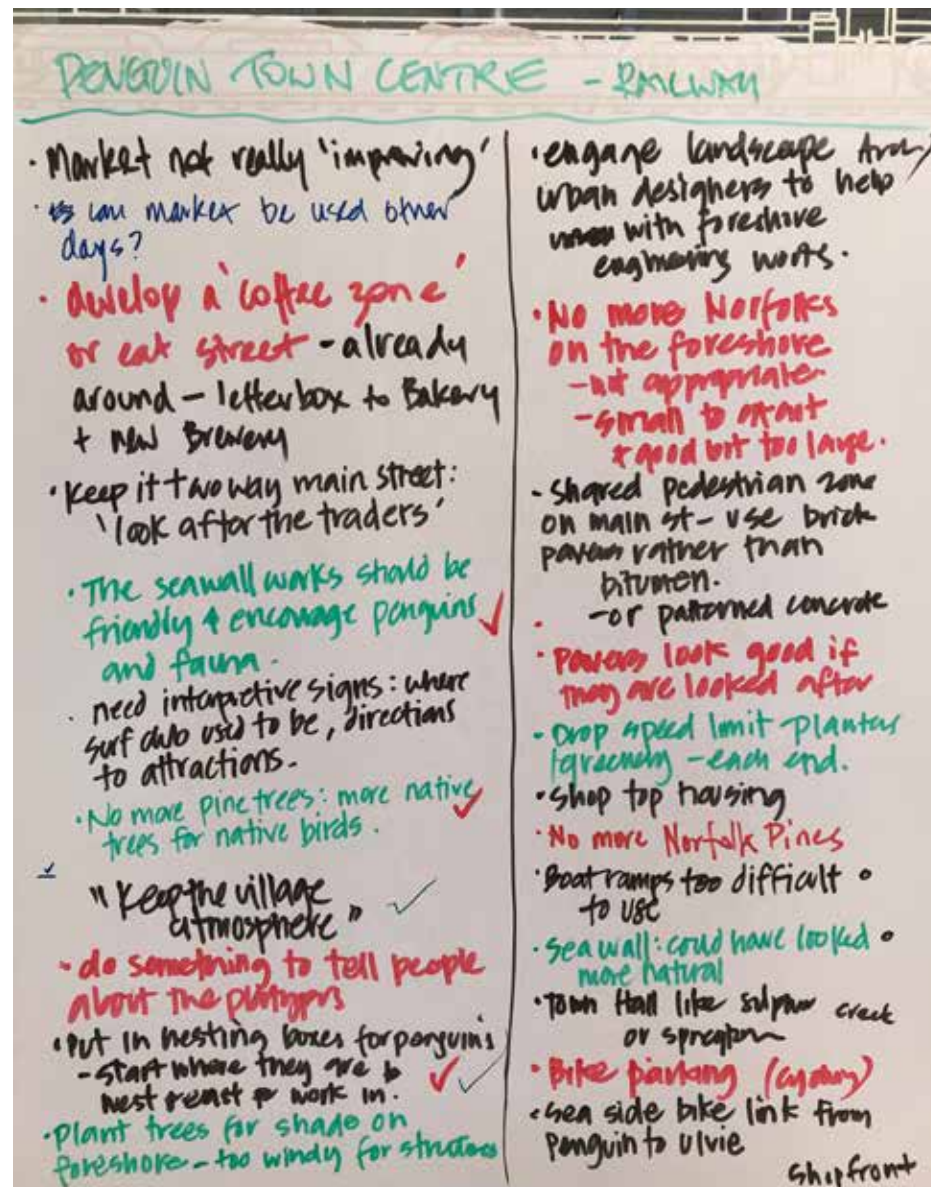
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PENGUIN SET UP SHOP: IDEAS FROM THE RAILWAY STATION



PENGUIN SET UP SHOP: IDEAS FROM THE RAILWAY STATION



PENGUIN SET UP SHOP: IDEAS FROM THE RAILWAY STATION

PENGUIN TOWN CENTRE - COMMUNITY CONSULTATION

- Foreshore - one way with angle parking
↳ don't lose a very much green space.
- A lot of locals won't eat at El Penro - not local type of food.
- Locals don't want the visitor center moved.
- It's perfect where it is.
- Training center for high school - cafe at railway centre
- Deck out the front to foreshore
- great that it's used for kids training but too good a spot.
- ↳ Needs a cafe in railway
- Heritage Heritage museum needs more space
↳ there would be great to move the heritage to the senior citz.

Ownership of Rail Station?

- Uniting church - at either side of car park entry could have verge or car park area gardens & trees (maintain visibility in/out & beautify) uniting church could maintain!
- need a 'Pier' & 'like place for drinking/dining looking over the water. El Penro is a good place 'sunset drinks.' a place with license.
- ~~Link~~ Link new bitway through to sulphur creek & to the East path.
↳ could go beside railway or extend rockwall at foreshore
- around railway station: build a 'welcome' gardens/natural gardens.
- The project at the rec. oval should go to architects (a number of) & then the community pick which one they want.
- need protected spaces to sit & watch the foreshore - covered protected cafe/eating spaces

Shopfront Railway consultation 13.4.21

- Hiscott Park: good for young children but under utilized for other people?
- Foreshore works have created more grassland spaces at the top.
- senior citizens centre: low usage & folk can't afford to pay rates: allow a retail subplot of front/old police stn. to allow co-funding.
- library - only open for 3 days for 6 hrs total: best spot in town and underutilized.
- Meals-on-wheels - shed most likely underutilized
- link Hiscott to Foreshore Park - create a loop
- LINK better crescent to main street area to make rec & centre work oval to
- consider buying mid lot block that is currently for sale.

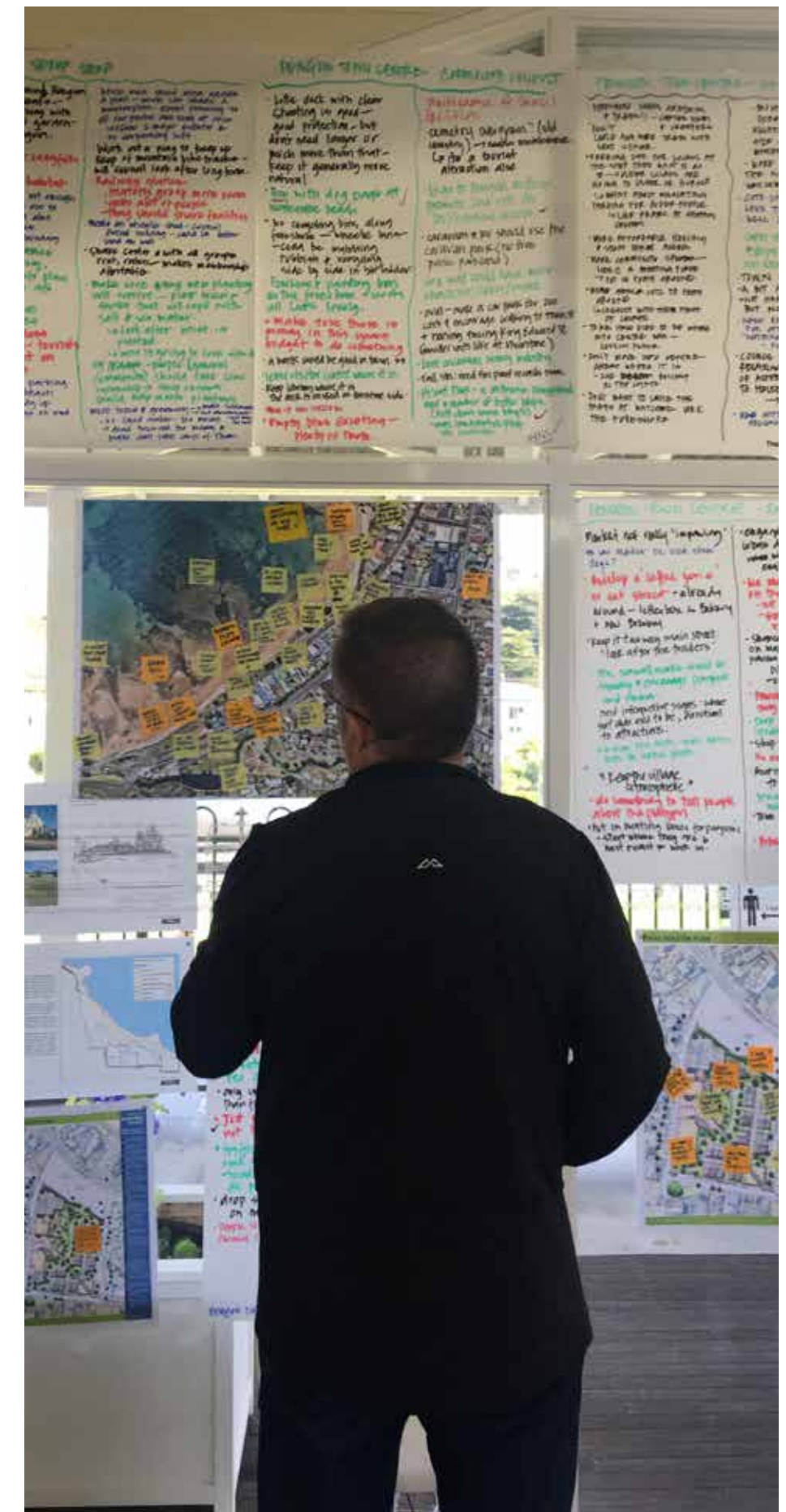
more birds: near skate park especially

- lights at the western rail crossing: unnecessary/slow vehicles: would prefer a roundabout
- sea wall: plant hebe's and shrubs to soften it up
- some colour/mosaics which represent 'Penguin'.

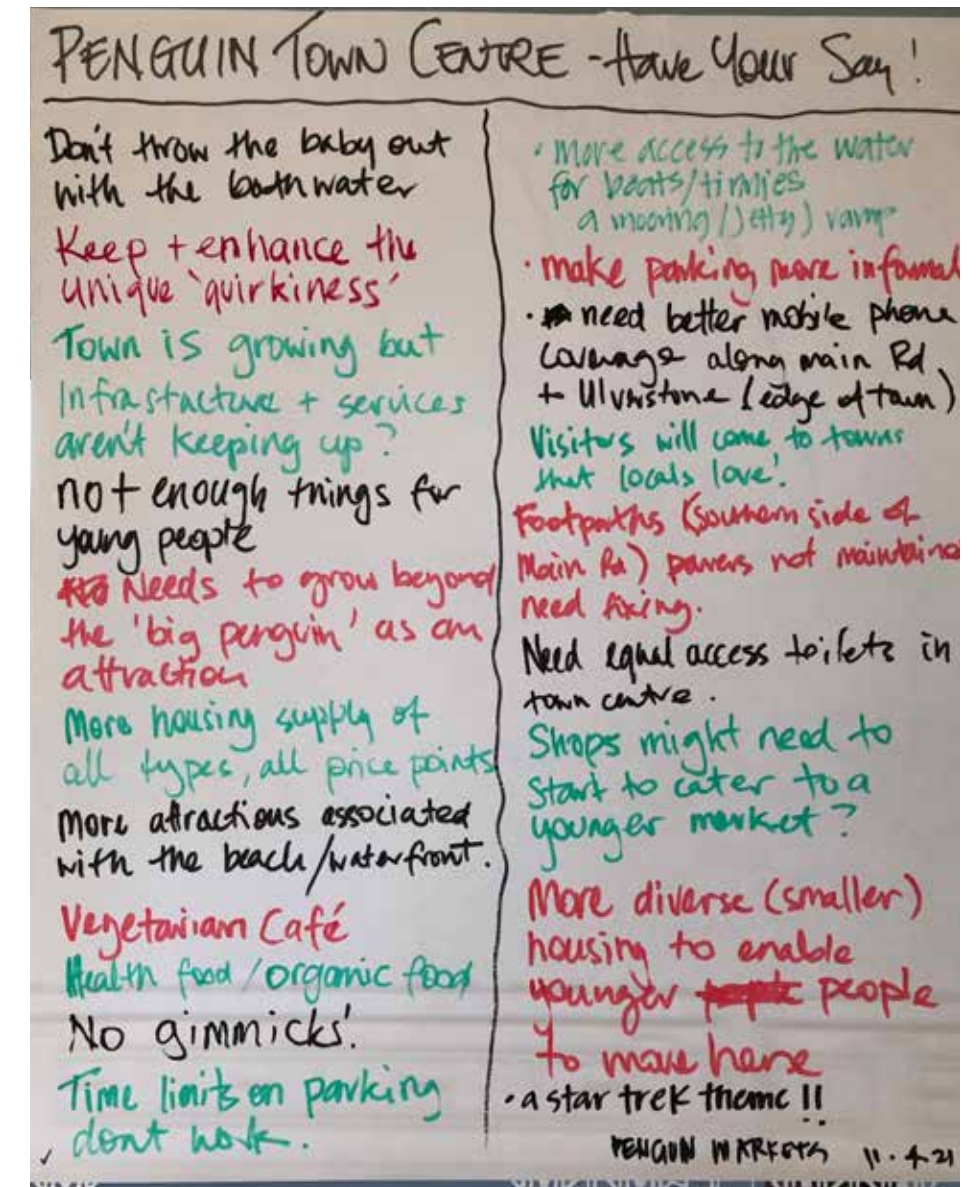
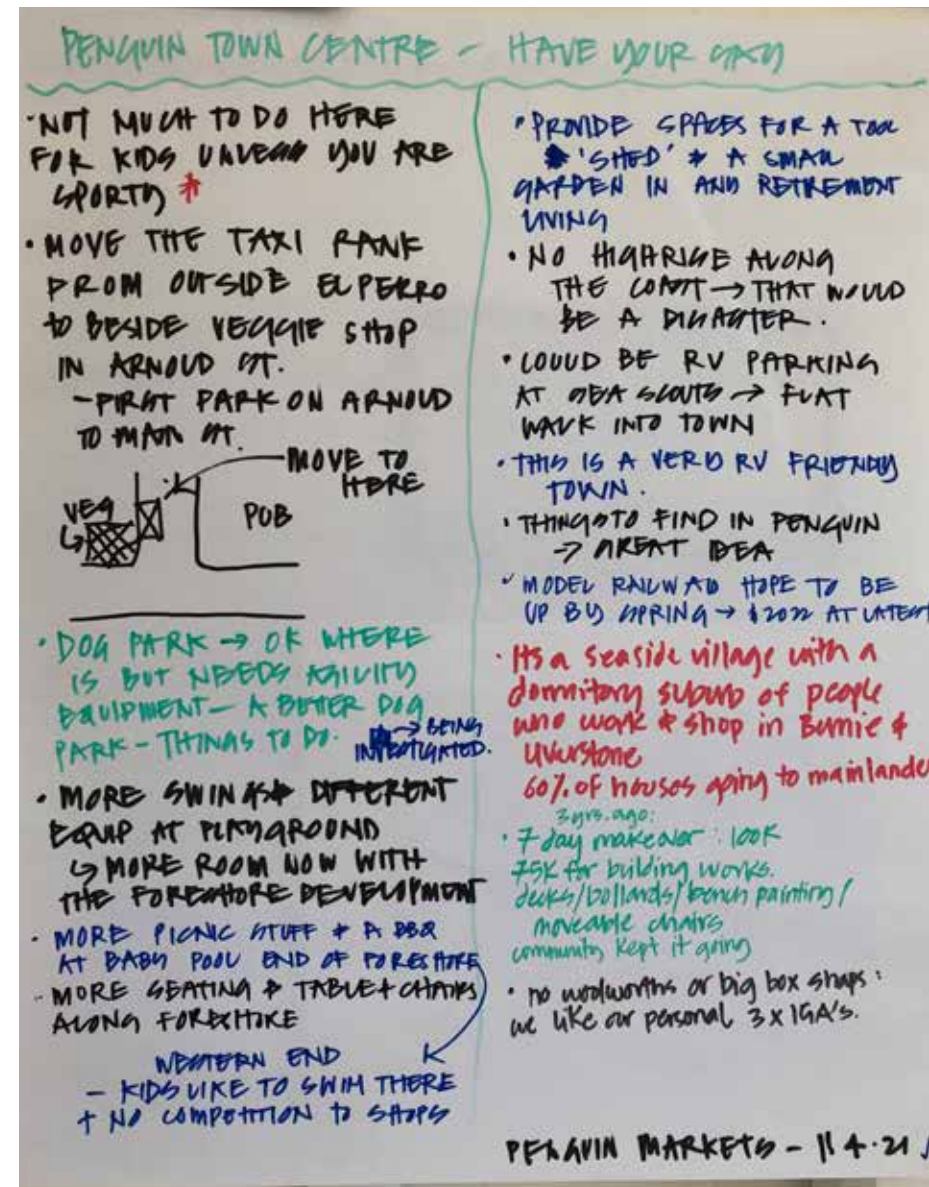
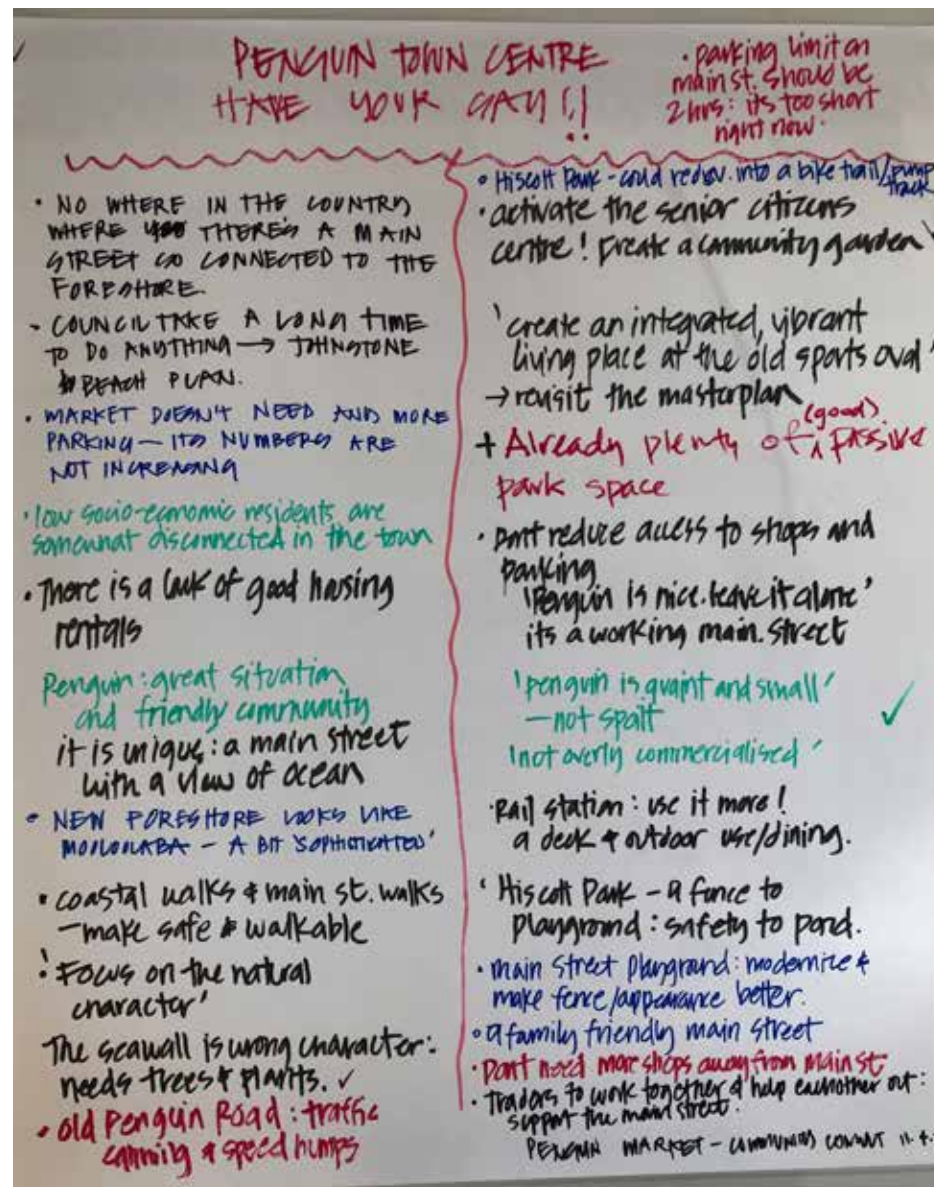
in consultation for rec ground study the community didn't want retail

- ↳ majority of community just wanted housing
- ↳ some wanted gated community.
- Town houses - smaller houses - fit more on - make more of the flat space
- lots of people go out to work & shop
- the council doesn't want houses & development to East.
- make one way direction west.
- crescent one way east
- angle car parking on fore shore
- take more games at cres./railway

Railway station shopfront



IDEAS FROM THE MARKETS



The design team brainstormed with passers-by at the popular Penguin Markets on Sunday 11th April.

Penguin town centre your ideas for its future !! railway station: model railways

- PLAN FOR REG. GROUND IS GREAT - RETAIL A GOOD AMOUNT.
- HOUSING AT REG. GROUND COULD BE BEST.
 - RENT & HOUSING IS AN ISSUE IN TOWN
- some parking places on southern corner of old sports oval to assist the markets
- FF+ AT THE SPORTS GROUND A GOOD IDEA
- parking for the very elderly needs to be close and available → allocate parking spaces/advisory sign
- + Coach parking + RV parking @ foot ball field?
- ease of use for tour coach parking is not good & crossing to crescent st.
- more trees in town centre
- sea wall has lost the local habitat and threat of losing the big trees at apex park: concern about damage to be caused in next stage of sea wall

'Penguin town: a good little town'

- * Town Centre needs wider footpaths
- MORE UNITS - LEARN PARKLAND ON REG. SITE
- DON'T NEED ANY MORE SHOPS - PLANTS ON MAIN CARPET
- NO MARKETS AT THE REG. SITE
- my son is 40 & has a family but can't find a place to buy or rent
- REG. GROUND SHOULD BE MORE PARK - MAYBE A FEW ELDERLY HOUSING - WITH THE MAJORITY OF IT AS PARK
- + Widen Braddon St so it has a footpath.
- sports area: no more shops: maybe health?
- 'Keep the focus on the foreshore'
- MEETING ROOM FOR DOT → NO WHERE IN PENGUIN CURRENTLY
- PARKING BOTTOM CORNER OF REG. SITE → CLOSE ACCESS TO TOWN CENTRE
- WHO WILL MAINTAIN THE MOUNTAIN BIKE TRACK LONG TERM?
 - USERS SHOULD HAVE TO PAY SOMETHING

PENGUIN MARKET 11.4.21

PENGUIN TOWN CENTRE - HAVE YOUR SAY!!

- FORESHORE NEEDS GREENING & TREES!! - GARDEN VINES & CREEPERS
- DON'T LOSE ANY MORE TREES WITH NEXT STAGE.
- PARKING DIFF. FOR LOCALS AT THE SHOP THEN WANT TO GO TO → ELDERLY LOCALS ARE GOING TO LIVER OR BURNIE → WHAT ABOUT ALLOCATING PARKING FOR OLDER PEOPLE LIKE PARKING AT SHOPPING CENTRES
- MORE AFFORDABLE HOUSING & SHORT TERM ACCOM.
- MORE COMMUNITY SPACES - NEED A MEETING PLACE → PUT IN PAVY GROUND.
- MORE SENIOR CITIZ TO FOOT GROUND
- CONSULT WITH THEM FIRST OF COURSE
- TO WH. HAVE USED TO BE WHERE INTO CENTRE WAS - LOVELY PLACE
- DON'T MOVE INTO CENTRE - GREAT WHERE IT IS
- 2ND BIGGEST IN THE TOWN
- DON'T WANT TO LOSE THE TREES AT WATCOMBE LIKE THE FORESHORE
- MOVE THE TARDIS - DON'T NEED TO BE RIGHT - MOVE TO OTHER SIDE OF LIBRARY OR MAKE IT FURTHER AWAY
- WORK AROUND AT LEAST THE NATIVE PLANTING AT WATCOMBE!
- CUTE LITTLE TOWN!
- LOVE THE CAVOUR
- WELL LOVED & LOOKED AFTER
- CANN. ST. ZIG ZAG TRACK & steps up the hill: it is run down & needs upgrading.
- TOWN IS A BIT DISJOINTED - A BIT AWAY OVER THE PLAGE
- NOT HARD TO GET AROUND BUT NOT EASY TO WALK
- NEED RETIREMENT AREA - FOR PEOPLE TO DOWNSIZE NOTHING EXISTING - FLAT & CENTRAL
- COUNCIL NEED TO LOOK AT RELAXING... BEING ADAPTING OF ALTERNATE DEVELOPMENTS TO HOUSE ELDERLY → GRANNY FLATS!
- REG. SITE GOOD FOR ELDERLY HOUSING

PENGUIN MARKET 11.4.21

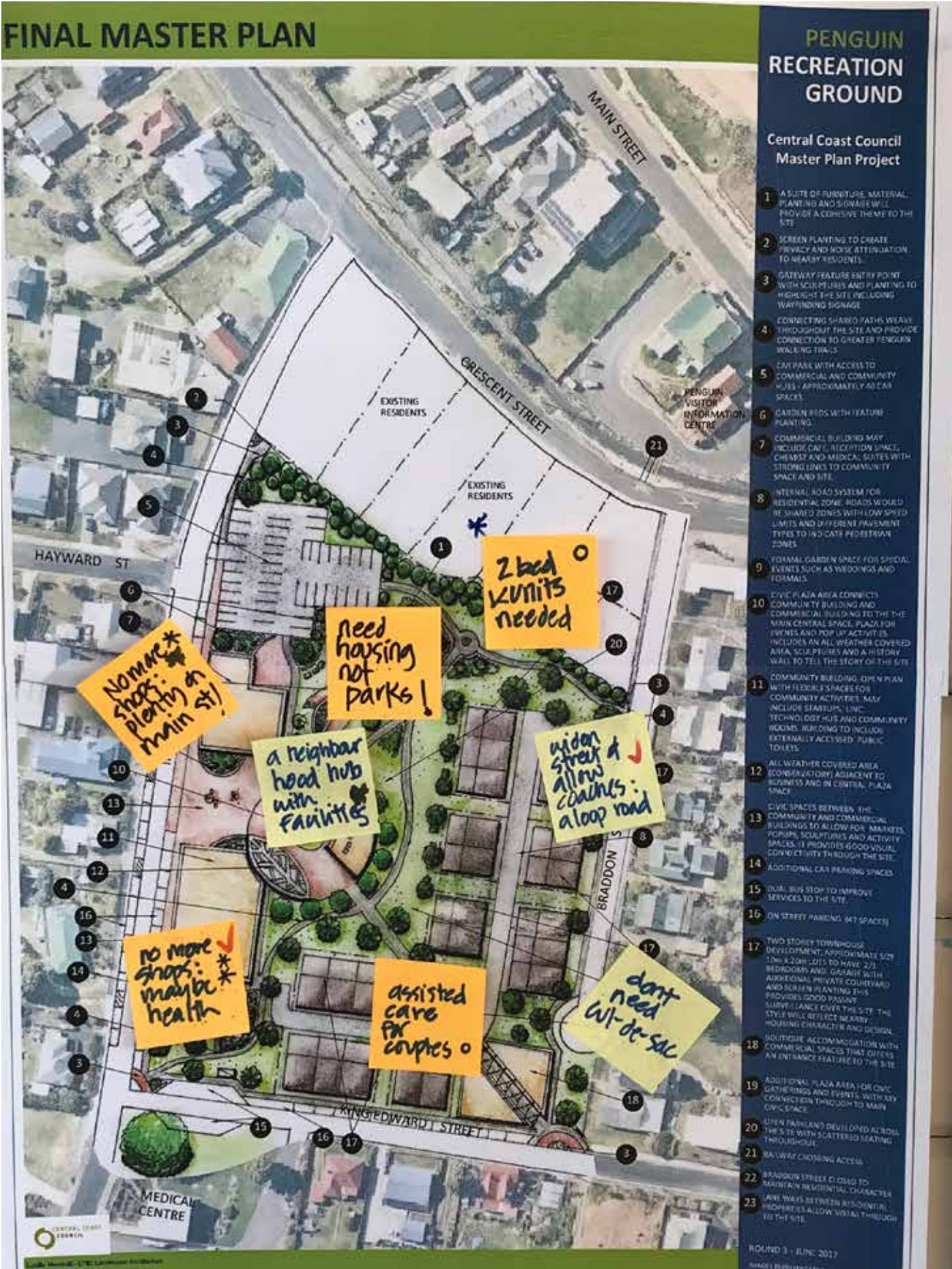
PENGUIN TOWN CENTRE - HAVE YOUR SAY!!

- NOT MUCH TO DO HERE FOR KIDS UNLESS YOU ARE SPORTS!
- MOVE THE TAXI RANK FROM OUTSIDE ELPERRO TO BESIDE VEGIE SHOP IN ARNOUD ST.
 - FIRST PARK ON ARNOUD TO MAIN ST.
- MOVE TO HERE
- DOG PARK → OK WHERE IS BUT NEEDS ACTIVITY EQUIPMENT - A BETTER DOG PARK - THINGS TO DO. BEING INTERESTED.
- MORE SWIMMING DIFFERENT EQUIP AT PLAYGROUND
- MORE ROOM NOW WITH THE FORESHORE DEVELOPMENT
- MORE PICNIC STUFF & A BBQ AT BABY POOL END OF FORESHORE
- MORE SEATING & TABLES CHAIRS ALONG FORESHORE
- NORTHERN END
 - KIDS LIKE TO SWIM THERE + NO COMPETITION TO SHOPS
- PROVIDE SPACES FOR A TOOL SHED & A SMALL GARDEN IN AND RETIREMENT LIVING
- NO HIGHRISE ALONG THE COAST → THAT WOULD BE A DISASTER.
- COULD BE RV PARKING AT SEA SCOUTS → FLAT WALK INTO TOWN
- THIS IS A VERY RV FRIENDLY TOWN.
- THING TO FIND IN PENGUIN → GREAT IDEA
- MODEL RAILWAY HOPE TO BE UP BY SPRING → 2022 AT LATEST
- It's a seaside village with a dormitory suburb of people who work & shop in Burnie & Ulverstone
- 60% of houses going to mainlanders 3 yrs ago.
- 7 day makeover: look for building works, decks/bollards/bench painting/moveable chairs community kept it going
- no woodworkers or big box shops: we like our personal 3xIGA's.

PENGUIN MARKET 11.4.21

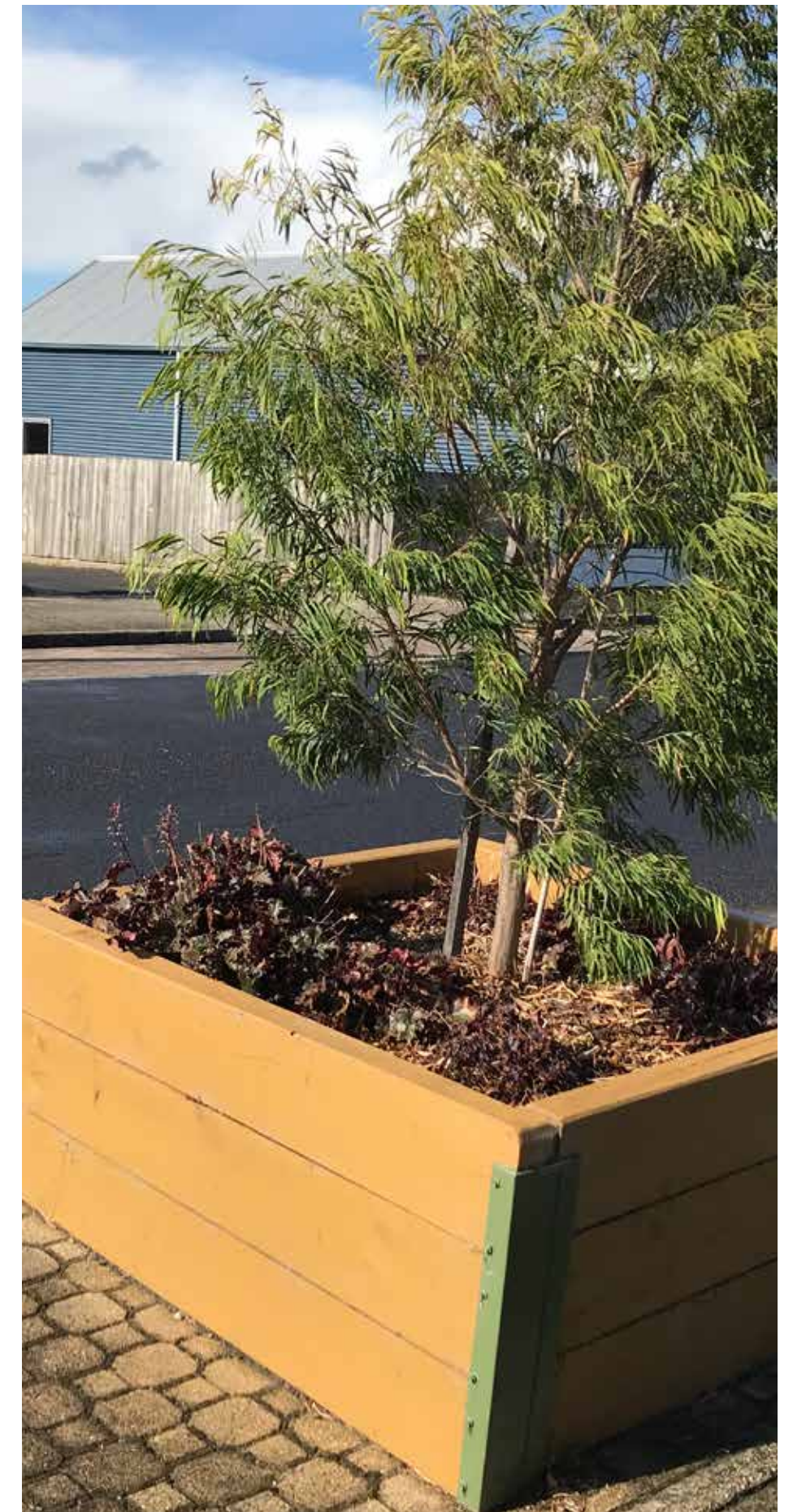
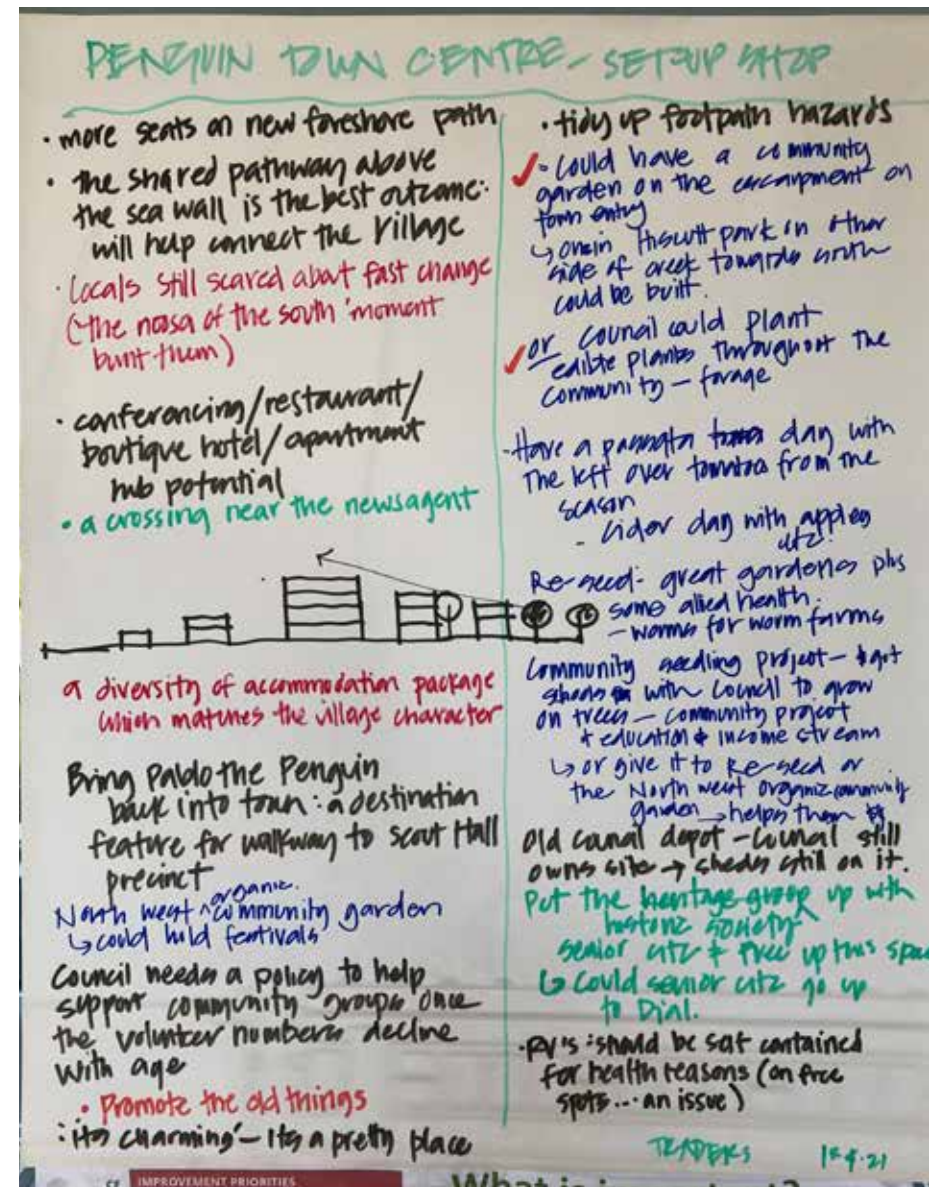
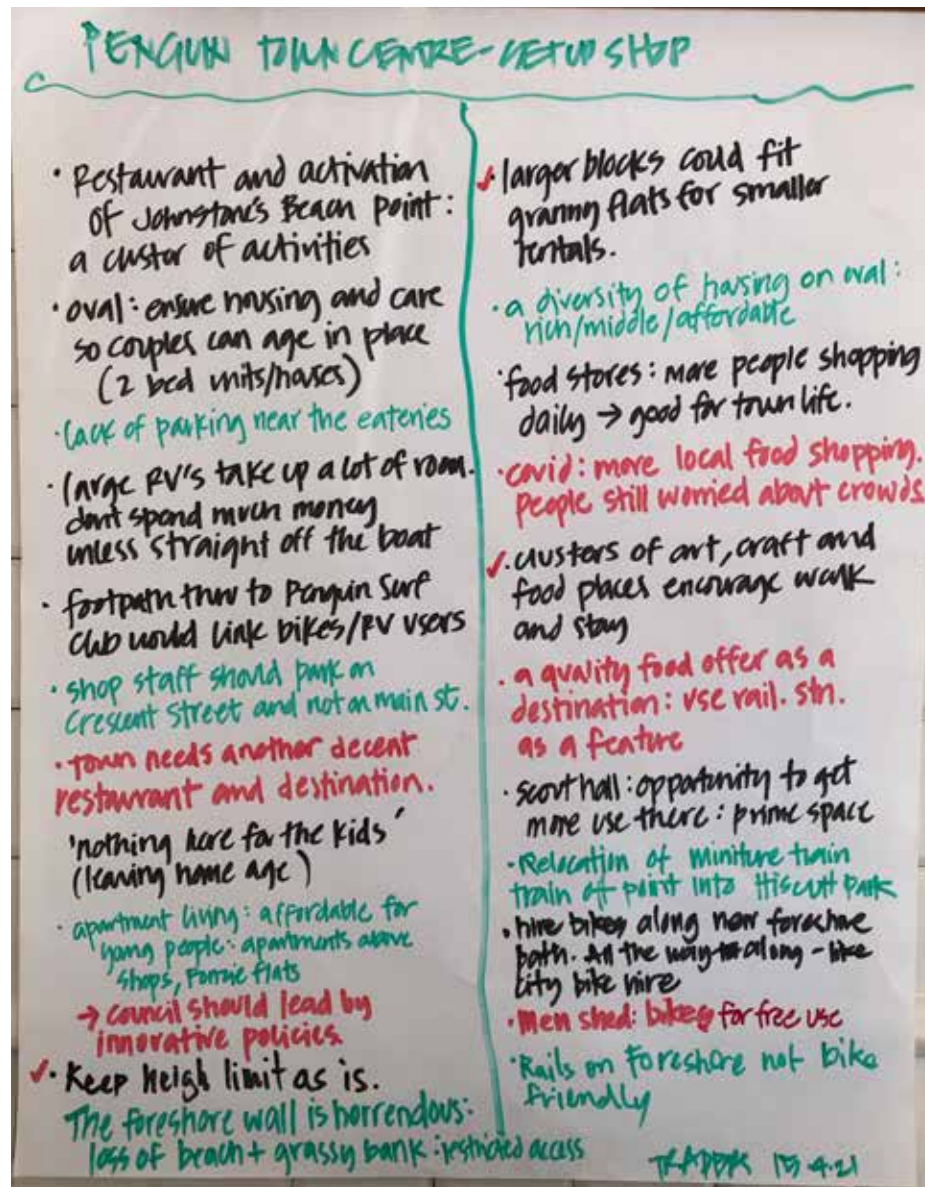


MAPPING COMMUNITY IDEAS





IDEAS FROM THE TRADERS WORKSHOP



A traders breakfast was held at the Railway Station on Thursday the 15th April. Traders also dropped into the Railway Station at other times to offer other ideas. Many traders also submitted written responses to the ideas survey handed out during the week of 12th-16th April. Traders ideas and concerns form a key consideration in the Masterplan.

Penguin Town Centre: Ideas Survey

Central Coast Council have commissioned consultants to develop strategies to improve and activate the Penguin Town Centre. We are part of that team.

We need your ideas!

Could you answer a few quick questions to help us develop our ideas for the town?

- Character: What aspect of the Main Street character would you like to see enhanced? E.g. more blue bins.

- Character: What ugly things might need fixing?

- Quick fixes: What is the one thing you would like done in the short-term?

- What features of the natural environment are most important in the Town Centre?

- How can we encourage more local interaction on the Main Street?

- Big ideas for the future: Any thoughts about improving the life of The Town Centre in the next twenty years?

(Ideas on transport? Environment? Climate? Shops and centre activity?
Any big thing that might need real money and attention?)

- How can we create places to encourage more night-time activity and use?
- What activities might we encourage?

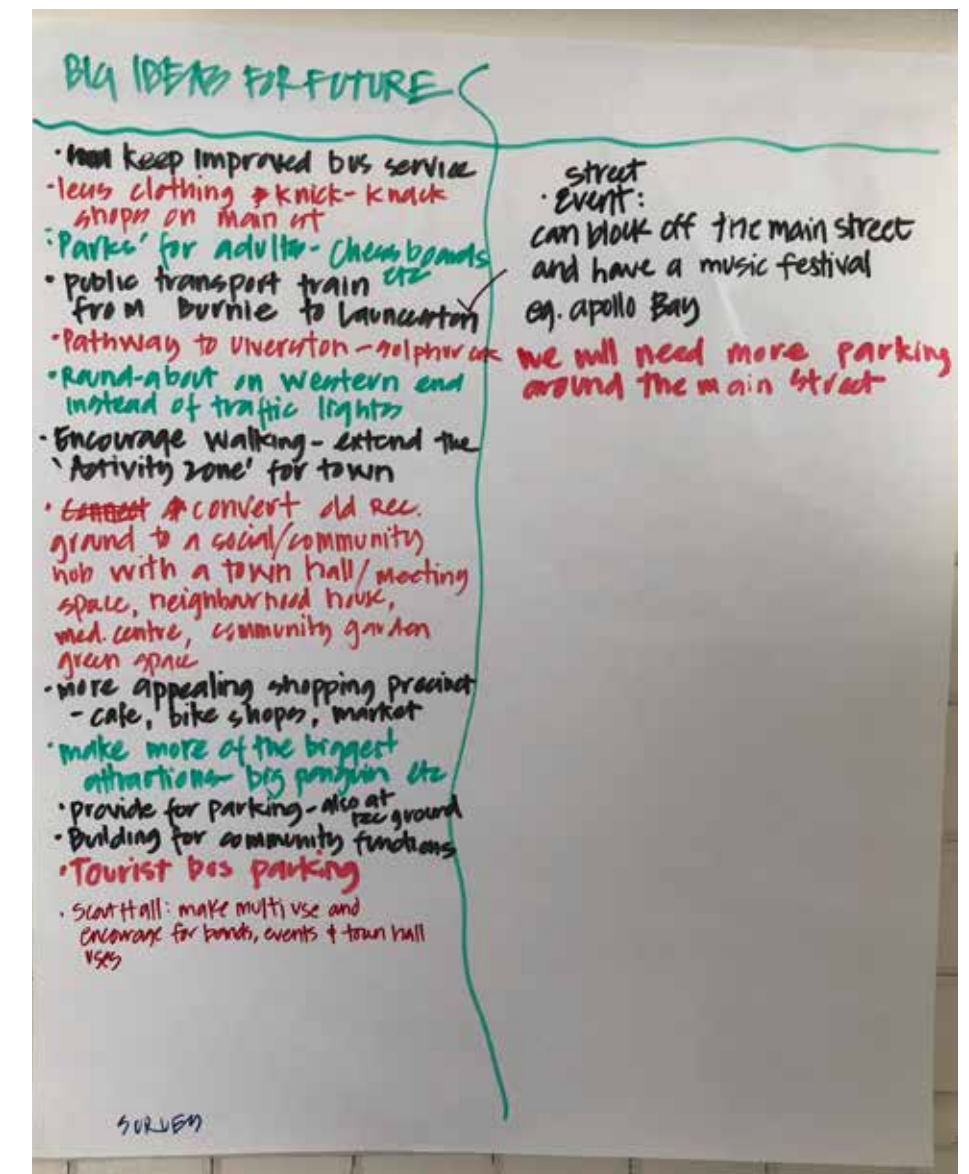
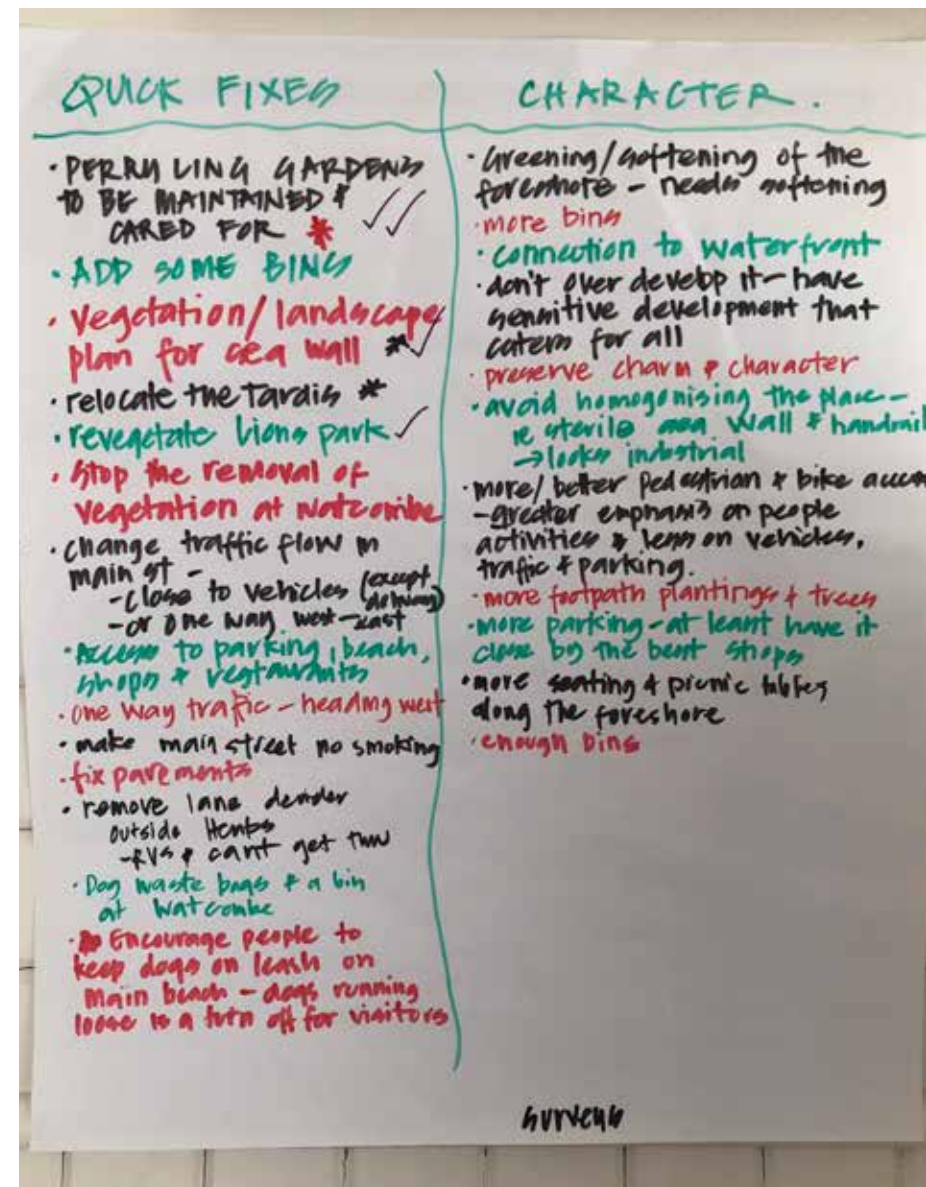
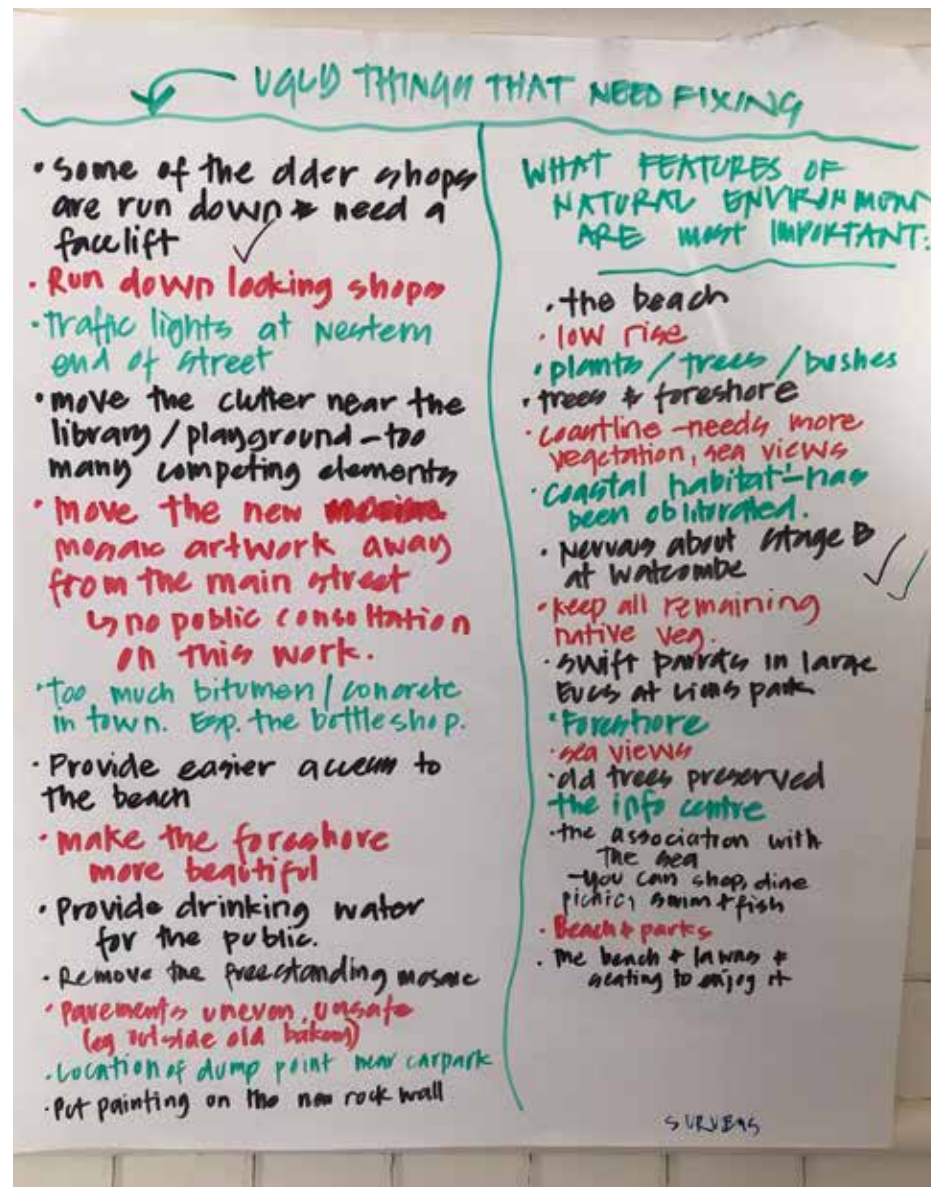
- Any other thoughts or ideas?

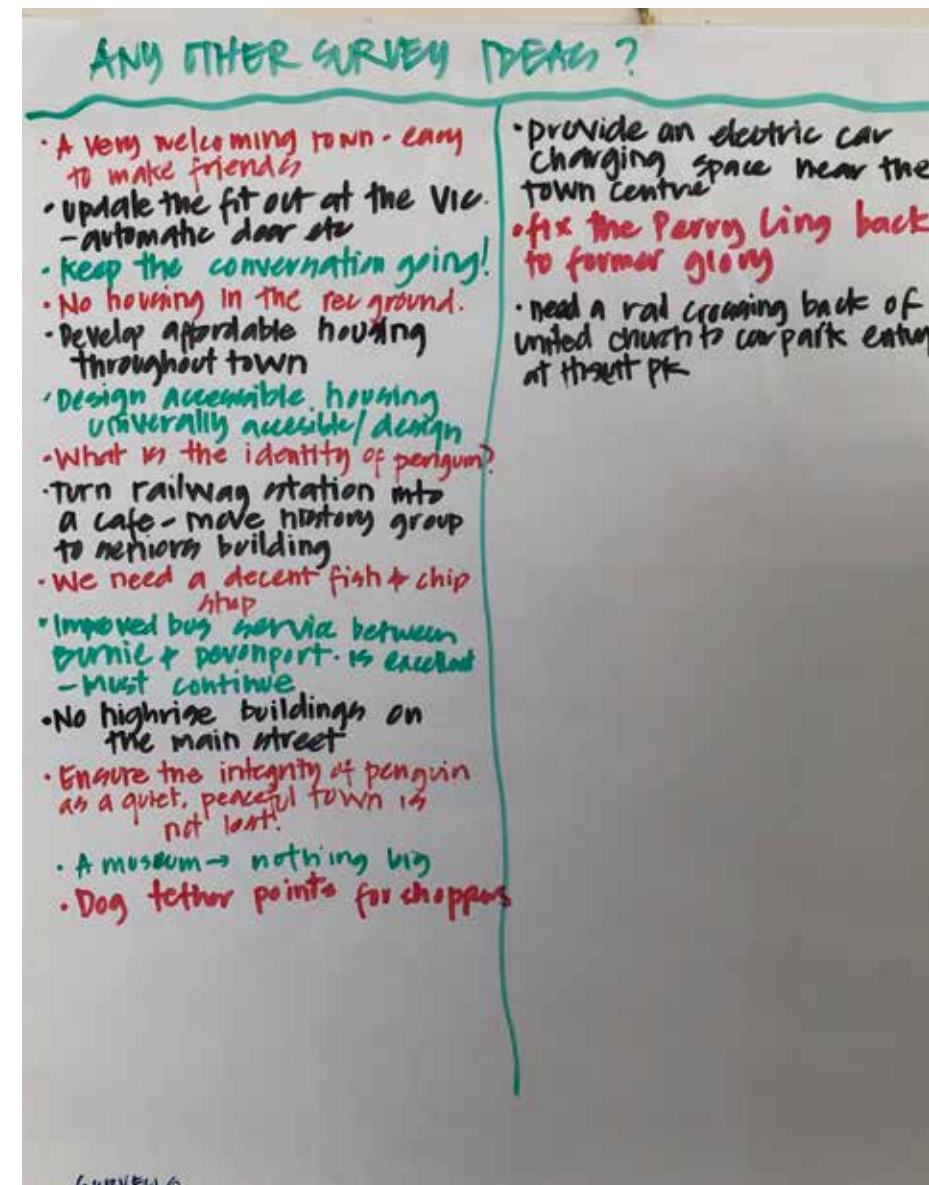
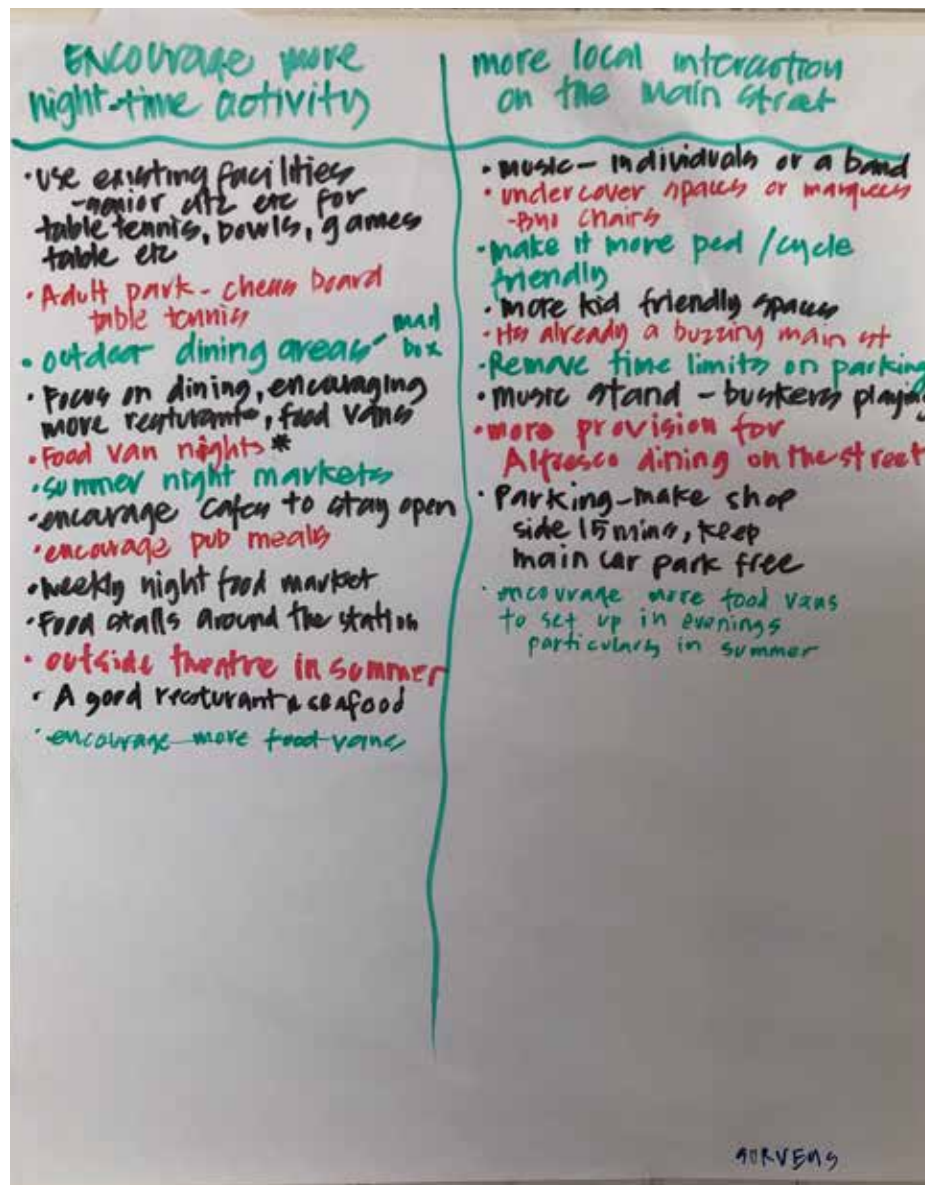
Thank you for your help! We will incorporate your comments into our ongoing thinking about the Town Centre!

The ideas survey was distributed door-to-door to Main Street traders, to people who dropped into the Penguin Market's stall, and to residents who dropped into The Railway Station set-up shop.

These survey questions were also the key questions which the set-up shop brainstorm sheets focused on.

IDEAS FROM SURVEYS





ACKNOWLEDGMENTS



The aim of this report is to give Penguin a Masterplan to become a more prosperous, happy and healthy village over the next twenty years.

Complete Streets and John Mongard Landscape Architects thank the community of Penguin for their ideas. The team who worked on this Town Centre Plan were Steven Burgess, Madeleine Irwin, Jacqueline Ratcliffe, John Mongard and David Yaun.

July 2021





APPENDIX

COMMUNITY FEEDBACK ON THE MASTERPLAN

MASTERPLAN - POST SET-UP SHOP CONSULTATION OUTCOMES

Introduction

Over a hundred and thirty people gave one-to-one and group feedback on the Masterplan and community facilities during the set-up shop and community engagement process which occurred between Wednesday 15th September and Saturday 18th September, 2021. Two public meetings and one trader's breakfast were held, and the set-up shop consultation was open for over sixteen hours of one-to-one engagement and feedback. We had meetings with Senior Citizens, The Penguin Scouts, The History Group and The Penguin Library to discuss usage possibilities for the community facilities buildings in Penguin.

In a general overview, The Penguin Masterplan was presented in various public forums and comprises the following key elements:

- Improved parklands and amenities to compliment the Sea Wall works
- Revamped town entries
- Green habitat corridors along Penguin Creek, the Foreshore and the Highway Corridor
- Better interconnected walkways and trails
- A network of street trees to provide shade and colour
- Renewal of the Recreation Grounds and Council Depot to village housing
- Upgrading Hiscutt Park, Lion's Park and Perry-Ling Gardens
- Renewal and upgrading of community facilities buildings

Traders Feedback

Traders are generally happy with the proposals, with the two major food store owners both noting that improvements would be good for the town and that retaining car parking and two-way movement was important. Amenities that encouraged people to stay longer would be good for trade. Some traders do not want specific things: trees which are perceived to block signage or drop leaves were raised by one trader and by one past trader. Traders are generally precious about car parks immediate to their shops. The new craft beer venue was perceived to be creating a

parking problem with overstaying vehicles on the Main Street. Better management of parking is required. Some workers parking in key spots all day, and RV's and caravans take up precious parking space.

Specific traders mentioned the need to connect both ends of the Main Street. The intersection of Crescent Street and Main Street at the eastern end of the Main Street is perceived as a division. People are too tempted to stop walking at this location and don't continue east to the other part of the Main Street.

Good Ideas

All the ideas and issues are collated in the following set-up shop sheets. A number of very good ideas were raised during the discussions about the concepts in the masterplan, and we recommend they are incorporated into our report and within the updated Masterplan.

Community Feedback

People are generally happy with the overall Masterplan, its placemaking approach and its main actions.

The Masterplan comprises of predominantly landscape and streetscape actions, and these are broadly accepted. The following topics garnered a lot of discussion and varying viewpoints:

- The football oval site (perceived need for tour bus / overflow car park and some concern over the small number of three-storey dwellings incorporated in the layout)
- The perceived problem of car parking on the Main Street
- Need to sign/designate RV/tour bus parking
- The perception by some people that the development of the football oval and the depot site could threaten the village by over development (people still recall the development proposals by Tony Roche over ten years ago)

Foreshore Improvements

The improvements to foreshore parklands, particularly those associated with the greening of the seawall works was well received. Provision of more picnic shelters, BBQs, interpretive signage and walkway links to Main Street were liked. Some people want more trees and other people want fewer trees. The need to maintain views needs to be balanced with provision of shade and greenery.

Streetscape Improvements

The improvement to footpath areas in the town centre were generally well received. Fixing pavements emerged as a detailed concern which can be addressed in progressive area improvements. Creating safe and pleasant crossing points and implementing traffic calming on the Main Street were ideas well-received.

Hiscutt Park

People agree that Hiscutt Park should be improved, with old fixtures and equipment updated. The owner of the Art gallery Site does not agree with the naturalisation of the failing stone walls around the lake; however, most people did not disagree with this proposal. Improving shade, paths, toilets, the BBQ and play facilities were all accepted.

Football Oval And The Council Depot Site

The broad feedback is that there is indeed an urgent need for reasonably priced housing in Penguin and that the development of The Football Oval and The Council Depot provide Penguin with housing options which it would otherwise never have. The concepts related to creating a Penguin Village housing form to better fit in with the Penguin seaside cottage character was well received. The notion of these developments providing funds for foreshore and streetscape works within Penguin was also generally well received. Residents would like those funds to

MASTERPLAN - POST SET-UP SHOP CONSULTATION OUTCOMES

improvements and maintenance within Penguin.

The Football Oval was a topic of interest due to its size and location. A small number of residents see it as a solution to the perceived lack of car and bus parking, despite the site being well beyond the walking distance of other unutilised on street parking areas. Line marking and sign posting existing parallel car parking areas for cars, buses and RV's / caravans, particularly along Crescent Street, would go a long way to countering this perception of lack of car parking.

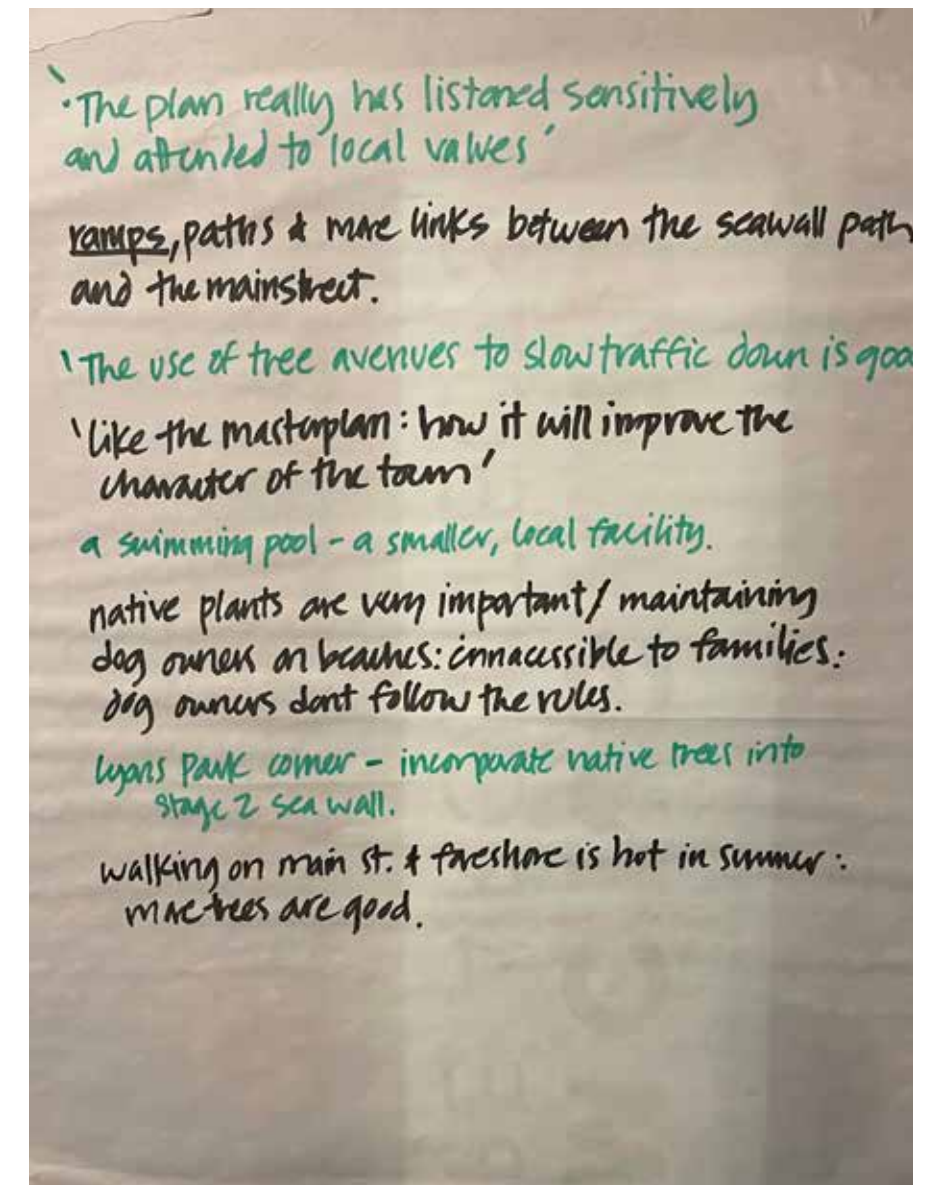
The concept of providing smaller homes for upsizers and downsizers was generally agreed upon. Providing these homes in a green setting with shared parklands was also liked. The three-storey high dwellings in the centre of the concept plan, despite likely not being visible from surrounding existing streets, were perceived as an over development by some residents. Some people however felt more housing could be provided, and some said that they would have bought the homes on the third storey. Irrespective of height or dwelling numbers, people agree that housing in a green setting, without commercial components is now the best outcome for the Football Oval Site.

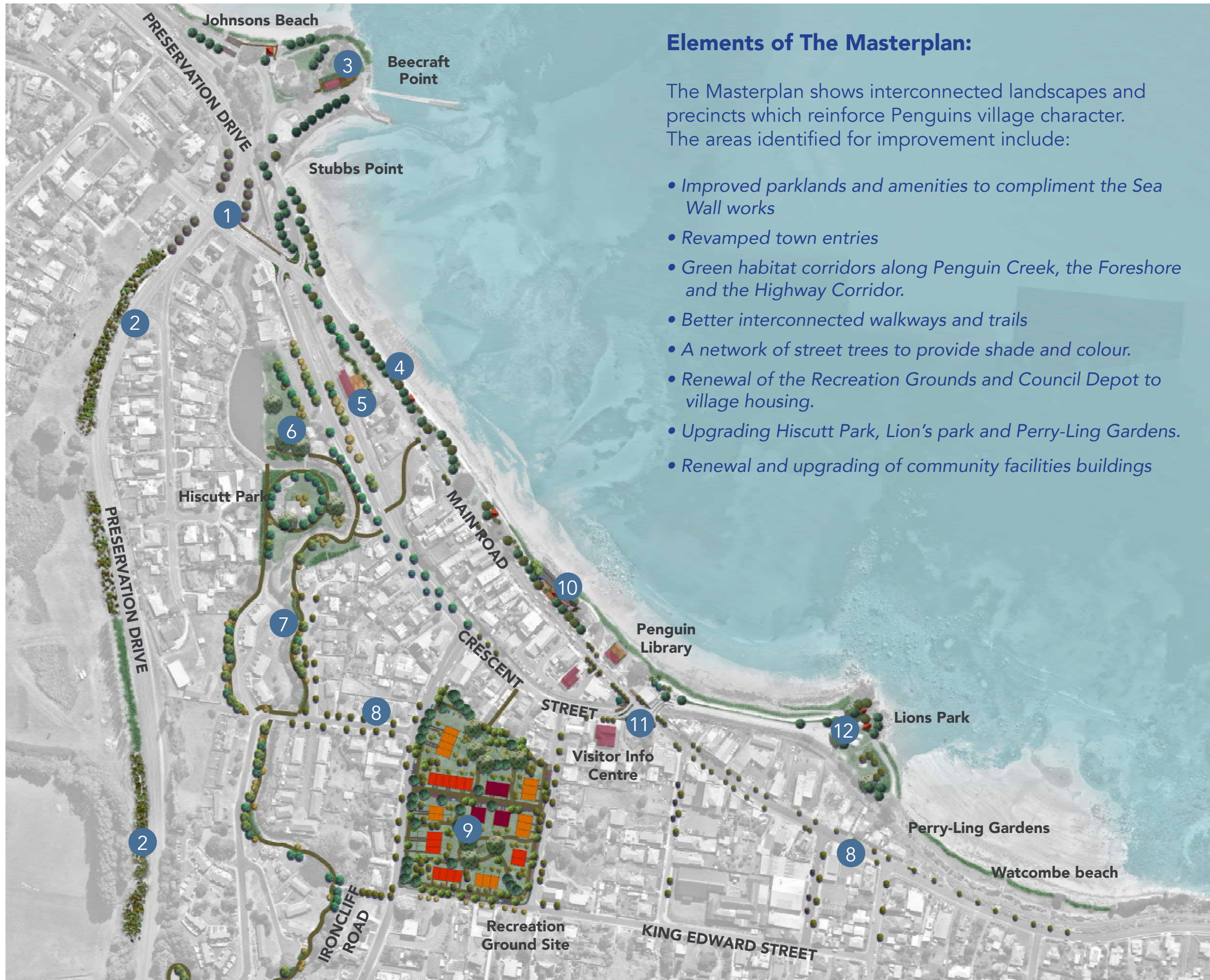
The proposed concept for village housing on The Council Depot Site was generally accepted, and due to its set-back location, no real concerns over dwellings of three storeys or 'over-development' were raised.

Car Parking And Tour Bus Parking

Council undertook a carpark analysis in Penguin, counting all available car parks and the relative usage of those carparks the conclusion of this study was that Penguin has an oversupply of carparks. Unfortunately, residents perceive they have a problem parking. People are unwilling currently to walk much further than 200-300 meters to their desired shopfronts and as such many outer carparks are not utilised. Carparks between the pub and the real-estate agent on the Main Street are most sought after. The perception of a car parking problem relates to the parking bays in this zone.

Both residents and traders acknowledge that there is a management problem related to these car parks: for example, the off-street carpark behind the post office is predominantly used by traders and their employees, who are also unwilling to park a bit further away, thus assisting to create more carparks for residents. Main Street carparks are also occupied by traders for long periods of time, creating a shortage for residents. The time limit on carparks is an issue for some, who believe a longer than two-hour stay is normal. When parking officers apply the limits and give fines, this is very unpopular.





Elements of The Masterplan:

The Masterplan shows interconnected landscapes and precincts which reinforce Penguins village character. The areas identified for improvement include:

- Improved parklands and amenities to compliment the Sea Wall works
- Revamped town entries
- Green habitat corridors along Penguin Creek, the Foreshore and the Highway Corridor.
- Better interconnected walkways and trails
- A network of street trees to provide shade and colour.
- Renewal of the Recreation Grounds and Council Depot to village housing.
- Upgrading Hiscutt Park, Lion's park and Perry-Ling Gardens.
- Renewal and upgrading of community facilities buildings

MASTERPLAN LEGEND

- 1 Western town entry
- 2 Green habitat corridor
- 3 Scout Hall / Nut / Johnsons Beach precinct
- 4 Parkland on foreshore improvements
- 5 Railway Station precinct
- 6 Hiscutt Park precinct
- 7 Trail system
- 8 Street tree planting
- 9 Recreation grounds concept plan
- 10 Playground precinct improvements
- 11 Eastern town entry
- 12 Lions Park precinct

NORTH



NOT TO SCALE

COMMENTS FROM THE SET-UP-SHOP SESSIONS

Recreation Ground Site

Liked:

- Small housing options
- Some low cost housing

The Main Street

General:

- Parking is an issue on the main street.
- Caravans and RVs take large areas of parking
- Need to 'tie in' the main street from the railway crossing to Perry-Ling Park – it's a bit ugly at that end of town
- Town entry from the east is at Perry Ling
- People stop at the railway line – need to encourage them to walk on
- Footpaths outside some shops need repairing – add as a stage to the plan

Liked:

- Don't need 1 way: keep it two ways
- The crossing / changes at the east end Crescent / main street intersection
- Prioritizing the railway crossing works as first works
- Carrying over of the 7 day make-over themes / ideas

Disliked:

- No allocated area for tour buses for when the cruise ships come back

The Foreshore And Open Spaces

Liked:

- Trees are great
- BBQ at the kid's pool
- IGA owner: "there is nothing about his plan I dislike – when do we start?"

Disliked:

- Trees are too dense in some locations of the plan: there should be some more space between trees on the foreshore so the 'open' feeling is retained

Good Additional Streetscape Ideas

- Designate RV and coach parking at Railway Station (both main street and Crescent Street sides)
- Lift the 2hrs parking limit to better organise parking
- Put in an electric vehicle charge point

General Town Centre Comments

- What are Council's recommended plans to change zoning? Last attempts ten years ago caused issues
- How long until we start? The sooner the better
- Don't take out the clay paving on the footpath

Good Ideas To Incorporate Into The Masterplan

The following ideas were raised by people during the various masterplan feedback sessions and are worth incorporating into the plan and report:

Transport and parking:

- Designate RV and coach parking at Railway Station (both main street and Crescent Street sides), with signs to direct them to these locations
- Line mark unlined carparks to increase perception of available parking, particularly on Crescent Street
- Sign post off-street parking areas for retail staff.
- Better traffic calming devices on Main Street.
- Bus stops to have shelter structures
- Investigate coach parking in a pull-over zone at the Senior Citizens Hall
- Relocate Taxi rank to beside pub from beside El Pero's restaurant

- Adjust/refine the 2hrs parking limit to better organise parking restrictions
- Line mark and sign car parking along Crescent Street
- Extend the off- road park area further along past the Railway Station
- Put in an electric vehicle charge point

Hiscutt Park:

- Disabled access toilet facilities
- Move the miniature railway to Hiscutt Park
- Add a sound shell to Hiscutt Park – or some way to have concerts
- Improve lighting at Hiscutt Park
- Keep the stairs / landings into the lake if the hard sides are removed to retain access for the model boats and fishing day users
- Better lighting along the paths at Hiscutt Park and along the seawall path
- Provide wayfinding from the main street to Hiscutt and beyond
- Hiscutt park toilet and picnic shelter needs reconsidering – too far apart and toilet has no vehicular access
- Could focus / increase the play area at Hiscutt Park – this is a destination park – (could have a large rope structure for example)

Foreshore Parks and Open Spaces:

- Provide frequent ramp access from Main Street to seawall path
- Better lighting along the paths at Hiscutt Park and along the seawall path
- Create a shade structure over the playground
- Install a slide down / beside the Spanish steps to the beach
- An exercise station along the foreshore
- Decks with power for informal events along the foreshore
- Provide / Improve access points to the new revetment wall pathway
- Install interpretation at the Lions Park

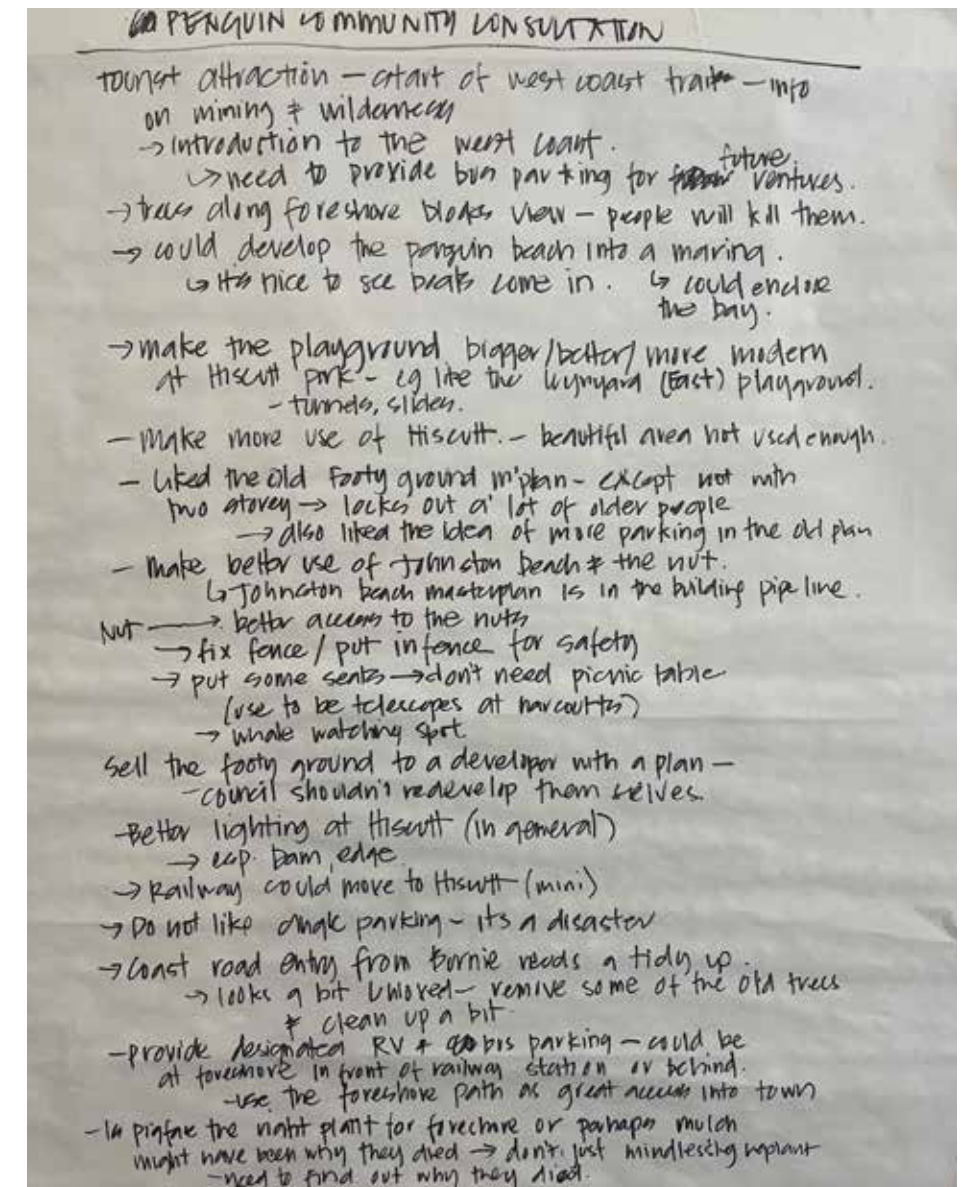
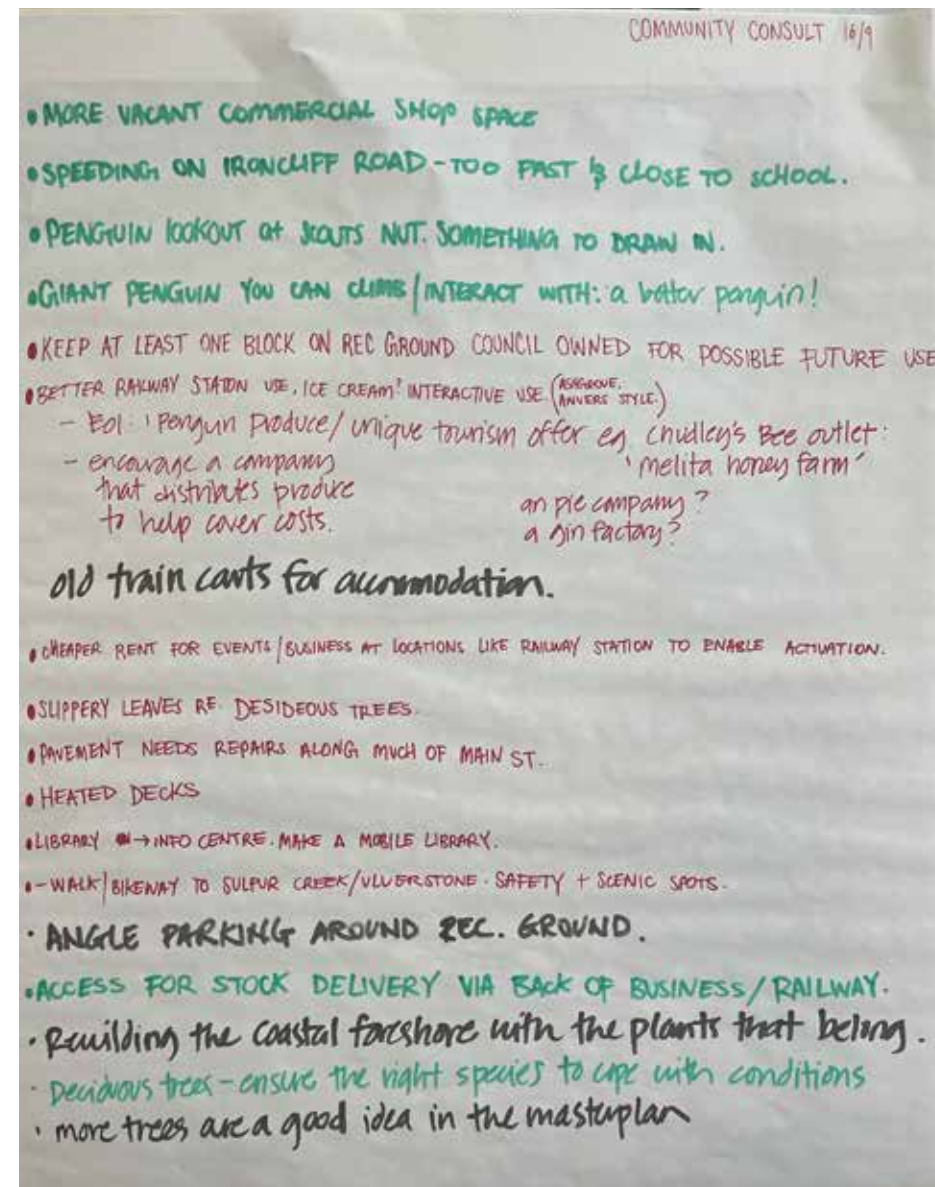
COMMENTS FROM THE SET-UP-SHOP SESSIONS

Entries, Trails, and walkways:

- Create a heritage trail through town – incorporate Indigenous stories
- Try to finish trail / walkway across King Edward Street to link Hiscutt trail to new foreshore revetment walkway
- Locate and link bikeways – especially from footy ground site
- Create interpretation and small improved facilities like better fencing and some seating and picnic tables at the top of The Nut
- Penguin entry off Preservation Drive should be the main entry into town. Move the sign from the South Road exit to encourage people to enter town through the main street and not through the residential areas

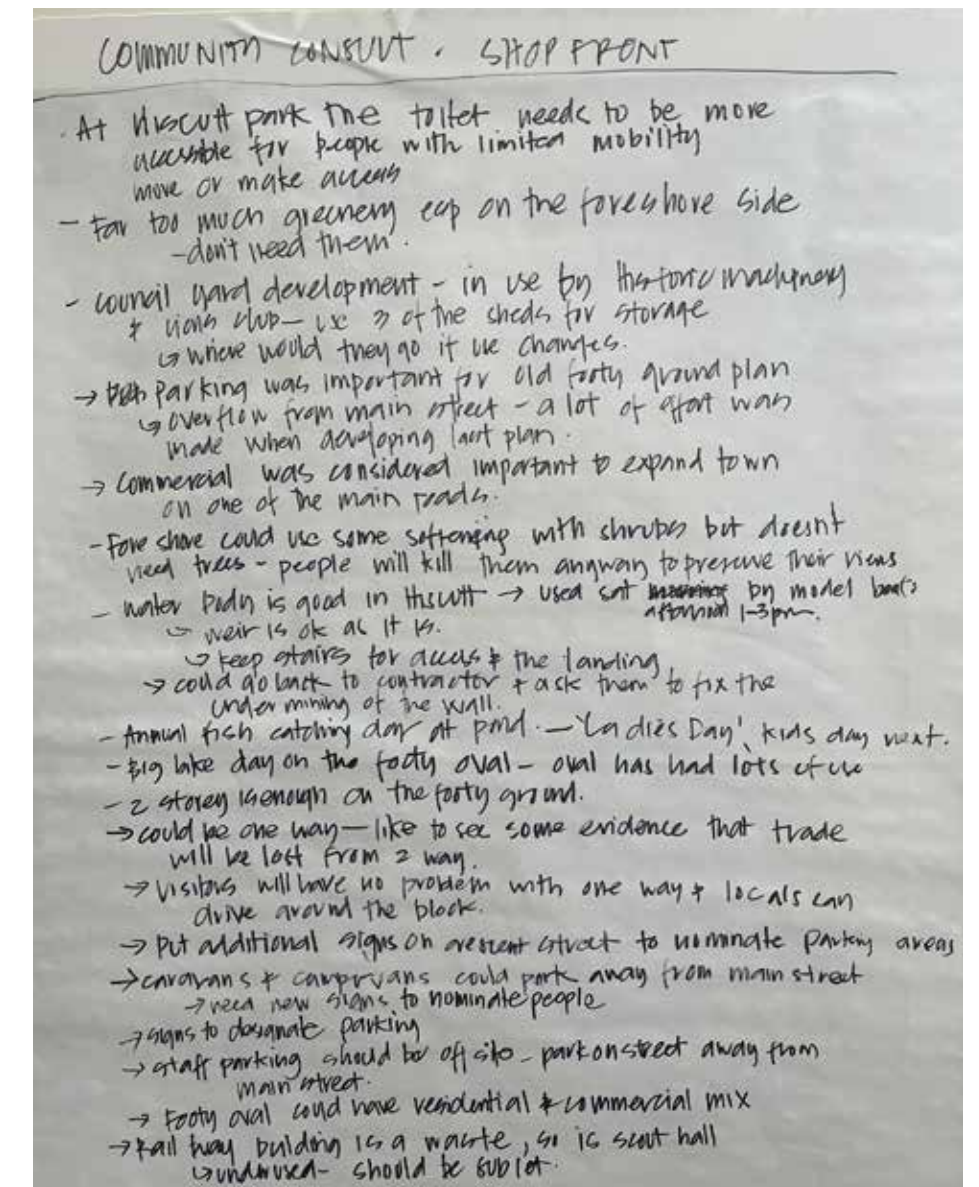
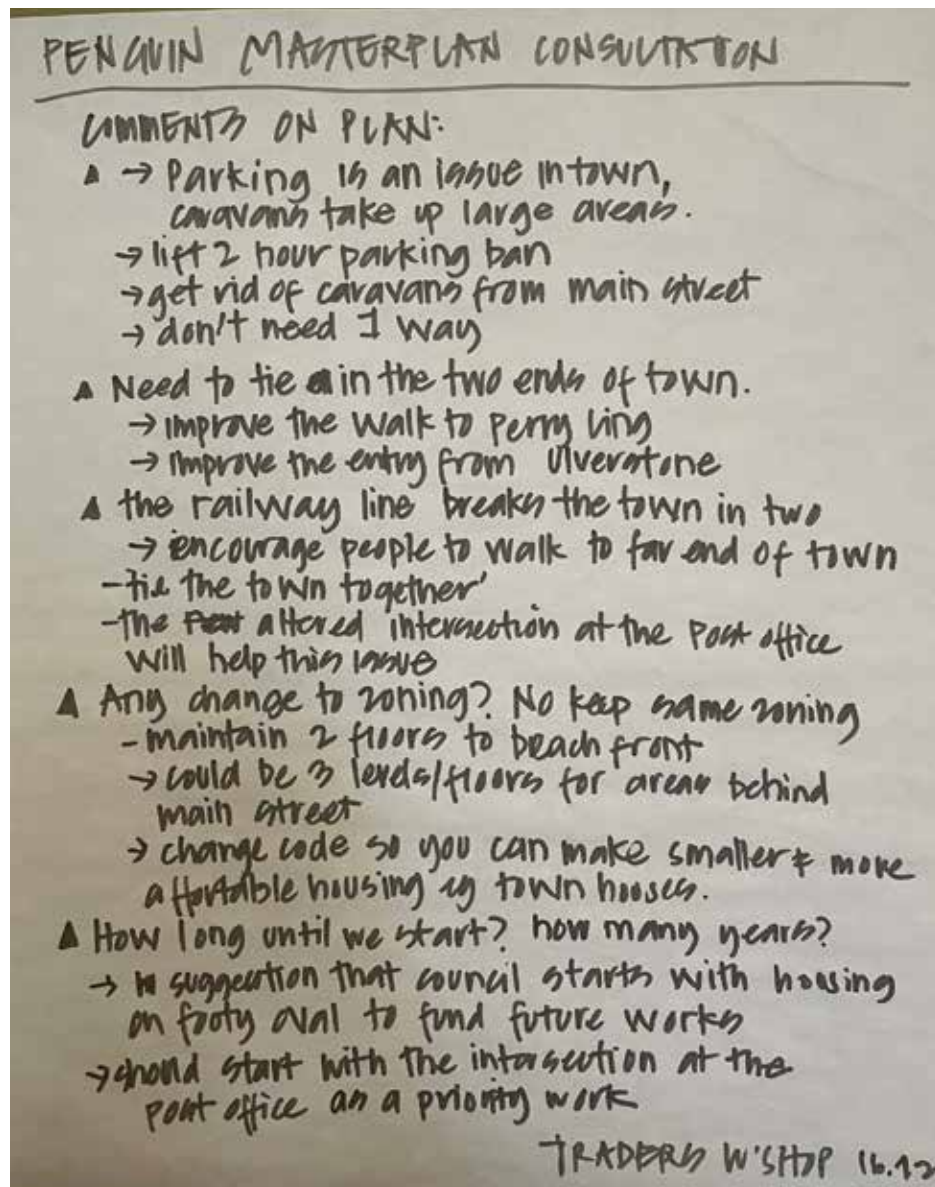
Community facilities:

- Add gardens to soften the front of the Senior Citizens Club
- Use waterfront community buildings to promote unique Penguin produce and tourism offer

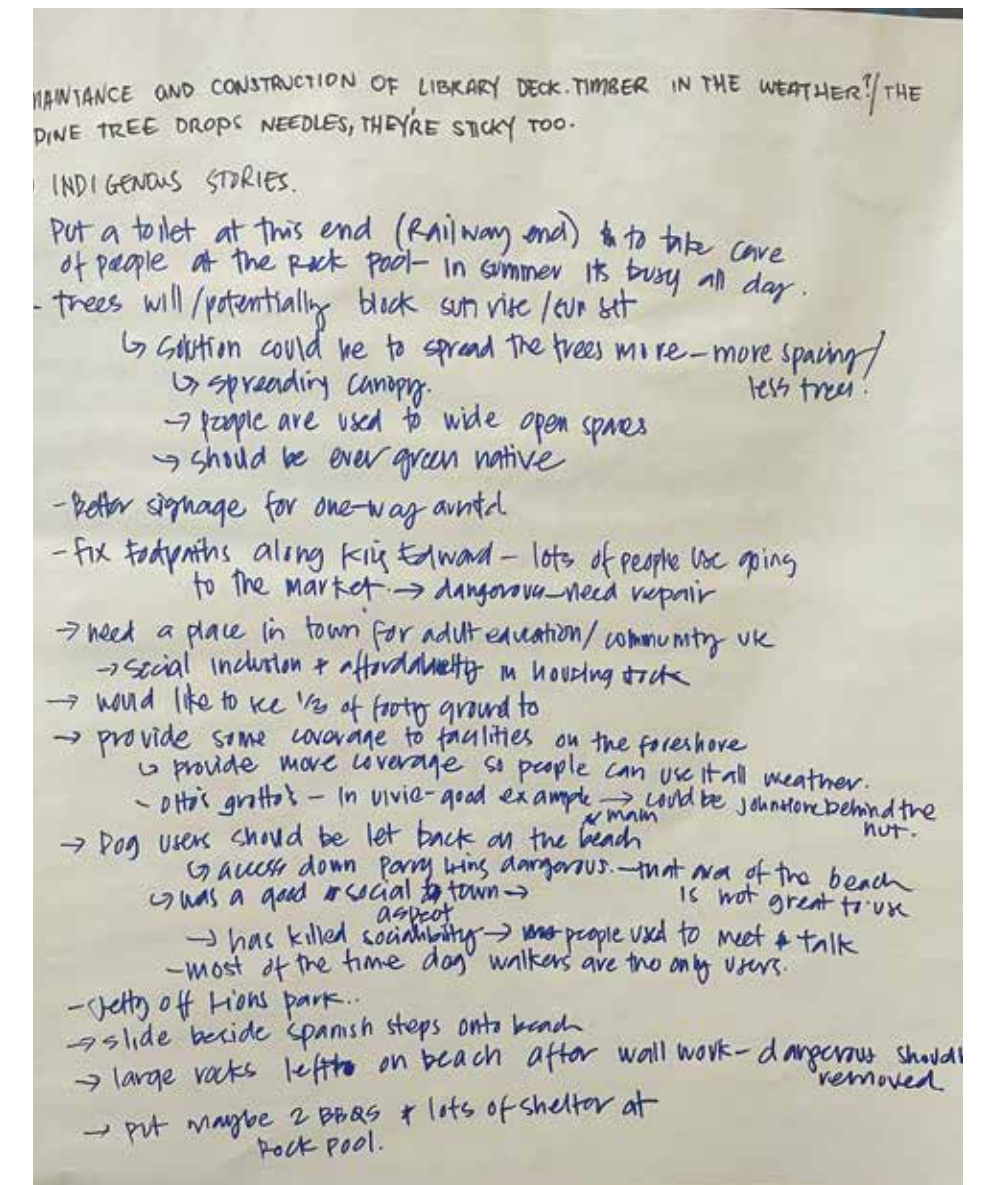
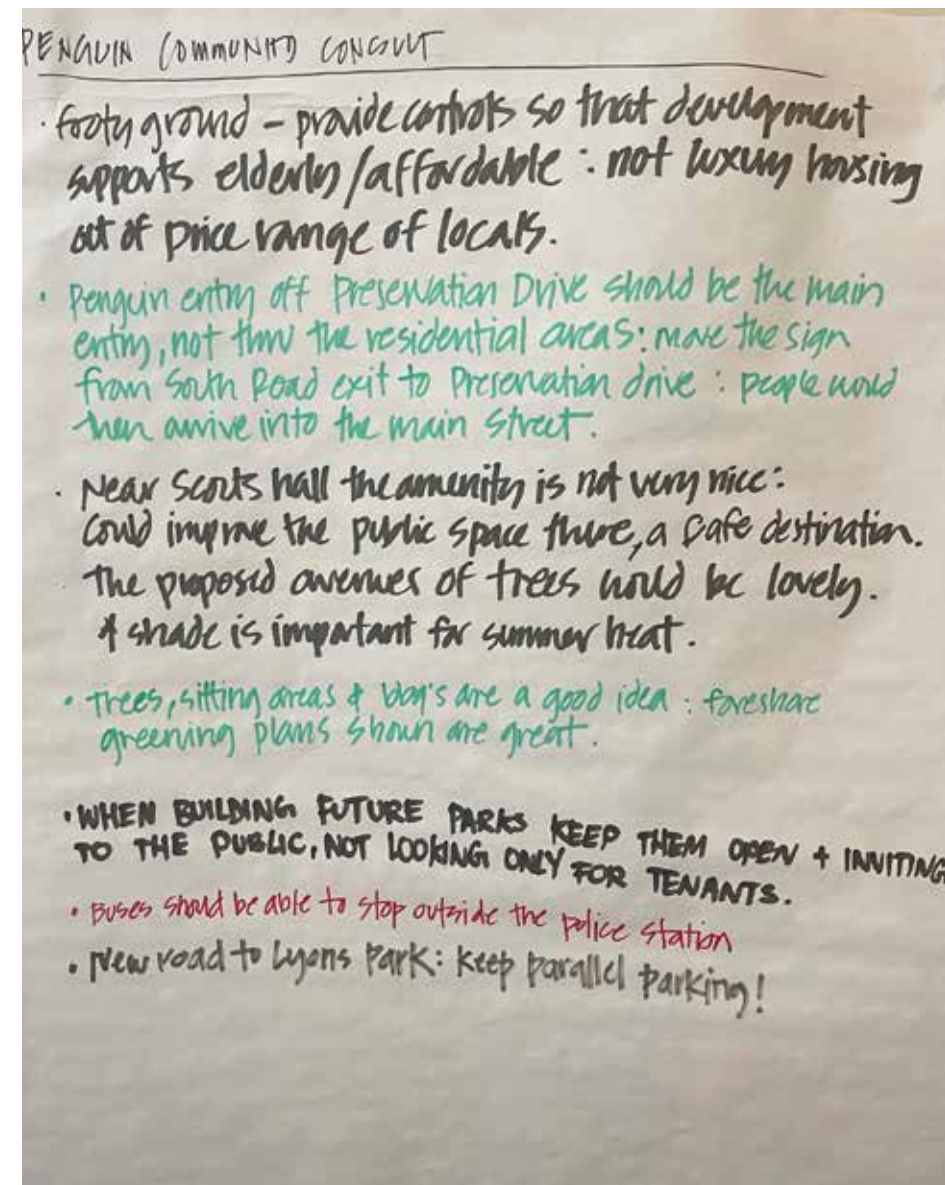
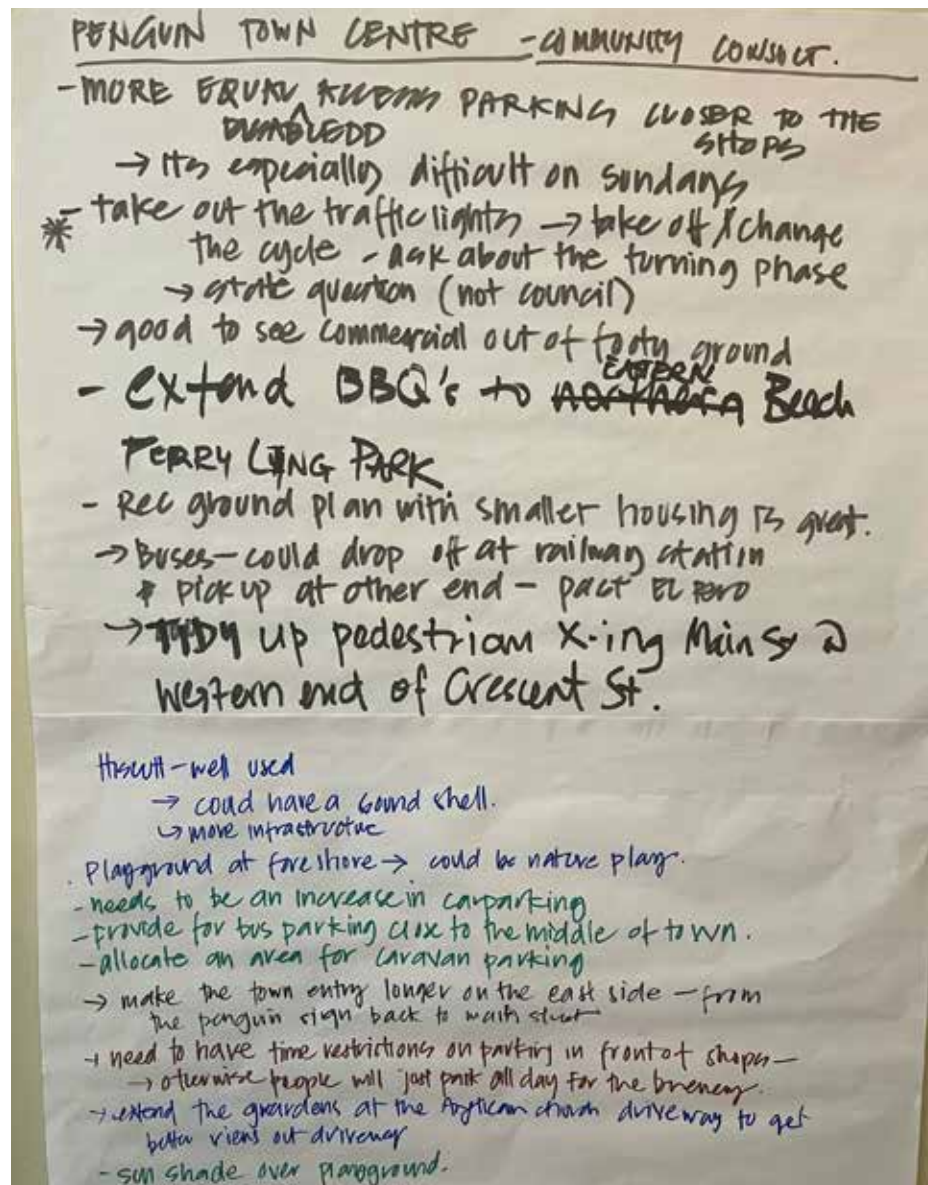


Two public meetings and one trader's breakfast were held, and the set-up shop consultation was open for over sixteen hours of one-to-one engagement and feedback.





Informal discussions were undertaken on the Main Street with various traders, The Visitor Centre and The Library.



Over a hundred and thirty people gave one-to-one and group feedback on the Masterplan and community facilities during the set-up shop period which occurred between Wednesday 15th September and Saturday 18th September 2021.



PENGUIN POST SET UP SHOP FEEDBACK

COMMUNITY MEETING CONSULT - SETUP SHOP

- tree plant at Post office → questions
- Trees need to be allow views under
- Near site for cars & people at letterbox cafe
- leaves in gutter & on footpath ~~area~~ who deals with
- who waters the plants? Installer & council to start & then car convert tree for the right spot.
- What happens with the library.
- See this town as an eating town → lots of places underused that could be better used.
- Lawn - Victoria - bench side developed & has changed character completely to 40 years ago.
- generally really like the plan - plus really like the rec. ground plan. → wouldn't mind a 2 storey apartment in there.
- worried about saleability of units without car spaces.
- a community hub with managed on-line facilities.
- create a heritage trail/story telling trail on main st.
- Penguin character? not ~~the~~ sure its clearly defined.
- Some of the buildings need attention.
- Evandale → great example of a beautiful thriving town
- well kept buildings, nice trees
- Latrobe another example of a lovely town
- Richmond
- Unified heritage look about the town
- lots of little improvements around town to make the place better & could lift overall look of town eg stairs behind library
- Post office end of town is congested - put some activities
- Don't plant trees with nuts
- Improve the irregular footpaths
- Things to slow traffic on main road
- make sure there are easy links across railway to join footy ground develop. to main street.

19th canopy cover now → ↑ 30% → start at bikeway

ccc - planting planters → being developed

Way finding → points of interest, main attractions.

- could be along main path (foreshore)
- ↳ directing people back into areas behind foreshore.
- growing set on beach → difficult to implement but it would be great.
- beach shower - existing one at main st + Johnstone new one for Lions park planned.
- make better use of the top of the hut
- ↳ fix the fence
- ↳ fix/move ~~the~~/make stairs on other side
- ↳ good spot / great views - make more of it.
- ↳ picnic tables - (don't need a shelter - it would stand out)
- ↳ promote the mini hut
- interp. sign to west/penguin → interp benches / whale watching spot.
- move the mini train to Hiscutt
- ~~lake~~ lake at Hiscutt could go back to natural stream rather than lake
- people don't move out of Birminis park

PENGUIN - GHA FRONT CONSULTATION

- Keep car parking & traffic movement as is: beautifying the town is great
- Trees in some locations will block residents views: carefully consider views.
- football ground - clearly sign for public use of the parkland
- focus more on single-storey homes.
- concern over blocking views
- driveways should not create light impacts to residents
- a pedestrian crossing across ~~the~~ road
- caravans & RVs - sign post to desired parking locations
- a museum in town, possibly in Playcentre. - w/ History Group?
- RV PARKING, INFO CENTRE AT RAILWAY.
- BETTER LIGHTING AT HISCUIT PARK, SENWALL.
- Keep the quirky character and ambience
- ACCESS CONCERNS FOR STAGE 1 RAMPS + STAIRS, ALSO STAGE 2 GREENING.
- should have more covered bus stops! only 1 in town
- Not sure the deciduous trees will grow on the foreshore
- Any provision for widening footpath - a narrower road slows traffic
- use corner of footy site for parking
- what about access to public space on res. footy site.
- Footy ground should not be built on with houses at all
- should be a good percentage of parking (but no house)
- could be used for parking buses - easy walk to town
- electric car charge point
- Restrict caravan & bus parking on the main street
- try to buy a strip of land on the side of one of the houses on crescent street to get walkway access to footy ground.
- Implement the path on the foreshore to Ulverstone - could be on boardwalk / raised platform around the more difficult parts

We had meetings with Senior Citizens, The Penguin Scouts, The History Group and The Penguin Library to discuss usage possibilities for the community facilities buildings in Penguin.



PENGUIN POST SET UP SHOP FEEDBACK

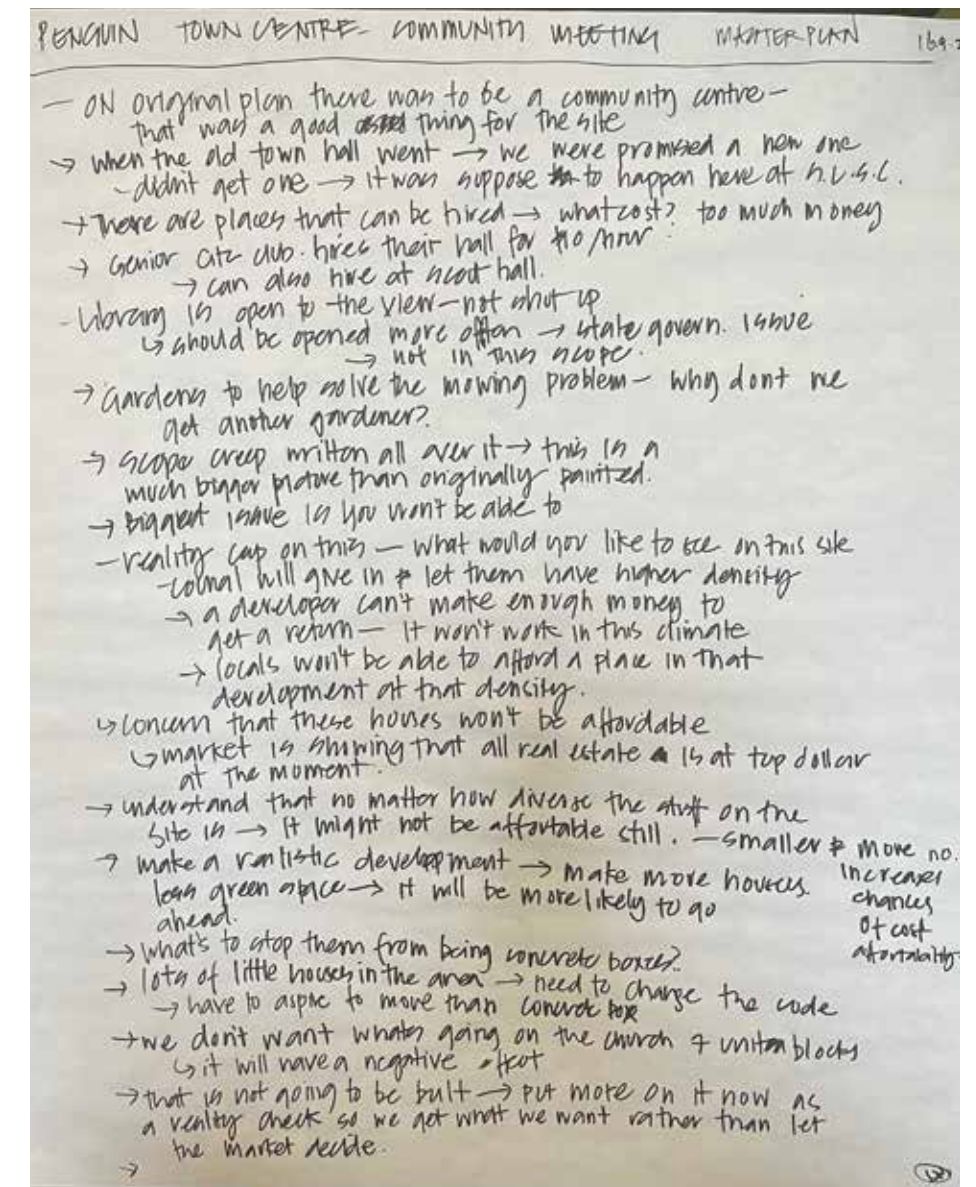
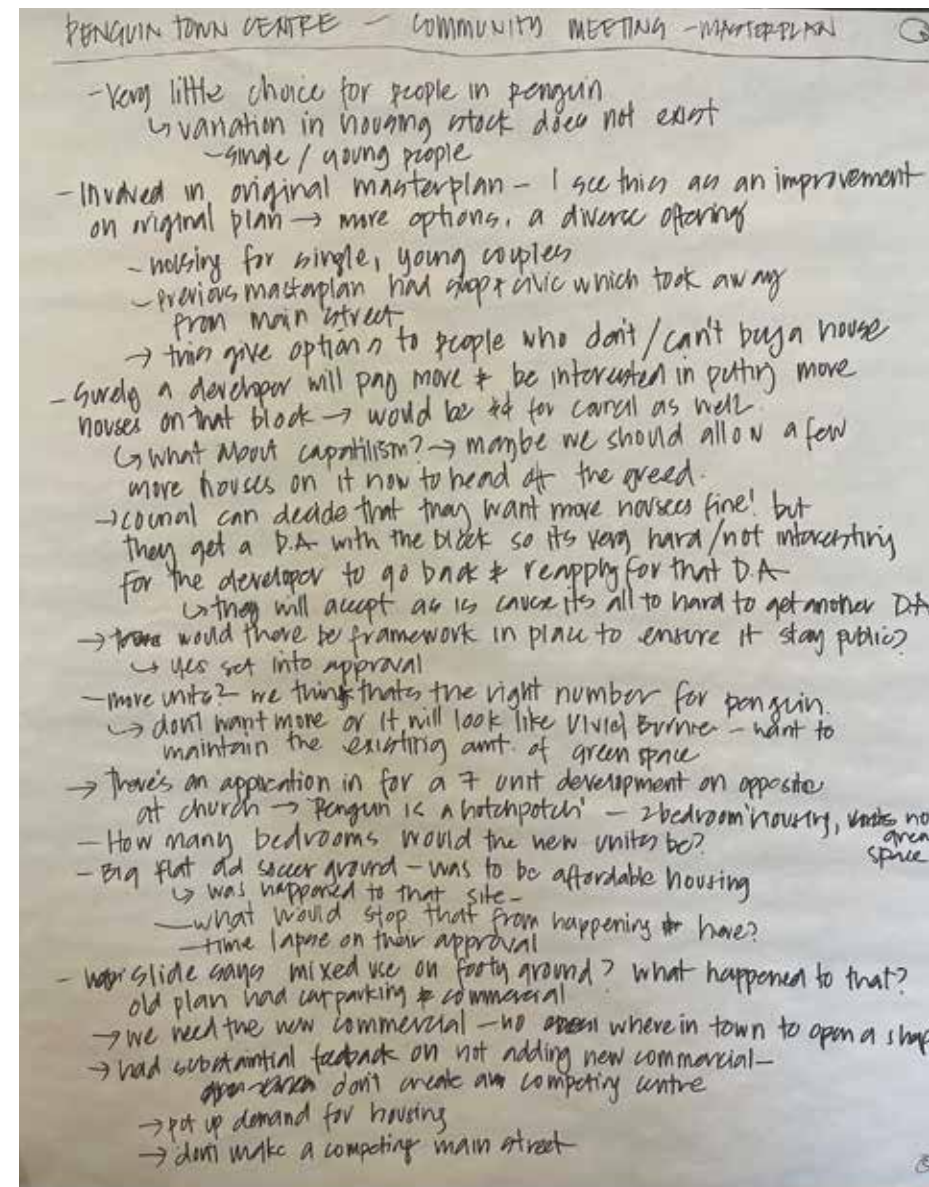
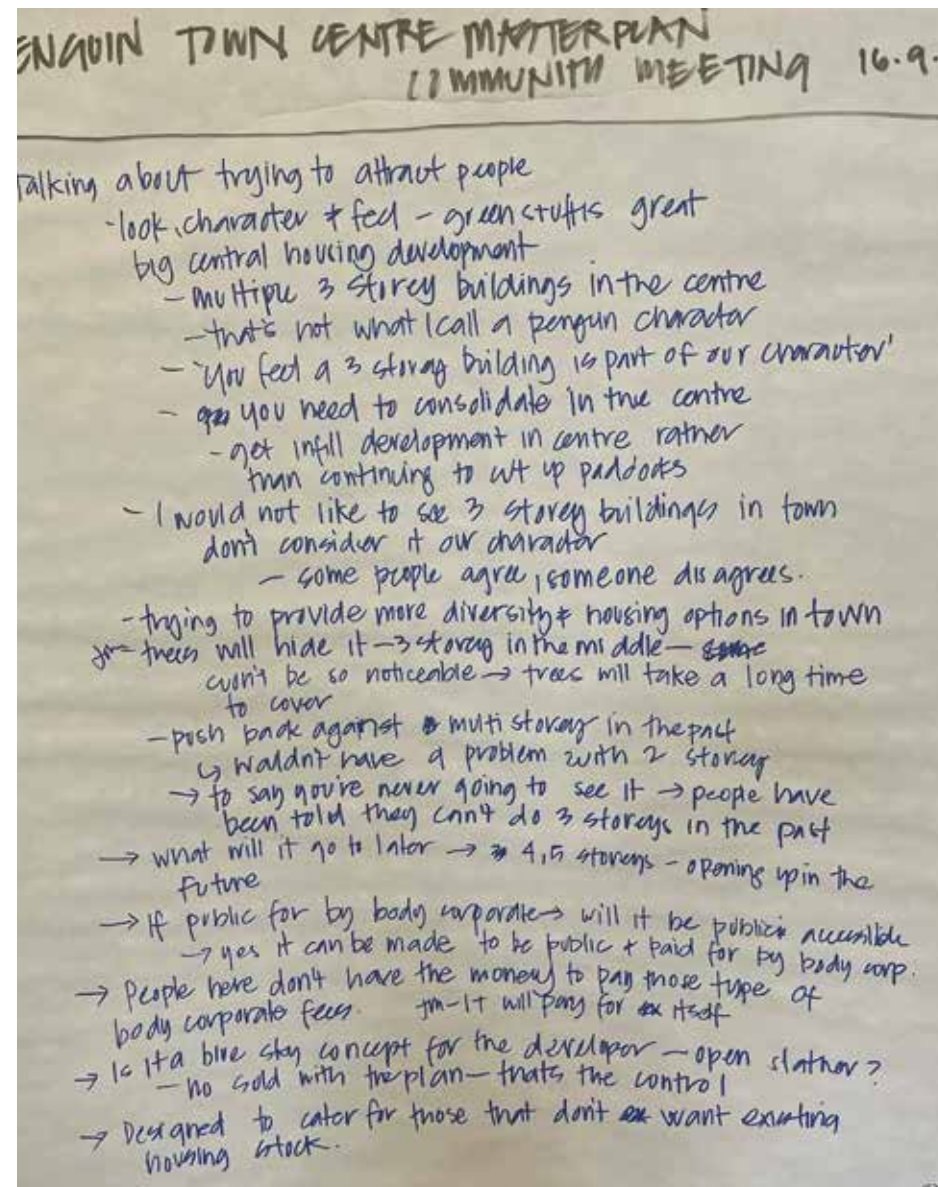
- ▲ Why didn't the brewery have to provide car parking? The patrons are there for hours & park on the main street in front of other shops
→ They park on the way to Lioness → this will stop soon & the problem will get worse.
- ▲ Provide more parking at the new footy oval.
→ good opportunity there to put long term parking (all day) for staff etc at shops.
- ▲ Works are too main street centric.
- ▲ Put a batch of 45° degree parking in front of playground (remove 2nd footpath & flower bed)
- ▲ Provide for more bikepaths infrastructure etc.
- ▲ It's not fair to allow 3 storey development on footy oval when people have tried to do 2 storey in town for years.
- ▲ Look at areas in town to rezone to retail/commercial
- ▲ There is no where to put a new business in town
- ▲ change Hiscutt park waterpdy to spill way
- ▲ BBQ going into Johnston Beach
- ▲ Highlight linkages to Hiscutt park → Railway station & back bakery.
- ▲ Hiscutt drive destination park → shorefront smaller play ground

- senior citizens - soften the frontage with landscape
- Penguin areas look a bit tired.
- **Back of bakery: clean up bins & messy area.**
- The proposed eastern gateway landscape near Post box is excellent & will be a vast improvement.
- **avenues of trees are great: Evandale, Ross, are green avenue examples:**
"the gardens are part of the experience"
- an exercise station along the foreshore
- **move of the deck/seating like near the big penguin**
- Covered decks good for events & music: deck behind library & along foreshore would be good.
- **BBQ's & shelters on the foreshore would be great:**
currently no where to read for a while/hang out.
- The shopfronts on the main street should entice people in: to see the life inside.
- "There is no shortage of parking you just need to walk a little further." : Don't need any more parking.
- a public toilet near Kiddies pool on foreshore
- **child care building is underutilized**
- green the sea wall and the main street: good idea outdoor covered decks to library and railstr. will be great.

- STATION CONSULTATION 17/9
- toilets at visitor information centre are poor: need improvement
 - a pedestrian crossing near the chemist is needed.
 - use native plants on foreshore to encourage penguins and native animals.
 - specific area designated for caravans & tow buses.
 - Beachcraft point: plant salt-tolerant/bank stabilising plants.
- line mark car parks to get efficient parking.
 - footy oval - provide an shop-employee parking area (and make behind post office 2hr. limit)
 - create signage and place for caravan & RV's to park without competing with resident parking on main St.
 - Directional signs needed for public toilets
 - senior citizens hall - space is wasted: should be a shared meeting space for groups.
 - HEIGHT GRADIENTS, DIFFERENCE MAKES COMFORT. SHELTER + HUGIS ♥.
 - GREENING OF SEAWALL & TOWN PATHWAYS TO GLUE THE TOWN TOGETHER.
 - STOP THE PLAN FOR STAGE TWO OF SEAWALL & SPEND THE MONEY ON CRESENT ST UPGRADE, LIBRARY FIX UP & VISITORS CENTRE UPGRADES.
 - RAMP AT THE STATION END OF BEACH, PATH STEP DOWN IS TOO STEEP.
 - MURAL AT SEAWALL DONE BY KIDS
 - PENGUIN SHAPED ZEBRA CROSSINGS
 - THE VISUALISATION OF THE PLAN IS GREAT. ITS GOOD TO SEE MOCKED UP HOW OUR TOWN COULD LOOK WITH MINOR IMPROVEMENTS % TREES, DECKS, WALKWAYS ETC.



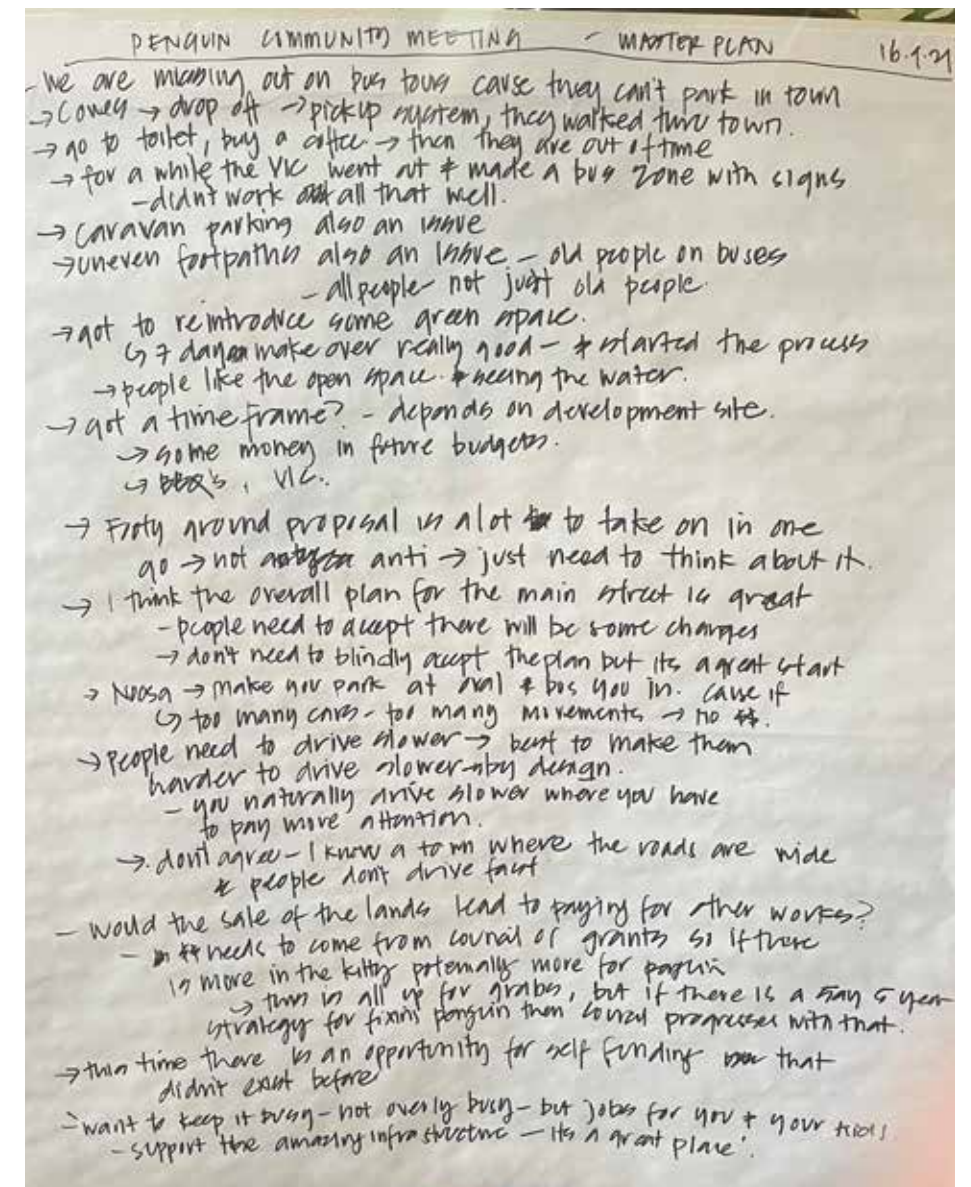
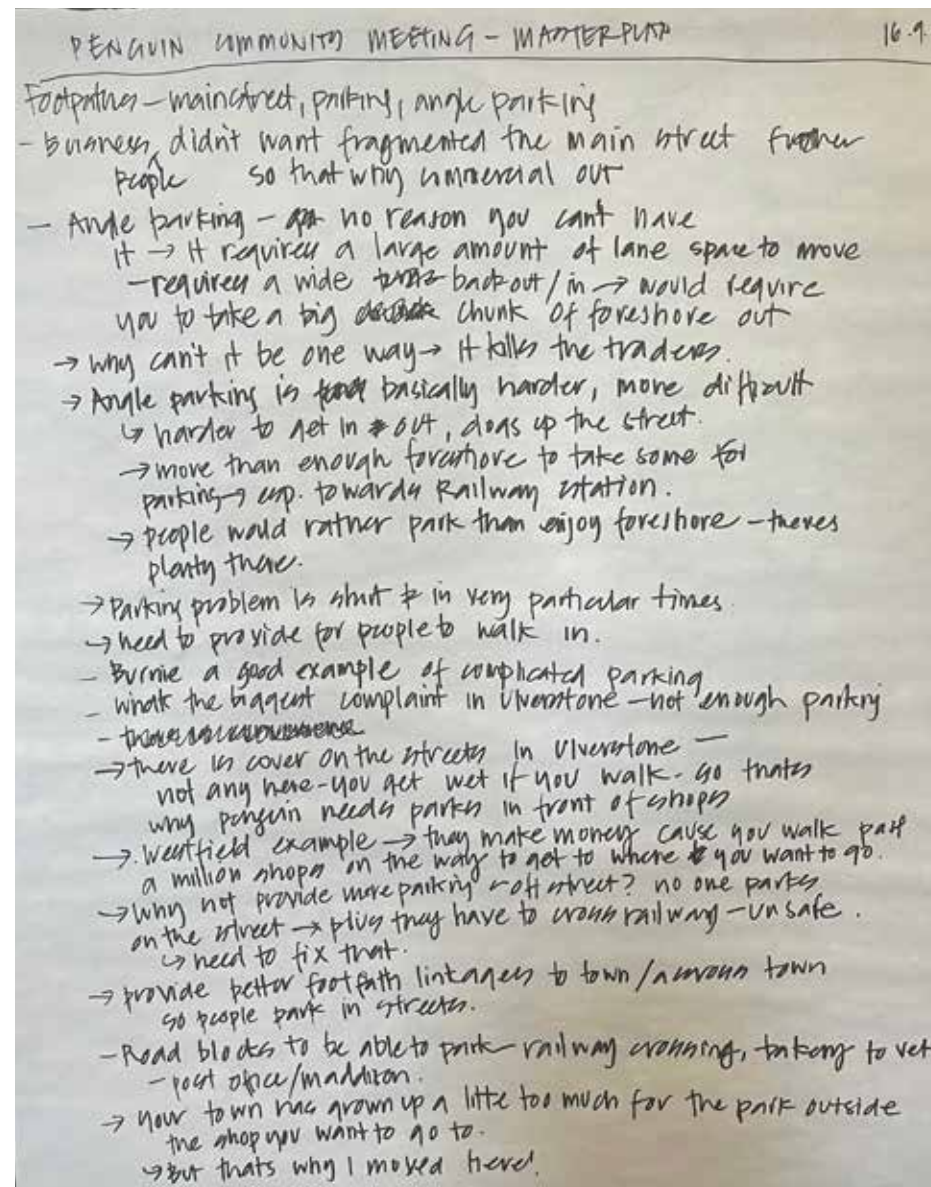
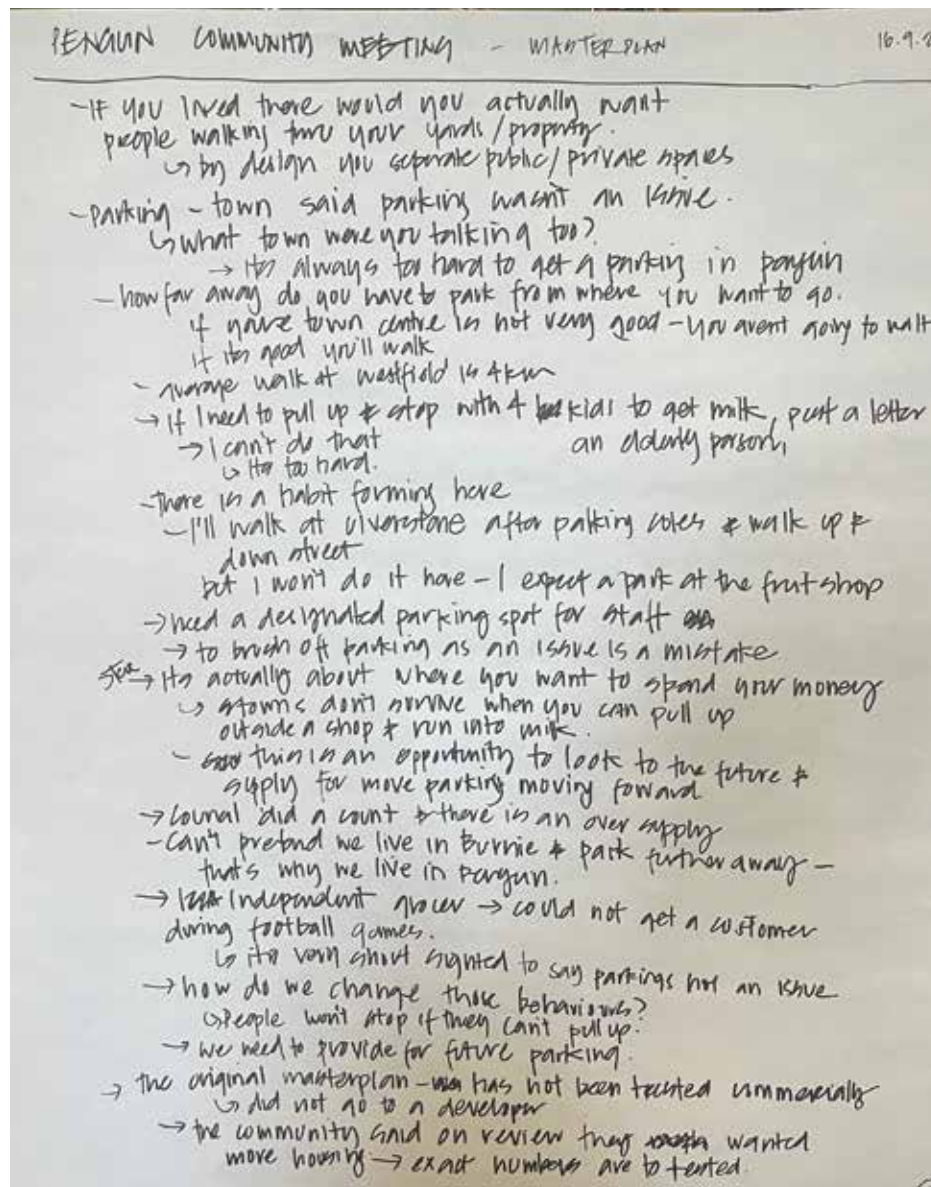
PENGUIN POST SETUP SHOP COMMUNITY MEETING



People are generally happy with the overall Masterplan, its approach and its main actions. The Masterplan comprises of predominantly landscape and streetscape actions, and these are broadly accepted.



PENGUIN POST SETUP SHOP COMMUNITY MEETING



Community Meetings

Community Meeting No.1

(Meeting Thursday 16th September)

Attended by 20 people. The main discussions focused on the following:

- Preserving the village character is important for the community, and some people are worried they will get an outcome in the town centre that is "too modern with concrete boxes and five story buildings along the foreshore". A small group of people were generally uneasy about three story development on the Recreation Ground

site, thinking it was too tall. The two local building designers both thought the layout and density was appropriate and an improvement on the prior Masterplan. One resident noted that the proposed density of housing on the site was not sufficient to make it viable for a developer.

- Upgrading the Visitors information centre was supported, the attending volunteers and residents were enthusiastic for a re-vamp.
- Diverse housing gained majority support in the room, with the only concerns being height limits and visual character.
- Upgrades such as benches, shelters, the deck renovation for the library and general street greenery were supported.

Community Meeting No.2

(Meeting Friday 17th September)

- Attended by 3 people.
- Residents enthusiastically supported all the measures
- Opportunities to expand the use of the Library we discussed explicitly and were well supported.

COMMUNITY FACILITIES: SUMMARY OF MEETINGS

During the set-up shop, the team had specific meetings with four community facilities groups, to pursue opportunities for better usage and co-sharing. The following outline our findings:

Penguin History Group

A meeting with six members of the history group provided the following feedback:

Existing use:

- Rent a 39m2 room, informal use of two other rooms and shared toilet / kitchen with co—tenant the Penguin High School
- Approximately 40 members in the group - about 20 of which are active
- Meet Wednesday morning and evening, and Monday afternoons
- Use the space for meetings of approx. 12 at a time and for exhibitions
- Goal and members garages provide space for additional storage of reference information
- Shared lease with High School works very well for the group as the Dept. of Education makes a significant cost contribution and is largely absent

Constraints on sharing:

- Feel they have tried unsuccessfully to share with Senior Citizen at the Senior Citizens location in the past. They have tried to renegotiate moving to the Senior Citizen building but they would have increased costs (pay for heating), and would have to share spaces

Desired future use:

- Need more space for storage

Possible incentives to relocate:

- Members had differing views on the merit of various co-locations
- More space
- A reduction in costs

Their ideas for sharing existing space:

- Coffee shop
- Art gallery / art workshops / small local retail offerings
- Extend at the front to provide a town hall

Other main issues:

- Feel a strong connection to the Railway Station building
- Had a plan in the past to add a room on the ocean side for a kitchen and more exhibition space
- Have had a recent plan to add additional two- level building space to the west

Their general comments:

- Co-locating the VIC centre with the history group at either location would provide point of interest for visitors
- Mixed response to moving VIC from current location
- Look at the playgroup building next door as an additional community use

Our analysis:

- The History Group requires a larger room and a place to store records and to have exhibitions. They have informally taken possession of other rooms in the railway station since the high school has not actively used the two-thirds of the lease area.
- The High School has built new facilities elsewhere and may only renew their lease in the short-term.
- The History Group does not want to increase their running costs: and this was a deterrent to sharing the Senior Citizens space. Once the High School lease ends, two-thirds of the expenses and rental costs will be unpaid.
- Some in the History Group would not mind sharing either at the VIC, with the VIC at the railway or at the Senior Citizens Hall. All would rather stay where they are.
- If their running costs of \$2000 were reduced / not increased, they could be motivated to sharing a large space elsewhere.
- The History Group would be able to be relocated into the courthouse room at the Senior Citizen Hall - an area of about 50m2. With some built-in cupboards, storage could

also be provided. They could share meeting space and hall with the Senior Citizens (book use or areas as required), and they could share insurances and running costs.

- The retail lease out of the old railway station could generate sufficient income to ensure the two community groups paid fewer running costs.

Penguin Sea Scout Group

A meeting with the Sea Scout Leader provided the following feedback:

Existing use:

- Approximately 40 Sea Scouts in the group
- Meet Tuesday afternoon and evening and Wednesday evening
- Weekend use in the summer months
- Used once yearly for the fund- raising book sale
- Short on storage: members garages provide space for additional storage of boats and equipment
- Building was built and is owned by the Sea Scouts and sited on Crown land
- Is hired out for casual uses such as kid's birthday parties and bereavement services
- Has had regular additional users in the past like the Aikido club

Constraints on sharing:

- Drying wet gear after scout use in the main hall makes sharing difficult
- Alcohol and smoking are prohibited by the scouts at any time on this site

Desired future use:

- Need more space for storage of large boats and equipment

COMMUNITY FACILITIES: SUMMARY OF MEETINGS

Possible incentives to share:

- Solve storage problem - need funding and a space for an additional area of 10 x 4 - equivalent to a 4- car garage (the book sale is fund raising for this).

Their ideas for sharing existing space:

- Yoga / Tai chi groups
- Non-alcoholic events

Their comments:

- The boat ramps are aged and difficult to use (the low tide one in particular)
- The carpark is not attractive
- They do not have access to the Council bin service
- Crown lease extends to the other side of the nut
- The Miniature railway is a dangerous trip hazard
- They are activity seeking new leaders

Our analysis:

- The Scouts are short of funds. They have been fund raising for a shed which they would like to put beside the toilets on Johnstone Beach near the parkland and the nut. The shed would be about 12 x 8 m for 3 boats and would fit in that location with Council approval.
- There are limited co-use opportunities due to lack of space and limited chances to leverage retail uses due to drinking / smoking regulations.

Penguin Senior Citizens Club

A meeting with two members of the club provided the following feedback:

Existing use:

- Approximately 30 members in the group but only three quarters are from Penguin
- Bowls on Monday afternoon and Wednesday
- Concert one day a week (or month?)
- There are 110 chairs in the hall

Desired future use:

- Renting the hall for events and gatherings

Possible incentives to share:

- A reduction in running costs (they currently pay \$8500 +/- in running costs)
- A current lack of active members

Ideas for sharing existing space:

- Every second Thursday they don't use the space and try to rent it out
- They have not had a lot of short -term rentals for the hall (they rent the hall out for \$10 an hour)

Other main issues:

- Need a tap out front for garden and building cleaning
- The Leo's from the Lions Club had co-used the hall, but this was not very successful
- The sliding door needs fixing
- The front steps and rear ramp are non- complying
- Buses and tour buses could stop nearby on Crescent Street

Our analysis:

- The Senior Citizens struggle for active membership from Penguin residents but provide a needed social hub.
- The running costs are much higher than the Railway Station building, and they must fund raise to cover costs
- With some minor repairs the hall could potentially rebadge as 'The Penguin Town Hall', incorporating the Senior Citizens and the History Group.
- The \$8500 rental / running costs could be capped to encourage co-use and to allow the Railway Station to be a waterfront retail lease that can help fund these other facilities



COMMUNITY FACILITIES: SUMMARY OF MEETINGS

Penguin Memorial Library

Discussions with the head librarian from Devonport, the librarian at the Penguin library, and the librarian from Burnie library who is a local resident, provided the following feedback:

Existing use:

- Library leased by education dept. off the state gov.

Desired future use:

- Penguin residents have a high book read uptake rate and the state may consider this reason to fund further than their population per capita rate
- Could move toward an open access library format being trialled on the mainland (a digital format without staffing, and open for long hours)

Possible incentives to share:

- A rear covered deck seen as a good idea: book launches, kid's workshops, shared events

Ideas for sharing existing space:

- Community groups could share library deck use and activate the library

Other main issues:

- In Devonport, council collaborated with the state gov. to activate their library, and this incentivised the state to fund and resource their local offer. Central Coast Council could follow suit in Penguin.

Our analysis:

- There are limited opportunities to relocate the library to maximize the retail waterfront location, however the covered deck area concept is like by the librarians and could be designed to allow semi enclosed events, and even rented out for weddings, openings etc. the rear deck idea could also activate the library functions, with some push by the council to allow the state to increase the usage rate or improve access.



The Scout Hall



The meeting room at the Senior Citizens Hall

Public Buildings And Community Facilities

After discussions with the stakeholder groups as described above, it is recommended that:

Penguin Railway Station Building:

Council should progress with a design and costing of a covered deck area on the railway station building; Council should obtain expressions of interest from the market for hospitality operators to lease a revamped railway station building (with conditions, including night time operation); This will more than likely impact on the operations of the Historical Society. They should be offered space at the Senior Citizens building. The Senior Citizens are keen to share costs and there is space available. Council can assist to ensure that the cost sharing is appropriate;

Penguin Memorial Library:

It is recommended that Council progress with the design and costing of a covered deck to rear of library. Council to lobby the State (Libraries) to fund the library being open for extended hours, maybe utilizing Open Access, accommodate events and even have a limited café function, serviced by an existing Penguin business;

Penguin Visitor Information Centre:

Council should run a limited EOI process, or a design competition for local Tasmanian architects to develop a new two-story building to replace the current visitor centre to accommodate the current visitor centre role, including the Council admin services. Opportunities for permanent or short-term accommodation on the first floor would be required and for small incorporated local art and craft retail areas built into the ground floor;

Penguin Scout Hall:

The improvement to the Scout Hall and surrounds is not a simple proposition due to tenure and lease arrangements. Council could consider buying the building, which will give it's

use more income generating flexibility and perhaps fund some of the extensions and additional storage that the Scouts need. This may include upgrading the boat ramp(s). This strategy is a long term proposition in the masterplan.

Penguin Town Centre Masterplan

Based on the feedback from the community meetings and the second Set-Up Shop, it is proposed that the following amendments and clarifications be made and incorporated in the final masterplan report:

Good ideas:

- The good ideas listed earlier in this chapter will be incorporated into the final masterplan report.

Parking and traffic refinements to add to the report:

- The report shall be slightly modified to further explain the overall parking supply issue;
- The parking time limits should be rationalised, and their rationalisation will be clearly explained;
- An early morning loading zone might be a palatable option for supermarket which will be explained;
- Tour coaches are not a great economic generator, however there should be some small provision made for them near the railway station. This will be included in the final report;
- The provision for RV's will be explained, some near the Railway Station, and some off Johnsons Beach Road;
- Alternative design for the intersection at the eastern end of Crescent Street be considered during design stage, as shown below. This design had merit, and should be explored as part of the detailed design phase. This layout has not been presented by our group to the community.



Detailed Design

There are many small issues and ideas that have been raised by the community and recorded. Most of these issues can be taken care of during the next stages of works, the detailed design and planning policy phase. For example, planning policy related to improved Penguin village housing definitions, and improved direction on future streetscape and park improvements.



**SCHEDULE OF CORRESPONDENCE RECEIVED ADDRESSED TO
MAYOR AND COUNCILLORS**

Period: 19 October to 15 November 2021

- . A letter of response to the Council's correspondence dated 7 October 2021 regarding a letter of complaint.



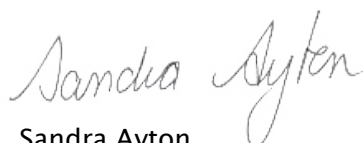
Sandra Ayton
GENERAL MANAGER

**SCHEDULE OF DOCUMENTS FOR AFFIXING OF
THE COMMON SEAL**

Period: 17 March to 20 April 2020

Documents for affixing of the common seal under delegation

- . Final Plan of Survey and Schedule of Easements
CT178471/1 Explorer Drive and CT169264/1 Stubbs Road, Turners Beach
Application No. DA2020123



Sandra Ayton
GENERAL MANAGER

SCHEDULE OF CONTRACTS AND AGREEMENTS

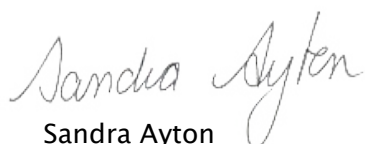
(Other than those approved under the Common Seal)

Period: 19 October to 15 November 2021

Agreements

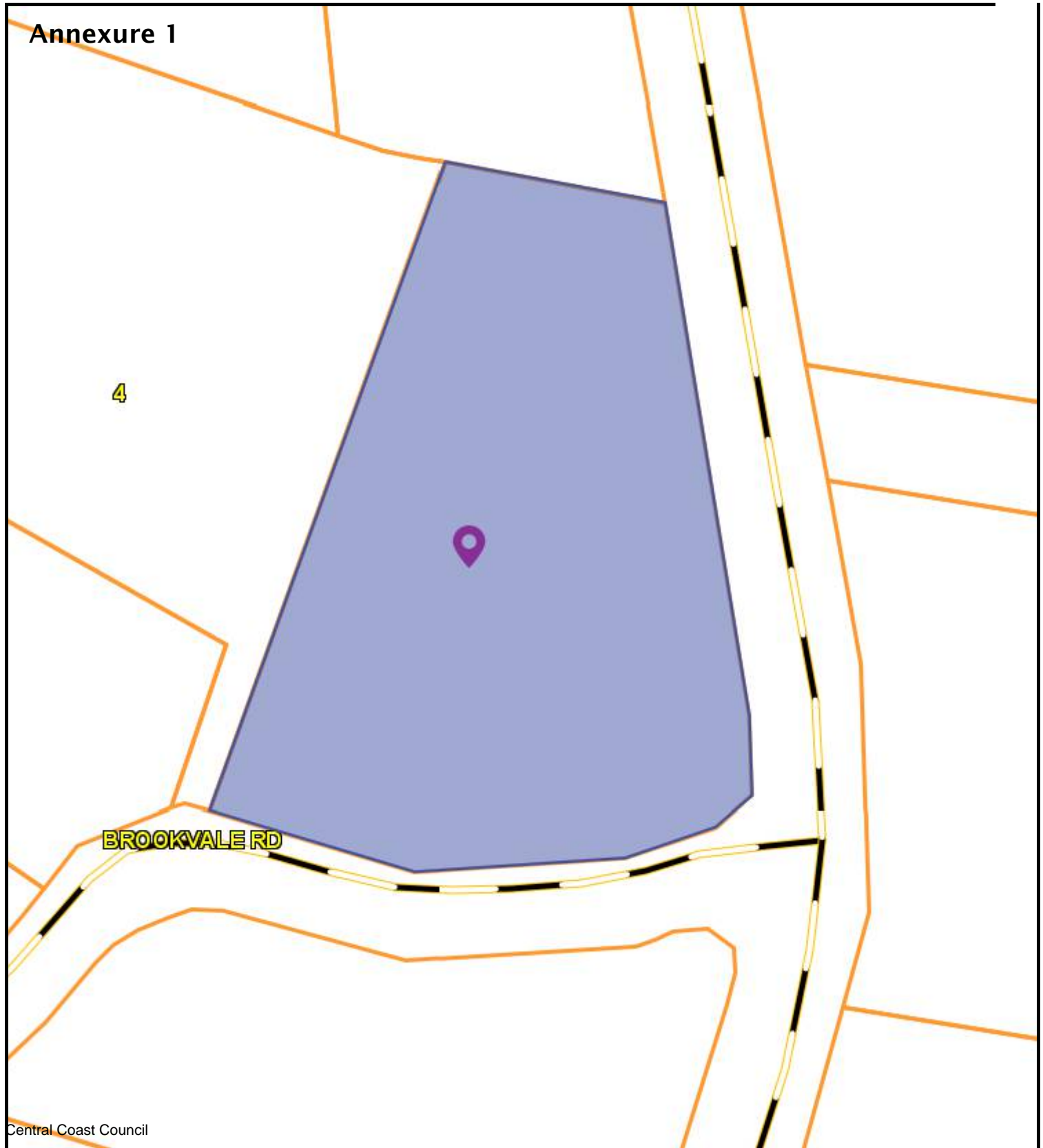
- . Occupancy Lease Agreement
North West Woodcraft Guild Incorporated and Central Coast Council
Workshop, Machine Room and Storage area at Hive
(previously indicated as Rooms G.15, G.16, G.17 and G.18
– architectural drawings)
Located at 50 Main Street, Ulverstone
Date of commencement: 18 October 2021
Term of agreement: Three years
- . Occupancy Lease Agreement
Leven Regional Arts Incorporated and Central Coast Council
Studio Two at Hive
(previously indicated as Room G.14 – architectural drawings)
Located at 50 Main Street, Ulverstone
Date of commencement: 18 October 2021
Term of agreement: Three years
- . Grazing lease agreement
Danny Bellchambers and Central Coast Council
Identified land next to 287 Ironcliffe Road, Penguin (Attachment A of lease)
Date of commencement: 1 December 2020
Term of agreement: Two years (Expiry – 30 November 2022)
- . Lease agreement
Fielding Investments (TAS) and Central Coast Council
Café at Hive
(area indicated on Schedule on Drawing A8019–C02)
Located at 50 Main Street, Ulverstone
Date of commencement: 3 November 2021
Term of agreement: Three years

- . Lease agreement
Basketball Tasmania and Central Coast Council
Meeting Room 1 and land area identified within mapped areas
of Penguin Sports Centre
Date of commencement: 1 July 2021
Term of agreement: Two years

A handwritten signature in cursive script, reading "Sandra Ayton".

Sandra Ayton
GENERAL MANAGER

Annexure 1



Central Coast Council



CENTRAL COAST COUNCIL
19 King Edward St
Ulverstone
TAS 7315
Telephone: 03 6429 8900
Facsimile: 03 6425 1224
admin@centralcoast.tas.gov.au



22-Sep-2021

**CT128570/7 BROOKVALE
ROAD,
ULVERSTONE
DA2021004**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document

All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.

© The List 2021.

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Scale =
1:888.300

Annexure 2

CENTRAL COAST COUNCIL

PO Box 220

19 King Edward Street

ULVERSTONE TASMANIA 7315

Ph: (03) 6429 8900

Email: planning@centralcoast.tas.gov.au

www: centralcoast.tas.gov.au



Land Use Planning and Approvals Act 1993

Central Coast Interim Planning Scheme 2013

PLANNING PERMIT APPLICATION

DEVELOPMENT & REGULATORY SERVICES

Received: 25 FEB 2021

Application No:

Office Use Only

Application No

Date Received

Zone

Fee \$

Permitted ☐

Discretionary ☐

NPR ☐

Doc. ID

Use or Development Site:

Site Address

Brookvale Road, Ulverstone TAS 7315

Certificate of
Title Reference

128570/7

Land Area

7,493

Heritage Listed Property

NO



Applicant/s

First Name

Olivia Marney of Wilson Homes

Middle
Name

Surname or
Company name

Mobile

Postal Address:

250 Murray Street, Hobart TAS

Phone No:

036213 9936

Email address:

projects@wilsonhomes.com.au



Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner (Note – if more than one owner, all names must be indicated)

First
Name

Neil and Amy

Middle
Name

Ferguson

Surname

Phone No

036213 9936

Postal Address:

C/O Wilson Homes

PERMIT APPLICATION INFORMATION	(If insufficient space for proposed use and development, please attach separate documents)
<i>"USE" is the purpose or manner for which land is utilised.</i>	
Proposed Use	<div style="border: 1px solid black; padding: 2px;">New Single Residential Dwelling</div>
Use Class <small>Office use only</small>	<div style="border: 1px solid black; height: 20px; width: 100%;"></div>
<i>"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.</i>	
Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).	
<div style="border-bottom: 1px solid black; height: 20px; width: 100%;"></div> <div style="border-bottom: 1px solid black; height: 20px; width: 100%;"></div> <div style="border-bottom: 1px solid black; height: 20px; width: 100%;"></div>	

Value of the development — (to include all works on site such as outbuildings, sealed driveways and fencing)
\$ 424,005.00 Estimate/ Actual
Total floor area of the development 269.34m ²

Notification of Landowner
If land is NOT in the applicant's ownership
I, Olivia Marney of Wilson Homes , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.
<div style="display: flex; justify-content: space-between;"> Signature of Applicant <i>Olivia Marney</i> Date 25/02/2021 </div>
If the application involves land within a Strata Corporation
I, , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.
<div style="display: flex; justify-content: space-between;"> Signature of Applicant Date </div>

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister

responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ we Olivia Marney of Wilson Homes

declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s

Olivia Marney

Date 29/12/2020

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 128570	FOLIO 7
EDITION 10	DATE OF ISSUE 18-Sep-2020

SEARCH DATE : 02-Oct-2020

SEARCH TIME : 11.13 AM

DESCRIPTION OF LAND

Parish of ABBOTSHAM, Land District of DEVON

Lot 7 on Sealed Plan 128570

Derivation : Part of Lot 400, 500 Acres Gtd. to Andrew Risby

Prior CT 26037/1

SCHEDULE 1

M838633 TRANSFER to NEIL GARRY FERGUSON and AMY ELIZABETH
FLORENCE FERGUSON as tenants in common in equal
shares Registered 18-Sep-2020 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 128570 COVENANTS in Schedule of Easements

SP 128570 FENCING COVENANT in Schedule of Easements

SP 128570 COUNCIL NOTIFICATION under Section 83(5) of the
Local Government (Building and Miscellaneous
Provisions) Act 1993.

E235203 MORTGAGE to B&E Ltd Registered 18-Sep-2020 at 12.02
PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CENTRAL COAST COUNCIL

DEVELOPMENT & REGULATORY SERVICES

Received: 04 JAN 2021

Application No: 022021004

Doc. Id: 378678

<p align="center">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p align="center">SP REGISTERED NUMBER 128570</p>
--	---

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

CENTRAL COAST COUNCIL

DEVELOPMENT & REGULATORY SERVICES

Received: **04 JAN 2621**

Schedule of Easement

Application No: **DA2021004**

Lot 8 and Lot 9 are **TOGETHER WITH** a right of drainage over the drainage easements shown on the plan and marked "Drainage Easement 1.50 Wide" passing through the **Balance**

The owner of Lot 9 on the plan covenants with Brookvale Pty. Ltd. and the owner for the time being of every other lot on the plan that the owner will not erect any residential building on any part of Lot 9 lying to the west of the line marked DE on the plan

The owner of Lot 10 on the plan covenants with Brookvale Pty. Ltd. and the owner for that time being of every other lot on the plan that the owner will not erect any residential building on any part of Lot 10 lying to the North or West of the line marked ABC on the plan

The owner of Lot 10 on the plan covenants with Brookvale Pty. Ltd. and the owner for the time being of every other lot on the plan that the owner will not erect or use any access point, cross-over or gate for the purposes of vehicular access on nor bring any vehicle across the boundary of Lot 10 with Castra Road except within 52.24 metres from the North-Eastern corner of Lot 10

The owner of Lot 7 on the plan covenants with Brookvale Pty. Ltd. and the owner for the time being of every other lot on the plan that the owner will not erect or use any access point, cross-over or gate for the purposes of vehicular access on nor bring any vehicle across the boundary of Lot 7 with Castra Road

* Covenants continued on next page

The owner of each lot on the plan covenants with Brookvale Pty. Ltd. ("the Vendor") that the Vendor shall not be required to fence.

In this Schedule of Easements "Balance" means the balance of the land in Certificate of Title Volume 26037 Folio 1 except lots 7, 8, 9 and 10 on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: BROOKVALE PTY LTD</p> <p>FOLIO REF: C.T. 26037/1</p> <p>SOLICITOR & REFERENCE: M.J. Bessell (MJB)</p>	<p>PLAN SEALED BY: Central Coast Council</p> <p>DATE: 22 September 1997</p> <p>SUB96710... REF NO. <i>[Signature]</i> Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

'Early Issue'

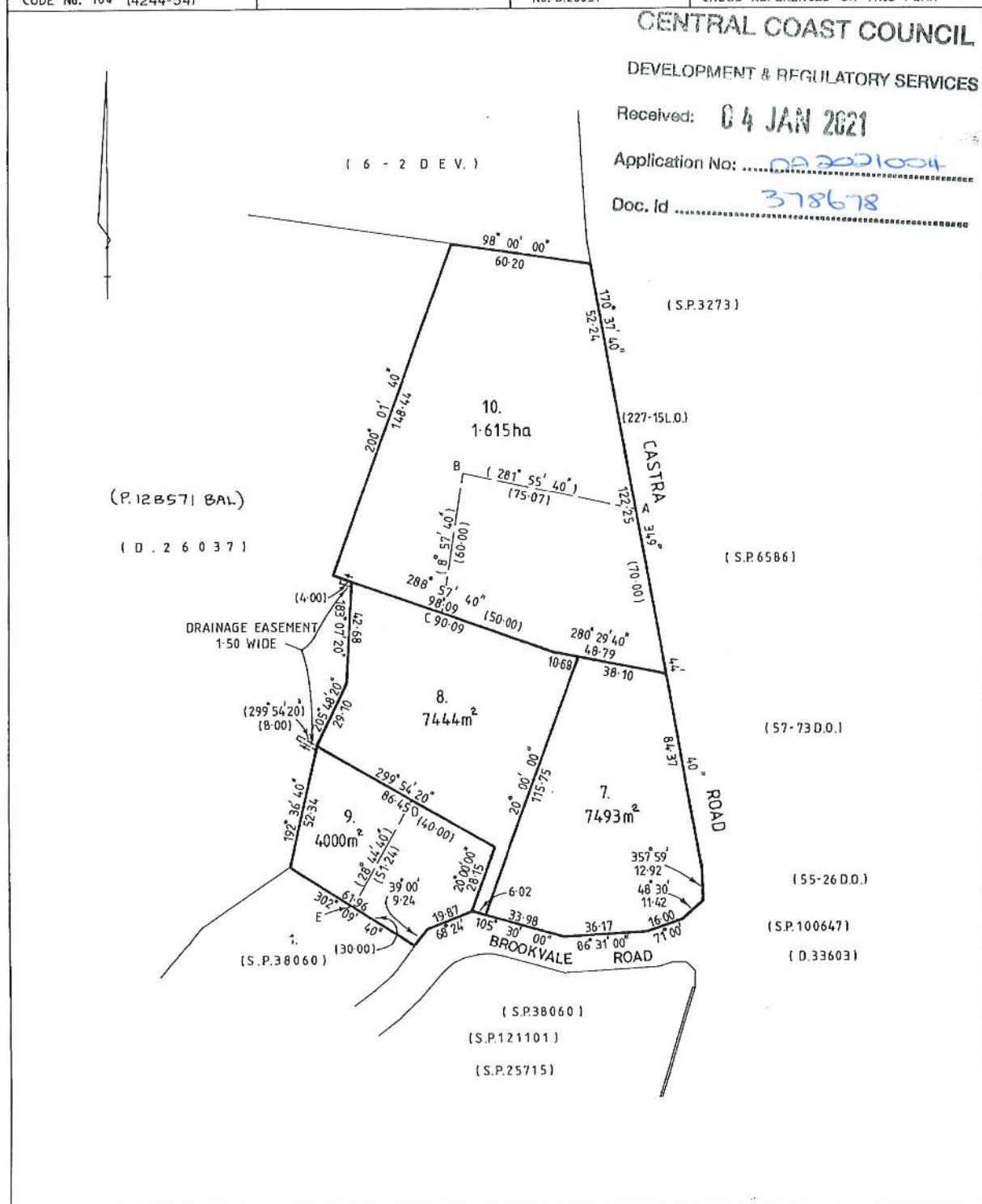
<p>OWNER BROOKVALE PTY LTD.</p> <p>FOLIO REFERENCE C.T.VOL.26037FOL1.</p> <p>GRANTEE PART OF LOT 400, 500 Acres GRANTED TO ANDREW RISBY.</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR K.R.MICHELL OF K.R.MICHELL & ASSOC. P/L 64 BEST ST., DEVONPORT, 7310.</p> <p>LOCATION LAND DISTRICT OF DEVON PARISH OF ABBOTSHAM</p> <p>SCALE 1:1500 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP 128570</p> <p>APPROVED 16 OCT 1997 EFFECTIVE FROM</p> <p><i>Handwritten Signature</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No. 104 (4244-54)	LAST UPI No. 6300769	LAST PLAN No. D.26037	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

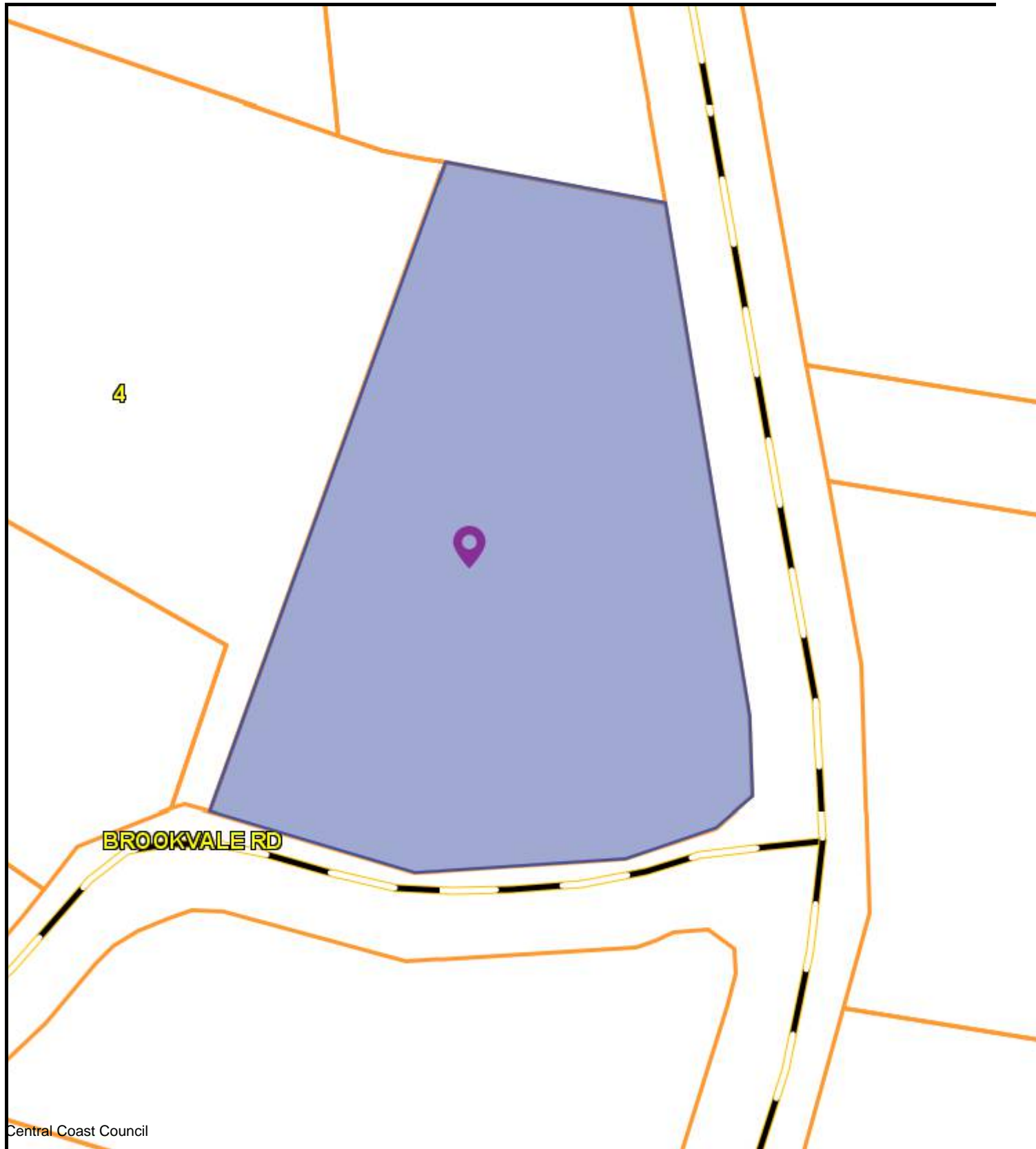
CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: **04 JAN 2021**

Application No: PA2021004

Doc. Id: 378678





Central Coast Council



CENTRAL COAST COUNCIL
19 King Edward St
Ulverstone
TAS 7315
Telephone: 03 6429 8900
Facsimile: 03 6425 1224
admin@centralcoast.tas.gov.au



22-Sep-2021

**CT128570/7 BROOKVALE
ROAD,
ULVERSTONE
DA2021004**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document

All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.

© The List 2021.

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20 m

Scale =
1:888.300

SHEET INDEX

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SITE PLAN 1:500	3
GROUND FLOOR PLAN	4
ELEVATIONS / SECTION	5
ELEVATIONS	6
WINDOW & DOOR SCHEDULES	7
CALCULATIONS & SCHEDULES	8
DRAINAGE PLAN 1:200	9
ROOF DRAINAGE PLAN	10
ELECTRICAL PLAN	11
FLOOR COVERINGS	12
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BUTLER'S PANTRY DETAILS	14
BATHROOM DETAILS	15
ENSUITE DETAILS	16
LAUNDRY DETAILS	17

HIGHLY REACTIVE SOIL SITE. ALTERNATE DRAINAGE PLAN TO BE USED

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S):	2595mm
(CEILING HEIGHT 45mm LOWER THAN TOP OF WALL)	
ROOF PITCH (U.N.O.):	23.0°
ELECTRICITY SUPPLY:	SINGLE PHASE
GAS SUPPLY:	NONE
ROOF MATERIAL:	SHEET METAL
ROOF COLOUR:	N/A
ROOF INSULATION:	R4.1 BATTS
	MIN. 60mm FOIL FACED BLANKET
WALL MATERIAL:	BRICK VENEER
WALL INSULATION:	R2.0 BATTS
	WALL WRAP TO ENTIRE HOUSE
FLOOR INSULATION:	BIAX POD (215MM)

SITE & ENGINEERING INFORMATION

WIND CLASSIFICATION:	N3
CLIMATE ZONE:	ZONE 7 - COOL TEMPERATE
WIND REGION:	A
TERRAIN CATEGORY:	TC2.5
SHIELDING FACTOR:	PS - PARTIAL SHIELDING
TOPOGRAPHIC CLASSIFICATION:	T3
DESIGN WIND SPEED:	50 m/sec

SITE CLASSIFICATION:	H1
SLAB CLASSIFICATION:	TBC

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

THIS DWELLING IS BEING CONSTRUCTED IN A BAL 12.5 AREA
(RESTRICTIONS FOR CONSTRUCTION METHODS/MATERIALS MAY APPLY REFER NOTES)

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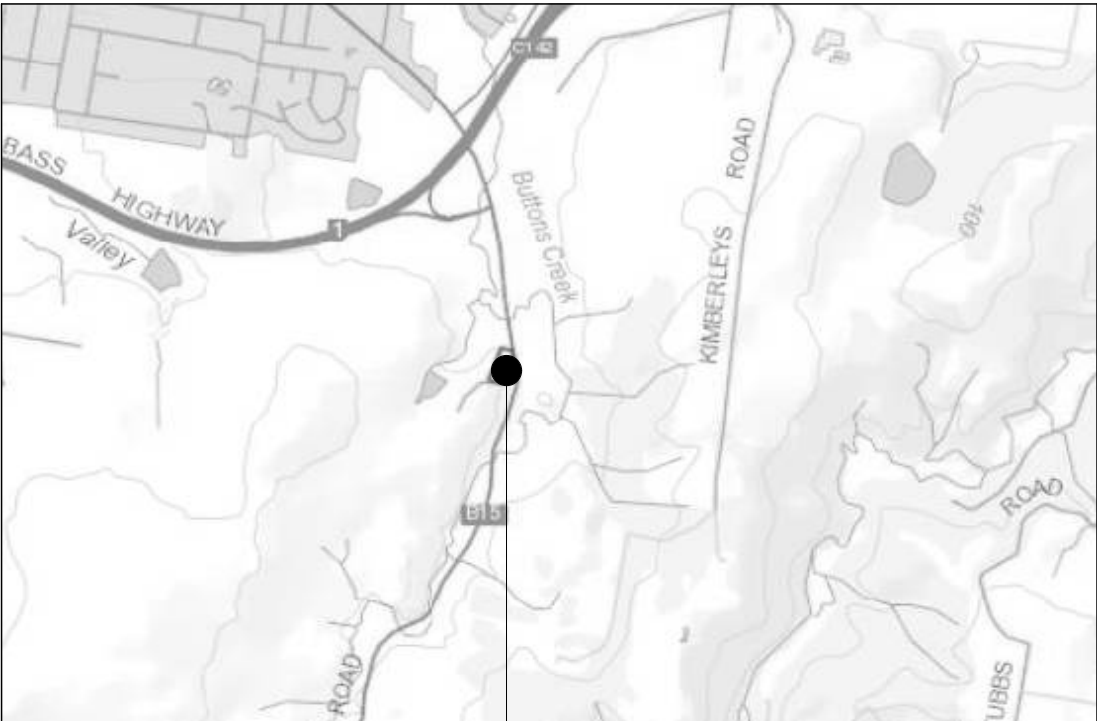
BAL-12.5 BUSHFIRE REQUIREMENTS

THE BUILDER USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN ACCORDANCE WITH AS3959-2018 (CLAUSE 3.8).

- PROVIDE FOIL FACED BLANKET INSULATION TO COLORBOND SHEET ROOFING
- PROVIDE SARKING TO TILED ROOF WITH PRESTITE TO VALLEYS
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD/FRENCH/SLIDING/STACKER DOORS)
- PROVIDE BAL-12.5 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING/STACKER DOORS
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS TO FIXED PANELS
- PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS
- PROVIDE SPARK ARRESTORS TO EXTERNAL BRICKWORK
- PROVIDE SEAL TO GARAGE DOOR
- EXTERNAL TIMBER POSTS TO BE FIRE RETARDANT
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE

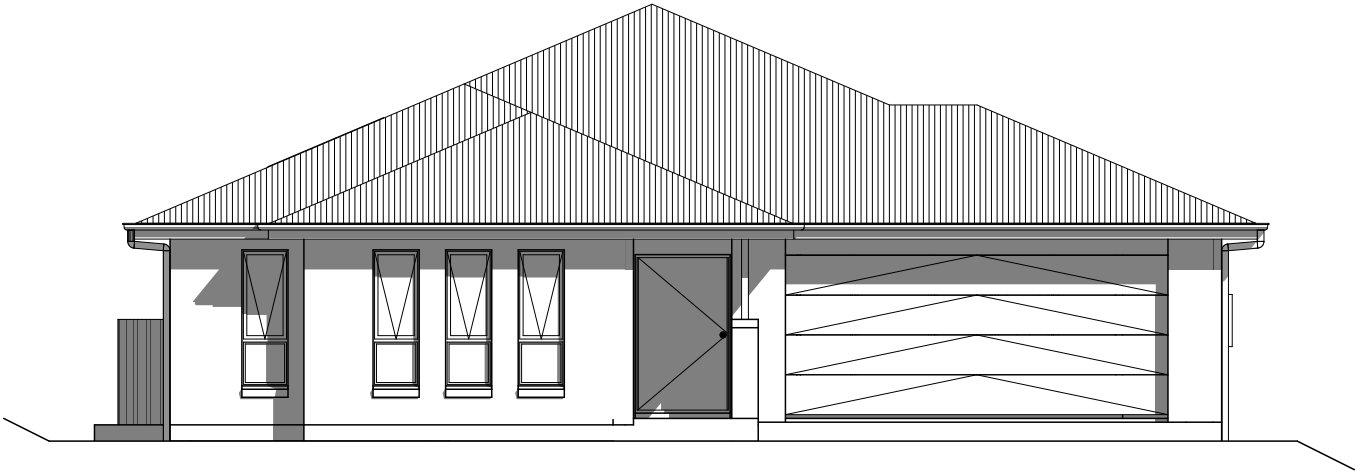
(IF REQUIRED)

- PROVIDE MERBAU TIMBER POSTS AND EXPOSED BEAMS TO PATIO
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH AND DIAMOND GRILLE TO EXTERNAL HUNG DOORS



SITE LOCATION

LOCATION MAP



THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

PRELIM PLAN SET

6	APPROX. EXISTING SURFACE LEVEL SHOWN	5,6	2021.01.29	MSP	-
5	RETAINING ADJUSTED	2,3,9	2020.12.29	MSP	-
4	PRELIM PLAN SET - BED 4 & LDYR SWITCHED, D04 DELETED, DOOR TO HT, EXT GARAGE DOOR, ADD LINEN TO STUDY, REF MOVED, TV RECESS TO HT & BED 1, SITE PLAN UPDATED WITH LANDSLIDE RECOMMENDATIONS	ALL	2020.12.23	DDI	-
3	PRELIM PLAN SET - INITIAL ISSUE	ALL	2020.12.19	BGU	MSP
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	COVER SHEET
SHEET No.:	1 / 17
HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SCALES:	

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712806



	DRAWING	DRAWN
2	CT SITING	DDI 2020.12.11
3	PRELIM PLANS	BGU 2020.12.19
4	PRELIM PLANS - SITE & FLOORPLAN CHANGES	DDI 2020.12.23
5	PRELIM PLANS - RETAINING ADJUSTED	MSP 2020.12.29
6	APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

ZONE: 13.0 RURAL LIVING
2.1km DISTANCE FROM BREAKING SURF (ULVERSTONE)

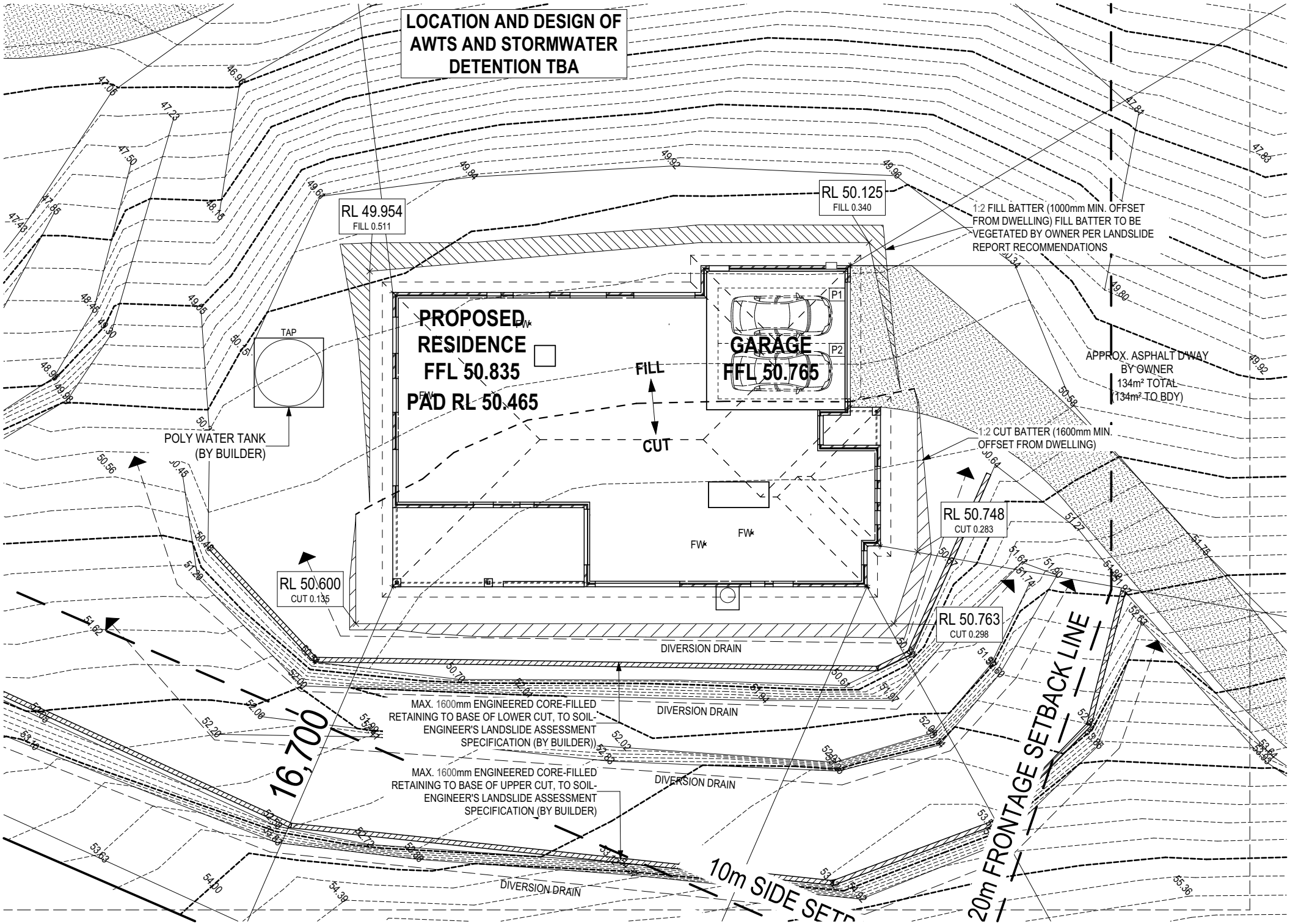
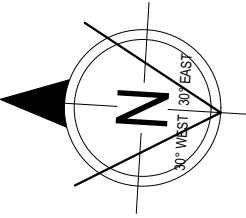
REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N3
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	32.99m³
FILL VOLUME	32.08m³
DIFFERENCE	0.91m³

EVEN CUT & FILL	
LOT SIZE:	7,493m²
HOUSE:	269.34m²
SITE COVERAGE:	3.6%

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
ACCEPTED ON THIS PLAN AFTER SIGNING
SIGNATURE:

DATE:

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DRAWING	DRAWN
2 CT SITING	DDI 2020.12.11
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6 APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SITE PLAN 1:200

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SCALES:	1:200

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ZONE: 13.0 RURAL LIVING
2.1km DISTANCE FROM BREAKING SURF (ULVERSTONE)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

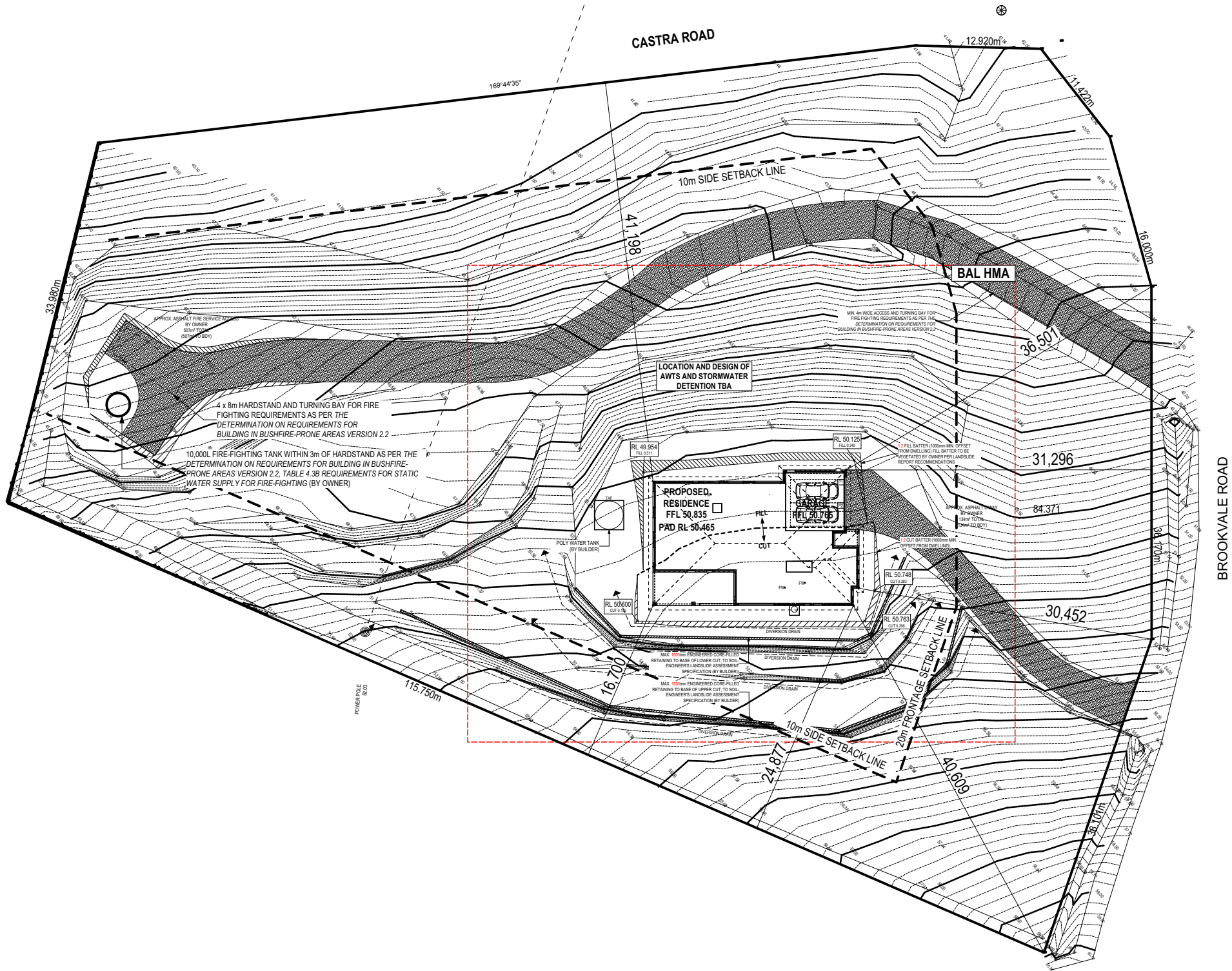
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N3
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

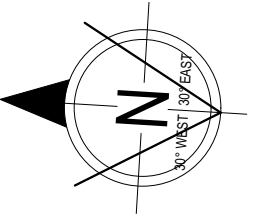
APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	32.99m³
FILL VOLUME	32.08m³
DIFFERENCE	0.91m³

EVEN CUT & FILL

LOT SIZE: 7,493m²
HOUSE: 269.34m²
SITE COVERAGE: 3.6%



BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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	DRAWING	DRAWN
2	CT SITING	DDI 2020.12.11
3	PRELIM PLANS	BGU 2020.12.19
4	PRELIM PLANS - SITE & FLOORPLAN CHANGES	DDI 2020.12.23
5	PRELIM PLANS - RETAINING ADJUSTED	MSP 2020.12.29
6	APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

CLIENT: NEIL FERGUSON
ADDRESS: BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT: 7 / - /
COUNCIL: CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN: BELVEDERE
FACADE DESIGN: CLASSIC
SHEET TITLE: SITE PLAN 1:500

HOUSE CODE: H-WATBVR10SB
FACADE CODE: F-WATBVR10CLASC
SHEET No.: 3 / 17
SCALES: 1:500

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712806

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' FOR BRICK COURSING & WINDOW FLASHING DETAILS

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



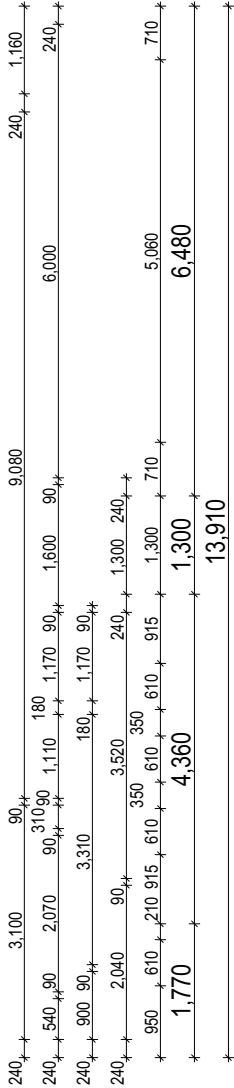
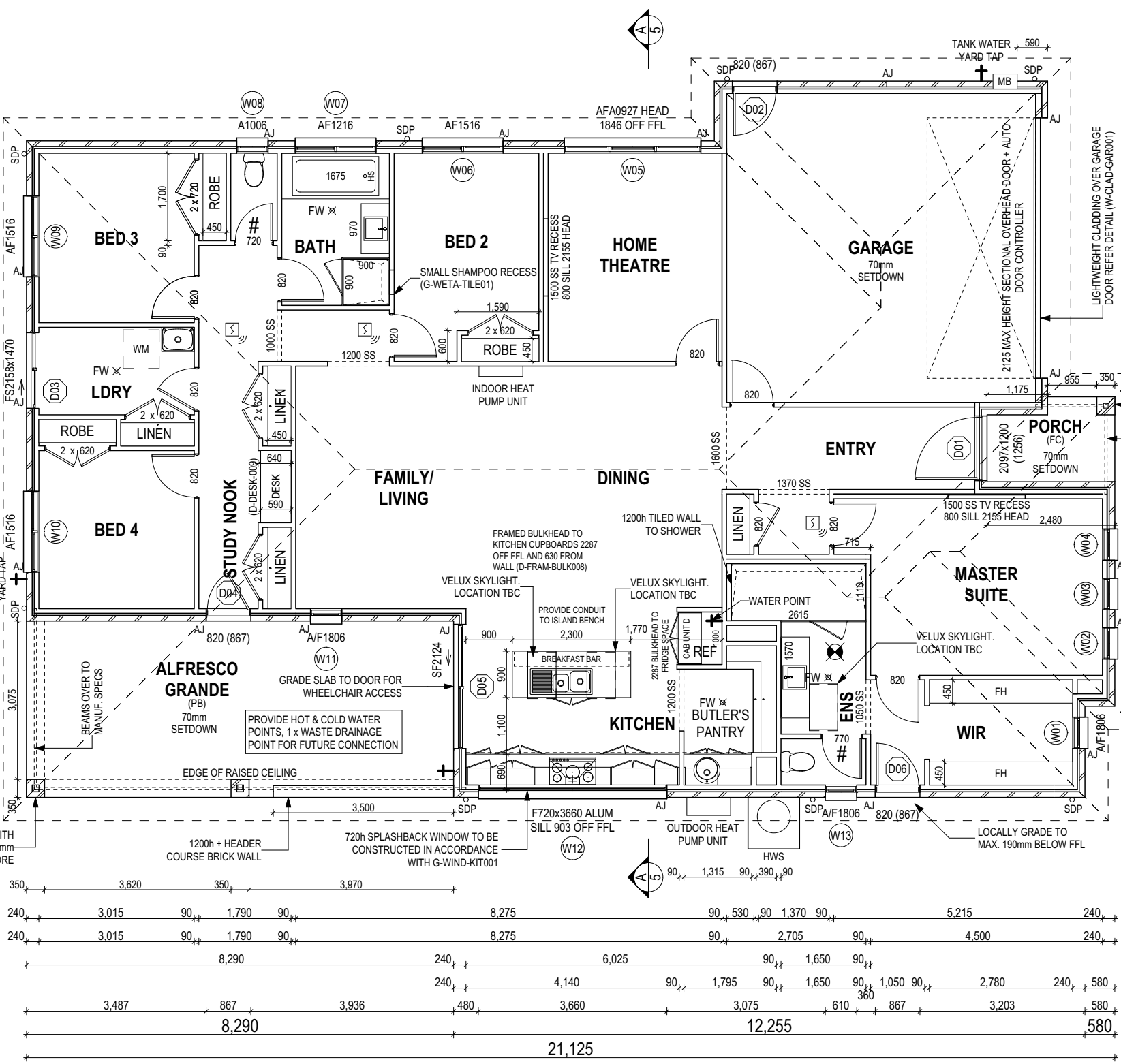
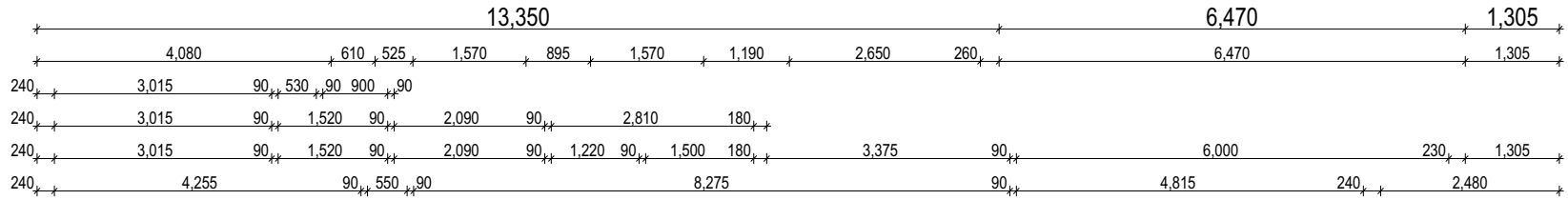
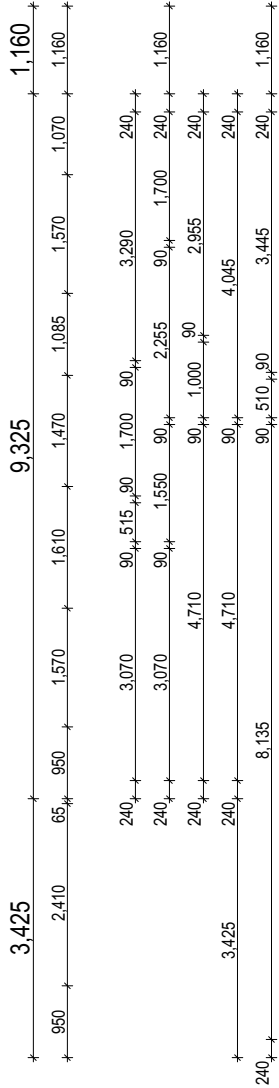
FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- BAG & PAINT / RENDER
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- MECHANICAL VENTILATION SWITCHED TO LIGHT
- LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- # LIFT OFF HINGE
- WATER POINT
- FRIDGE WATER POINT
- GAS BAYONET

TOTAL FLOOR AREAS

ALFRESCO	28.39
GARAGE	39.44
LIVING	197.83
PORCH	3.68
	269.34 m²

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



ALL DIMENSIONS ARE FRAME DIMENSIONS

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THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



DRAWING	DRAWN
2 CT SITING	DDI 2020.12.11
3 PRELIM PLANS	BGU 2020.12.19
4 PRELIM PLANS - SITE & FLOORPLAN CHANGES	DDI 2020.12.23
5 PRELIM PLANS - RETAINING ADJUSTED	MSP 2020.12.29
6 APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	GROUND FLOOR PLAN

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SHEET No.:	4 / 17
SCALES:	1:100

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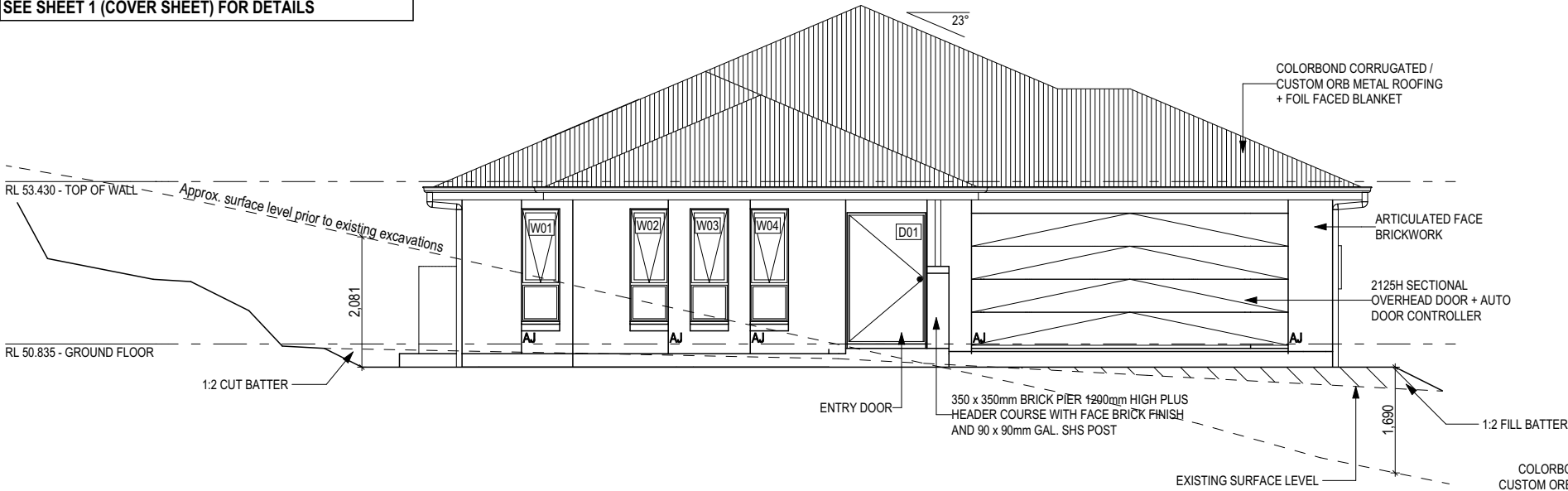
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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

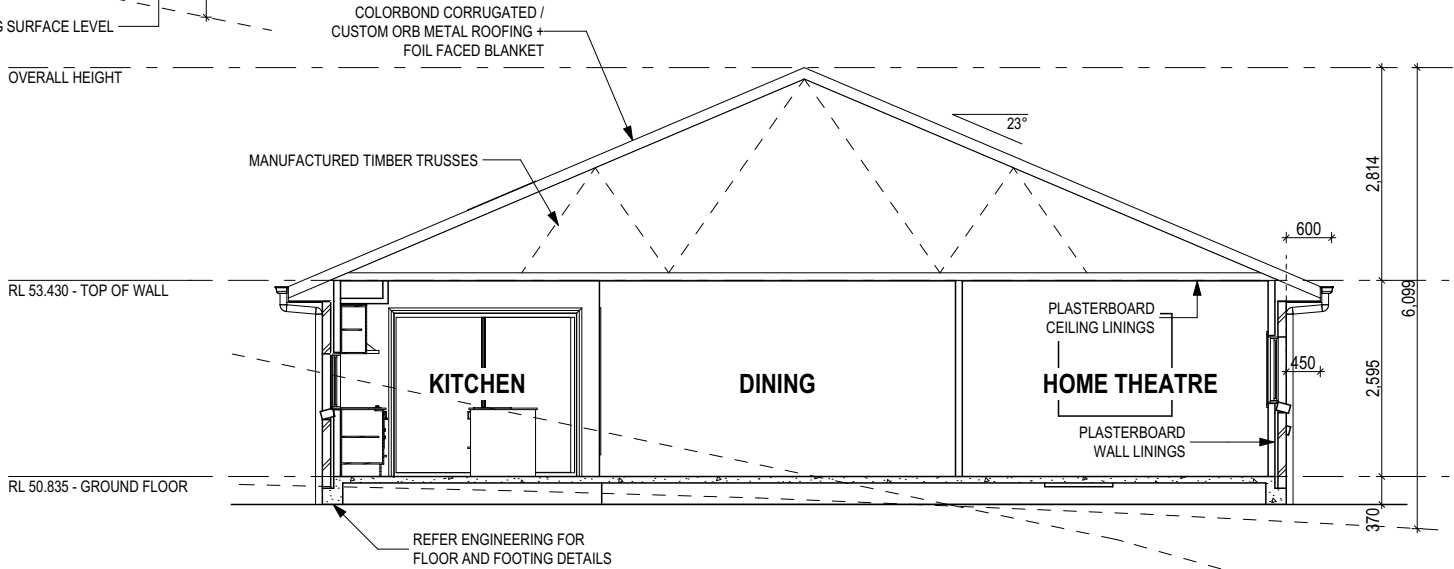
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

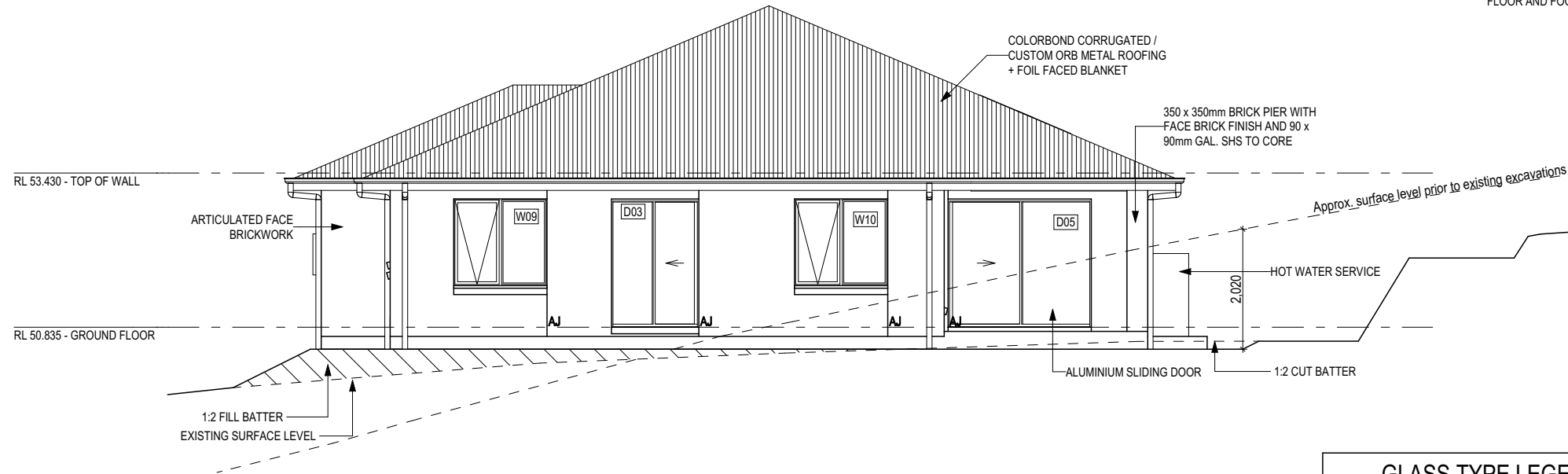
SH = SNAP HEADER SILL



SOUTH ELEVATION
Scale: 1:100



SECTION A-A
Scale: 1:100



NORTH ELEVATION
Scale: 1:100

GLASS TYPE LEGEND				
CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

WINDOW TYPE LEGEND				
AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

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2 CT SITING	DDI 2020.12.11
3 PRELIM PLANS	BGU 2020.12.19
4 PRELIM PLANS - SITE & FLOORPLAN CHANGES	DDI 2020.12.23
5 PRELIM PLANS - RETAINING ADJUSTED	MSP 2020.12.29
6 APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

CLIENT: NEIL FERGUSON	
ADDRESS: BROOKEVALE ROAD , WEST ULVERSTONE TAS	
LOT / SECTION / CT: 7 / - /	COUNCIL: CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN: BELVEDERE	
FACADE DESIGN: CLASSIC	
SHEET TITLE: ELEVATIONS / SECTION	SHEET No.: 5 / 17

HOUSE CODE: H-WATBVR10SB
FACADE CODE: F-WATBVR10CLASC
SCALES: 1:100

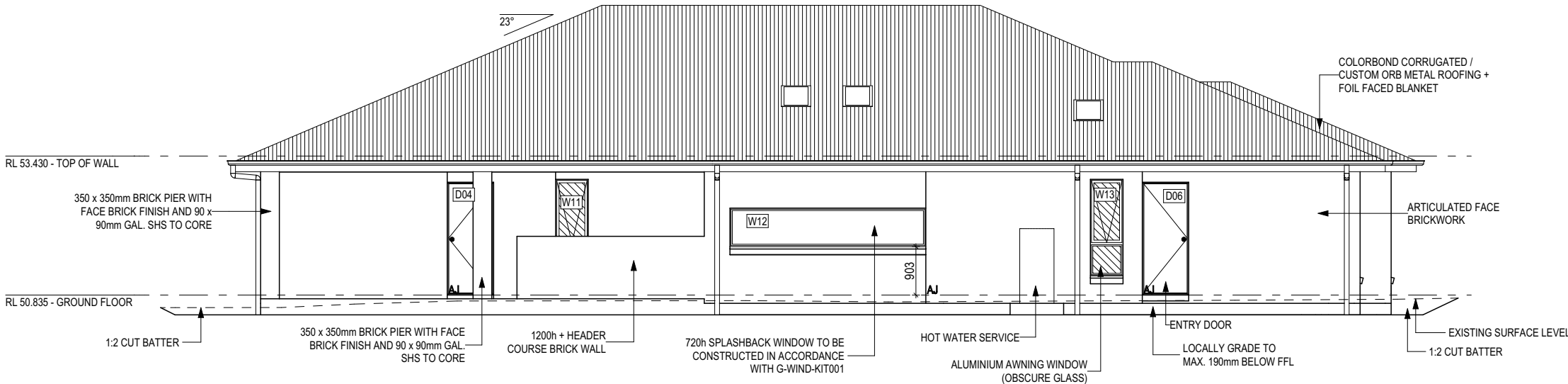
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BAL-12.5 BUSHFIRE REQUIREMENTS
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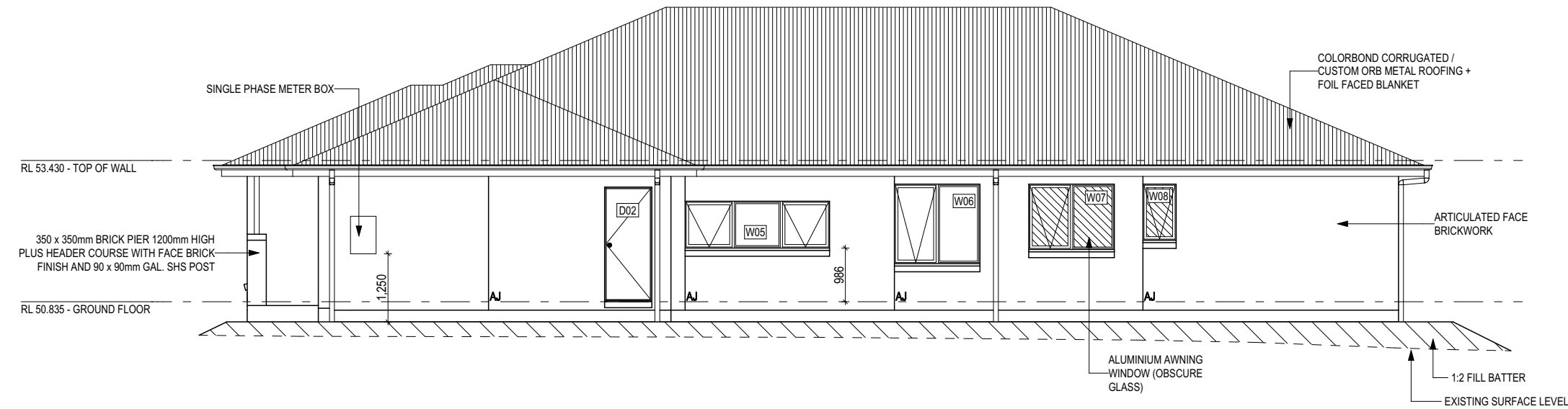
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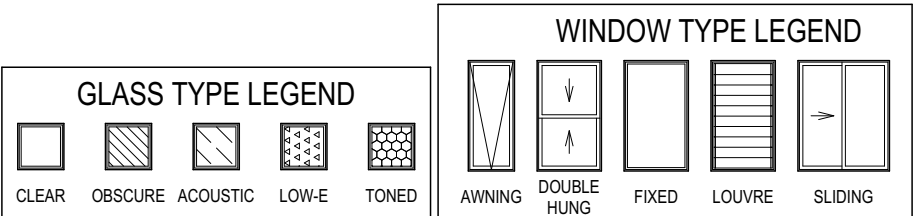
SH = SNAP HEADER SILL



WEST ELEVATION
Scale: 1:100



EAST ELEVATION
Scale: 1:100



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LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELEVATIONS

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SHEET No.:	6 / 17
SCALES:	1:100

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WINDOW SCHEDULE

0, 3 ASSUME LOOKING FROM OUTSIDE1, 2 ASSUME LOOKING FROM INSIDE

ID	CODE ⁰	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION¹
W01	A/F1806	---	1,800	610	4,820	1.10	ALUMINIUM	ANGLED	S	0.80	CLEAR, DOUBLE GLAZED	BP 600
W02	A/F1806	---	1,800	610	4,820	1.10	ALUMINIUM	ANGLED	S	0.80	CLEAR, DOUBLE GLAZED	BP 600
W03	A/F1806	---	1,800	610	4,820	1.10	ALUMINIUM	ANGLED	S	0.80	CLEAR, DOUBLE GLAZED	BP 600
W04	A/F1806	---	1,800	610	4,820	1.10	ALUMINIUM	ANGLED	S	0.80	CLEAR, DOUBLE GLAZED	BP 600
W05	AF A0927	---	860	2,650	7,020	2.28	ALUMINIUM	ANGLED	E	1.75	CLEAR, DOUBLE GLAZED	MP 883-883
W06	AF1516	---	1,460	1,570	6,060	2.29	ALUMINIUM	ANGLED	E	1.87	CLEAR, DOUBLE GLAZED	MP 785
W07	AF1216	---	1,200	1,570	5,540	1.88	ALUMINIUM	ANGLED	E	1.51	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 785
W08	A1006	---	1,030	610	3,280	0.63	ALUMINIUM	ANGLED	E	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W09	AF1516	---	1,460	1,570	6,060	2.29	ALUMINIUM	ANGLED	N	1.87	CLEAR, DOUBLE GLAZED	MP 785
W10	AF1516	---	1,460	1,570	6,060	2.29	ALUMINIUM	ANGLED	N	1.87	CLEAR, DOUBLE GLAZED	MP 785
W11	A/F1806	---	1,800	610	4,820	1.10	ALUMINIUM	ANGLED	W	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
W12	F720x3660	---	720	3,660	8,760	2.64	ALUMINIUM	ANGLED	W	2.33	CLEAR, TOUGHENED	
W13	A/F1806	---	1,800	610	4,820	1.10	ALUMINIUM	ANGLED	W	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
						20.90						

EXTERIOR DOOR SCHEDULE

0, 1 ASSUME LOOKING FROM OUTSIDE

ID	CODE ⁰	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME TYPE	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION¹
D01	2097x1200	---	2,097	1,256	2.63	ALUMINIUM	SNAP HEADER	S	N/A	SWINGING	
D02	820	---	2,106	867	1.83	TIMBER	SNAP HEADER	E	DOOR(S): N/A - SIDELIGHT(S): N/A	SWINGING	
D03	FS2158x1470	---	2,158	1,470	3.17	ALUMINIUM	SNAP HEADER	N	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D04	820	---	2,106	867	1.83	TIMBER	SNAP HEADER	W	DOOR(S): N/A - SIDELIGHT(S): N/A	SWINGING	
D05	SF2124	---	2,158	2,410	5.20	ALUMINIUM	SNAP HEADER	N	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D06	820	---	2,106	867	1.83	TIMBER	SNAP HEADER	W	DOOR(S): N/A - SIDELIGHT(S): N/A	SWINGING	
					16.49 m²						

INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
1	1050 SS	SQUARE SET OPENING	2,155	1,050	N/A	
2	1200 SS	SQUARE SET OPENING	2,155	1,200	N/A	
1	1370 SS	SQUARE SET OPENING	2,155	1,370	N/A	
1	1600 SS	SQUARE SET OPENING	2,155	1,600	N/A	
2	2 x 620	SWINGING	2,040	1,240	N/A	
3	2 x 620	SWINGING	2,040	1,240	N/A	
2	2 x 720	SWINGING	2,040	1,440	N/A	
1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
1	770	SWINGING	2,040	770	N/A	LIFT-OFF HINGES
11	820	SWINGING	2,040	820	N/A	

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
2	TV RECESS	1,355	1.50	2.03

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 3.9.2.5.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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6	APPROX. EX. SURFACE LEVEL SHOWN	MSP	2021.01.29

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ADDRESS: BROOKEVALE ROAD , WEST ULVERSTONE TAS	
LOT / SECTION / CT: 7 / - /	COUNCIL: CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN: BELVEDERE		HOUSE CODE: H-WATBVR10SB
FACADE DESIGN: CLASSIC		FACADE CODE: F-WATBVR10CLASC
SHEET TITLE: WINDOW & DOOR SCHEDULES	SHEET No.: 7 / 17	SCALES:

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INSULATION SCHEDULE

AREA	
ROOF	FOIL FACED BLANKET
CEILING	R4.1 BULK INSULATION (OR EQUIVALENT) EXCLUDING GARAGE
WALLS (EXT)	BRICK VENEER R2.0 BATTS +1 LAYER SISALATION. SISALATION ONLY TO GARAGE WALL WRAP TO ENTIRE HOUSE
FLOORS	BIAX POD (215MM)
WALLS (INTERNAL)	R2.0 BULK INSULATION (OR EQUIVALENT) TO INTERNAL WALLS ADJACENT TO GARAGE
<p>CLEARANCE IS REQUIRED FOR UNCOMPRESSED INSTALLATION OF BULK INSULATION & TIMBERS SHOULD BE SIZED ACCORDINGLY</p> <p>210mm FOR R4.1 BULK INSULATION</p> <p>210mm FOR R5.0 BULK INSULATION</p> <p>260mm FOR R6.0 BULK INSULATION</p> <p>THESE DIMENSIONS ARE NOMINAL AND MAY VARY DEPENDING ON THE TYPE OF INSULATION TO BE INSTALLED</p>	

BAL-12.5 BUSHFIRE REQUIREMENTS
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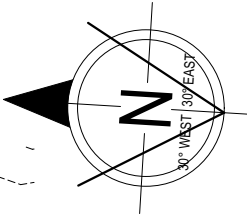
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LOT / SECTION / CT: 7 / - /	COUNCIL: CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN: BELVEDERE		HOUSE CODE: H-WATBVR10SB
FACADE DESIGN: CLASSIC		FACADE CODE: F-WATBVR10CLASC
SHEET TITLE: CALCULATIONS & SCHEDULES	SHEET No.: 8 / 17	SCALES:

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HIGHLY REACTIVE SOIL NOTES:
- NO AG DRAIN WITHIN 1.5m OF THE BUILDING AND TO COMPLY WITH THE FOLLOWING:-
- (AS2870:5.6.3(d) SUBSURFACE DRAINS TO REMOVE GROUND WATER SHALL NOT BE USED WITHIN 1.5m OF THE BUILDING UNLESS DESIGNED IN ACCORDANCE WITH ENGINEERING PRINCIPLES.
- AS2870:5.6.4 (e) COLD WATER PIPES AND HEATED OR HOT WATER PIPES SHALL NOT BE INSTALLED UNDER A SLAB UNLESS THE PIPES ARE INSTALLED WITHIN A CONDUIT SO THAT IF THE PIPE LEAKS WATER IT WILL BE NOTICED ABOVE THE SLAB OR OUTSIDE THE SLAB AND WILL NOT LEAK UNDER THE SLAB.

Plans to be updated

PROPOSED
RESIDENCE
FFL 50.835
PAD RL 50.465
GARAGE
FFL 50.765

APPROX. ASPHALT DWAY
BY OWNER
134m² TOTAL
(134m² TO BDY)

DRAINS ATTACHED TO OR EMERGING FROM UNDERNEATH THE BUILDING SHALL INCORPORATE FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1000mm OF THE BUILDING PERIMETER IN ACCORDANCE WITH AS2870 SECTION 5.6.4(b)

INSTALLATION OF FLEXIBLE DRAINAGE PIPES TO BE IN ACCORDANCE WITH AS3500.3 SECT 5 AND 6, AND AS2566.2 FOR BURIED FLEXIBLE PIPELINES.

AS2870 6.6(c) DURING CONSTRUCTION, WATER RUN OFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE BUILDING

TRENCHES SHALL COMPLY WITH AS2870-2011 PART 5.6.4 (b). WILL INCORPORATE FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1m OF THE BUILDING PERIMETER.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

DRAINAGE LEGEND

- IO INSPECTION OPENING
- SURFACE PIT
- STORMWATER LINE 100 UPVC FALL @ 1:60
- SEWERAGE LINE 100 UPVC FALL @ 1:60
- SEPTIC LINE 100 UPVC FALL @ 1:60
- AG DRAIN
- MAINS YARD TAP + ORG
- MAINS YARD TAP

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LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	DRAINAGE PLAN 1:200

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SCALES:	1:200

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C.3.5.2.5(b)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Downpipe roof calculations (as per AS/NZA3500.3:2015)		
Ah	314.74	Area of roof (including 115mm Slotted Quad Gutter) (m ²)
Ac	380.7	Ah x Slope factor (Table 3.4.3.2 from AS/NZS 3500.3:2015) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	118	Design Rainfall Intensity (determined from Figure E8 from AS/NZS 3500.3:2015)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2015) (m ²)
Required Downpipes	6	Ac / Acdp
Downpipes Provided	8	

THIS DWELLING IS BEING CONSTRUCTED IN A BAL 12.5 AREA
RESTRICTIONS FOR CONSTRUCTION METHODS/ MATERIALS MAY APPLY REFER NOTES

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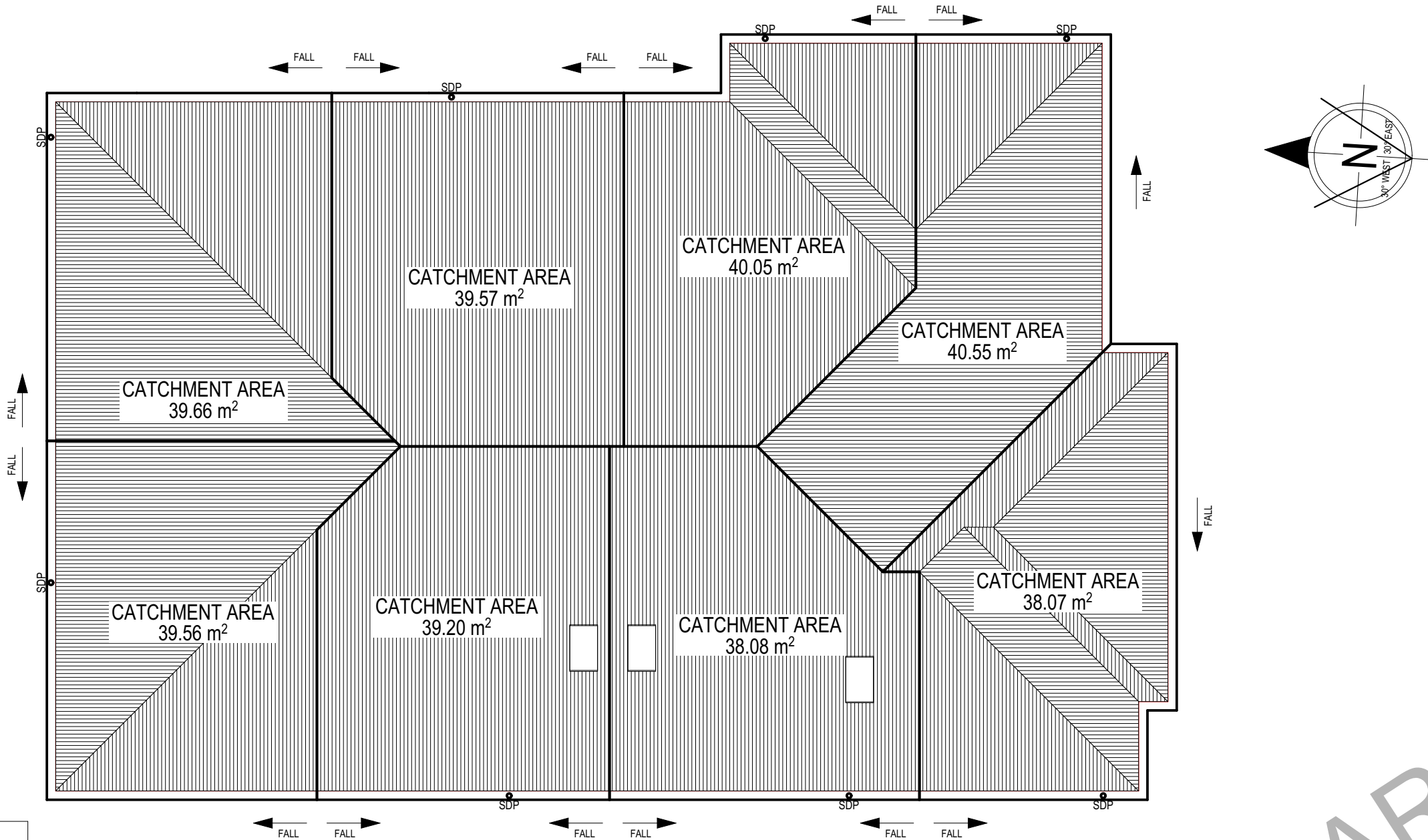
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LOT / SECTION / CT: 7 / - /	COUNCIL: CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN: BELVEDERE	
FACADE DESIGN: CLASSIC	
SHEET TITLE: ROOF DRAINAGE PLAN	SHEET No.: 10 / 17

HOUSE CODE: H-WATBVR10SB
FACADE CODE: F-WATBVR10CLASC
SCALES: 1:100

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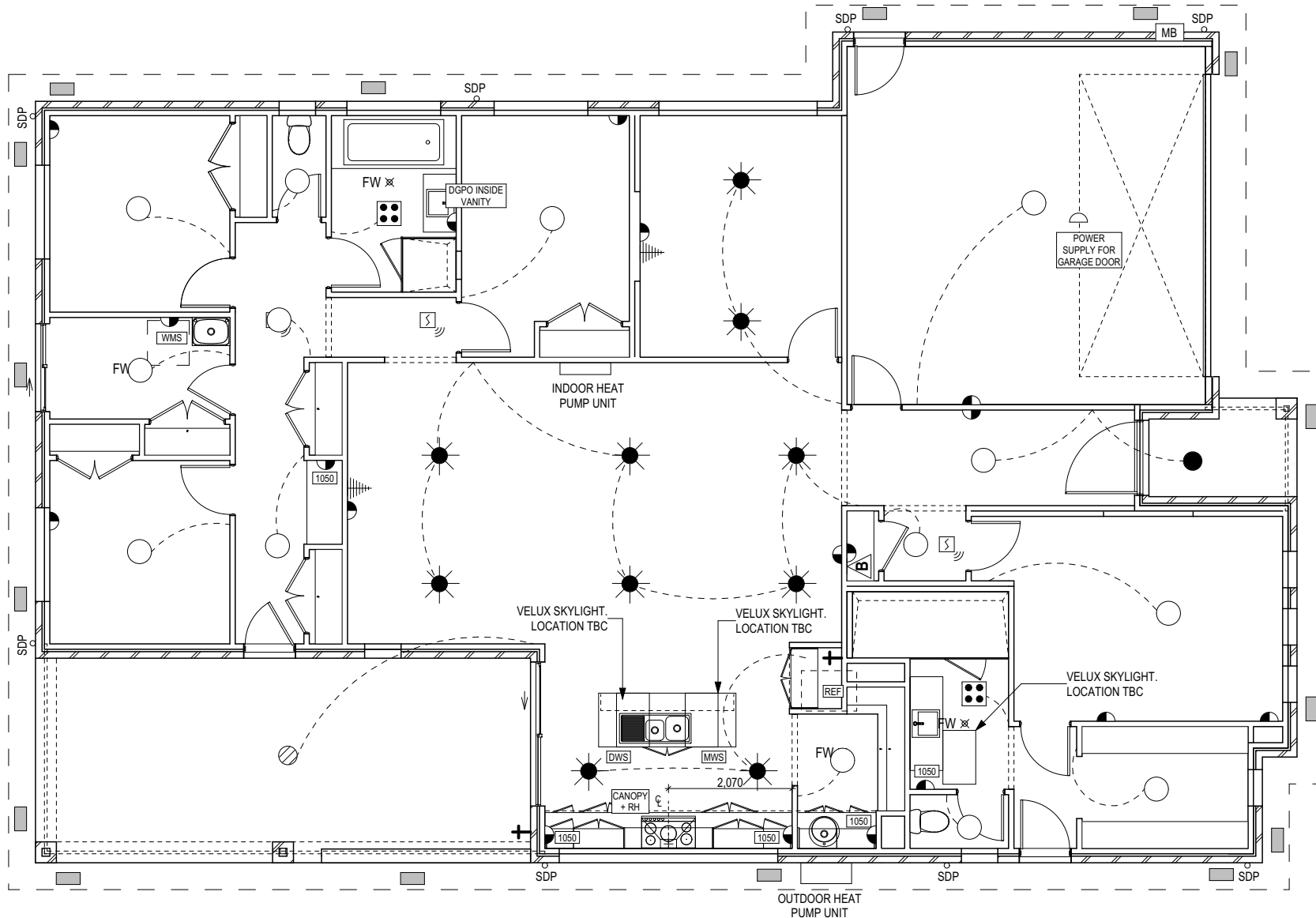
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ALL EXHAUSTS (RANGEHOOD, BATHROOM, TASTICS, OR SIMILAR MECHANICAL VENTILATION) TO BE VENTILATED TO OUTSIDE AIR VIA THE EAVES IN ACCORDANCE WITH NCC VOL 2, PART 3.8.7.3.

LED DOWNLIGHTS ARE IC RATED, WITH 90mm DIA CUTOUTS. REFER TO LIGHTING SPECIFICATIONS FOR SELECTION DETAILS.



ELECTRICAL LEGEND

- STANDARD OUTDOOR LIGHT
- OUTDOOR LED DOWNLIGHT
- IC RATED LED DOWNLIGHT (9W)
- STANDARD CEILING LIGHT (30W)
- WALL LIGHT (30W)
- FLOODLIGHT
- SENSOR
- FLOOD LIGHT WITH SENSOR
- PENDANT FITTING
- FLUORESCENT LIGHT POINT (36W)
- 2 x FLUORESCENT LIGHT POINT (72W)
- 2 x SLIM FLUORESCENT LIGHT POINT (28W)
- SINGLE POWERPOINT
- DOUBLE POWERPOINT
- WATERPROOF SINGLE POWERPOINT
- WATERPROOF DOUBLE POWERPOINT
- FAN/HEAT/LIGHT (70W)
- MECHANICAL VENTILATION SWITCHED TO LIGHT
- TV POINT
- NATIONAL BROADBAND NETWORK
- PAY TV POINT
- PHONE POINT
- SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- CEILING FAN
- CAT 5 OR 6 DATA SOCKET
- PRE-WIRE ONLY
- SOFFIT VENT

ALL GPOs 300mm OFF FFL UNLESS OTHERWISE NOTED

PROVIDE SINGLE GPOs FOR MW,DW,REF,WMS.
INSTALL ISOLATION SWITCH WITHIN 2m OF COOKTOP

ACTRON LAYOUT AND SPECIFICATION BY OTHERS

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:

For Roofs With >22 Degree Roof Pitch.

Ceiling Area	269.34
Ventilation Surface Area Required (Total - 1/300th of Ceiling Area)	0.90
Ventilation Surface Area Required (Ridge Ventilation - 30% of Total)	0.26934
Ventilation Surface Area Required (Eave Ventilation - 70% of Total)	0.62846
Ventilation Area per Whirlybird (if used)	0.07
Ventilation Area per Vented Eave Sheets (2.4m sheet) (if used)	0.022
Ventilation Area per Eave Vents (min. 400 x 200mm) (if used)	0.04
Minimum required soffit ventilation (eave vents) NB: to be evenly spaced around soffit	16
Ridge ventilation to be provided by continuous gap to ridge cappings	
A S3959 Compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones	

THIS DWELLING IS BEING CONSTRUCTED IN A BAL 12.5 AREA
(RESTRICTIONS FOR CONSTRUCTION METHODS/MATERIALS MAY APPLY REFER NOTES)

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DRAWING	DRAWN
2 CT SITING	DDI 2020.12.11
3 PRELIM PLANS	BGU 2020.12.19
4 PRELIM PLANS - SITE & FLOORPLAN CHANGES	DDI 2020.12.23
5 PRELIM PLANS - RETAINING ADJUSTED	MSP 2020.12.29
6 APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELECTRICAL PLAN

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SHEET No.:	11 / 17

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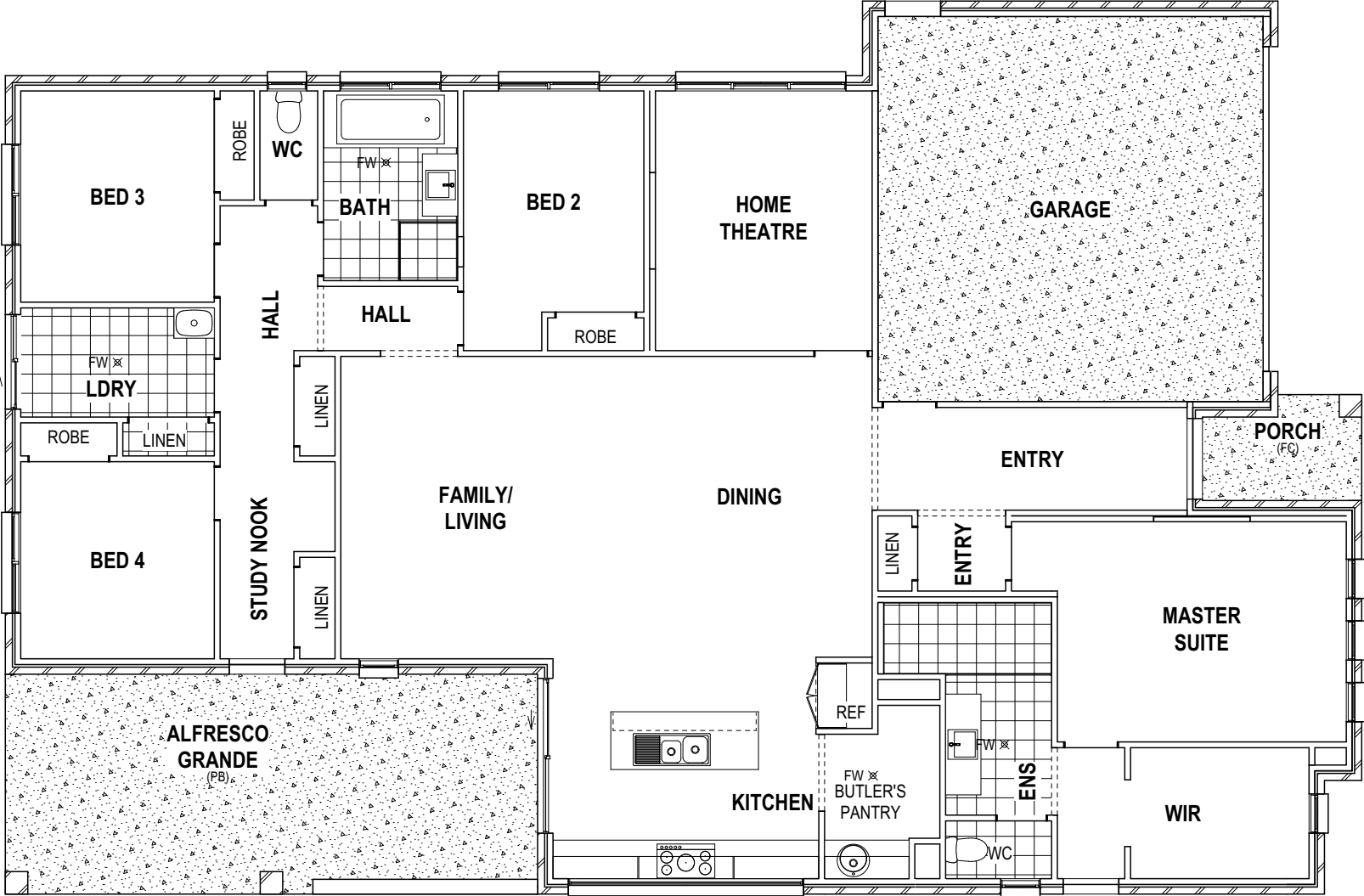
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- CLIX
- TILE (STANDARD WET AREAS)



BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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5 PRELIM PLANS - RETAINING ADJUSTED	MSP 2020.12.29
6 APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

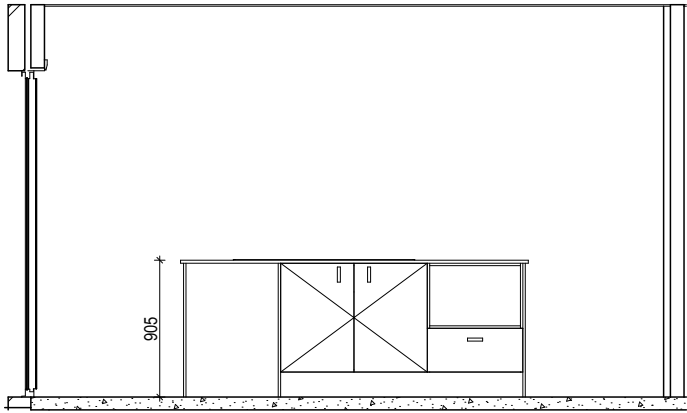
CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	FLOOR COVERINGS
SHEET No.:	12 / 17

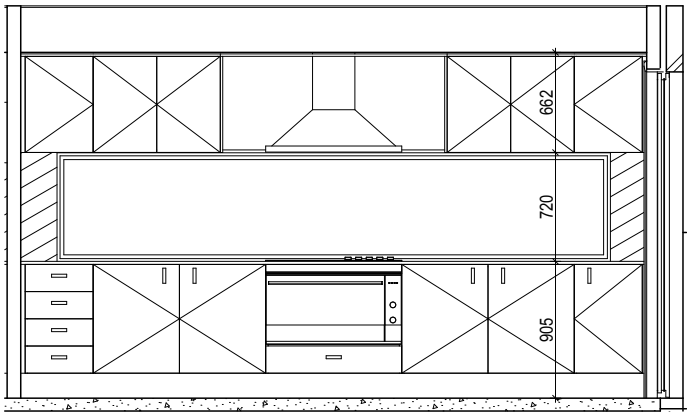
HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SCALES:	1:100

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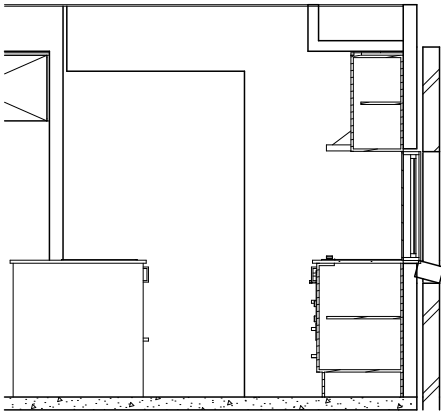
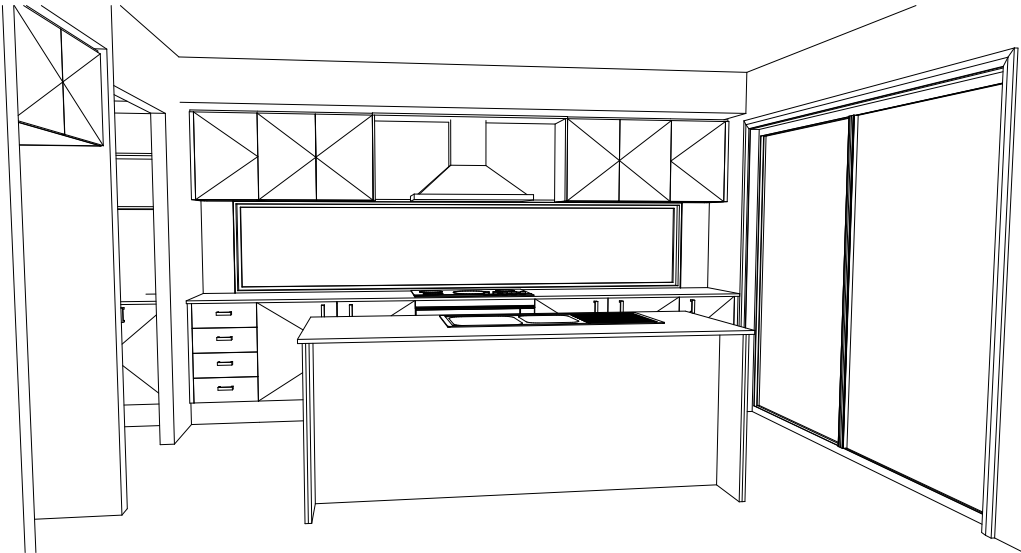
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



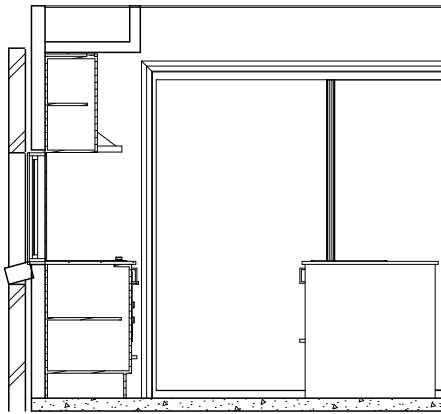
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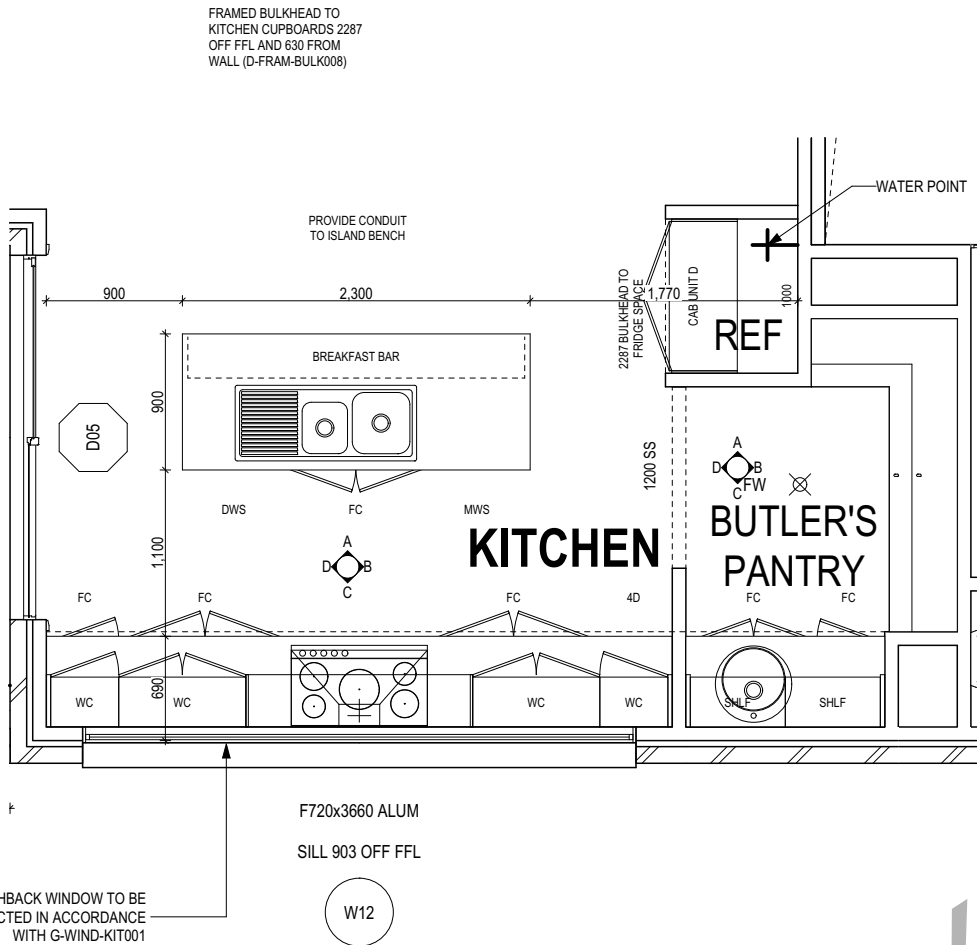
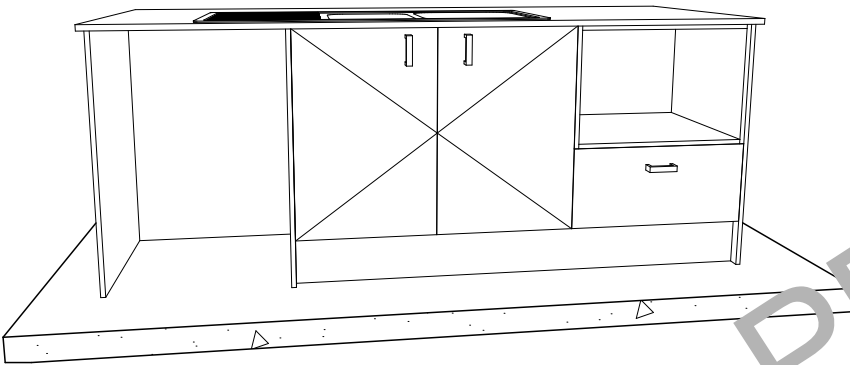
ELEVATION C
Scale: 1:50



ELEVATION B
Scale: 1:50



ELEVATION D
Scale: 1:50



KITCHEN PLAN
Scale: 1:50

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SIGNATURE:

DATE:

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CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - / -
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	KITCHEN DETAILS
SHEET No.:	13 / 17
HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SCALES:	1:50

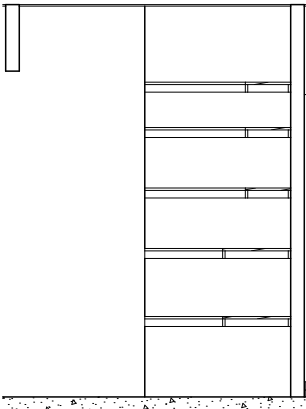
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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

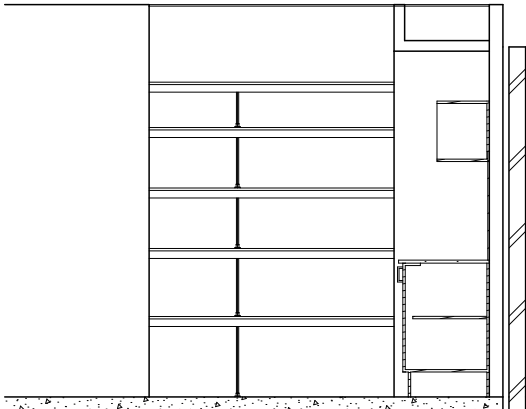
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

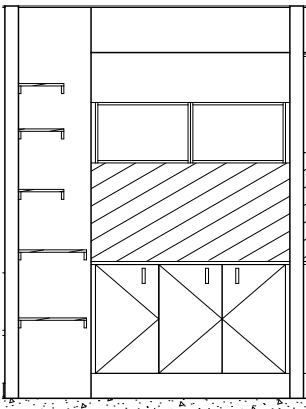
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.



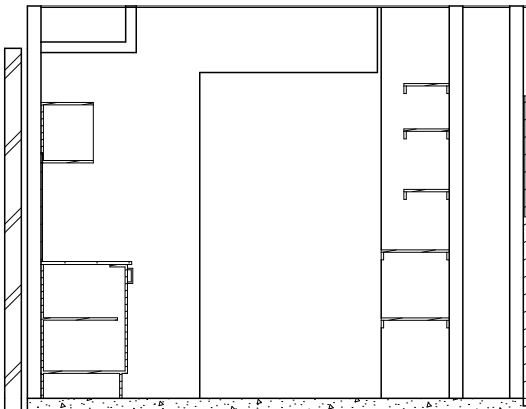
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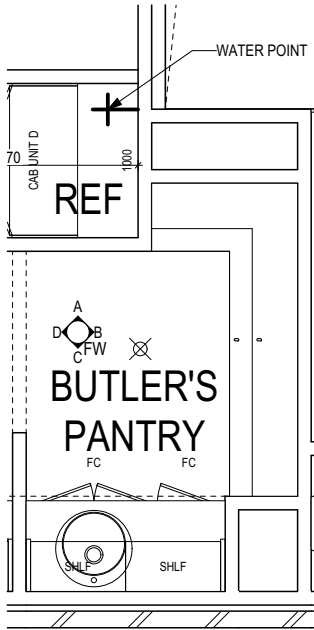
ELEVATION B
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



BUTLER'S PANTRY PLAN
Scale: 1:50

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CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	BUTLER'S PANTRY DETAILS

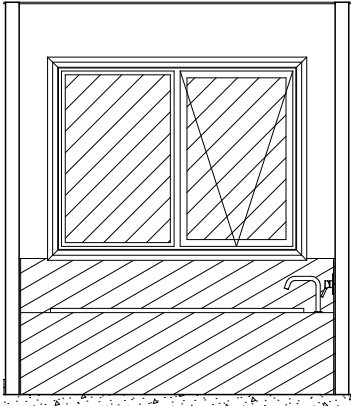
HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10CLASC
SHEET No.:	14 / 17
SCALES:	1:50

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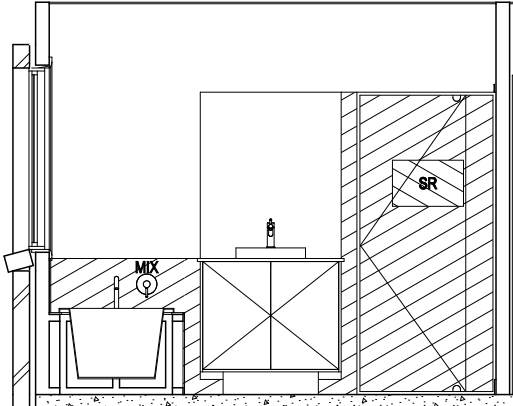
BAL-12.5 BUSHFIRE REQUIREMENTS
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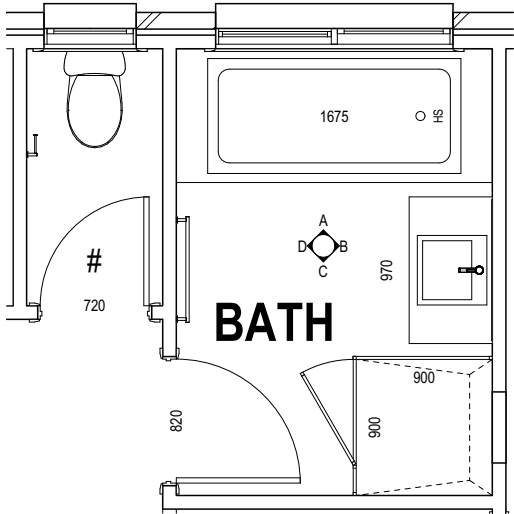
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



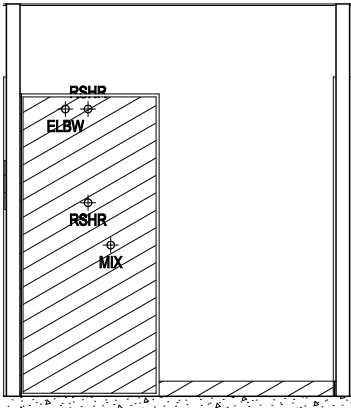
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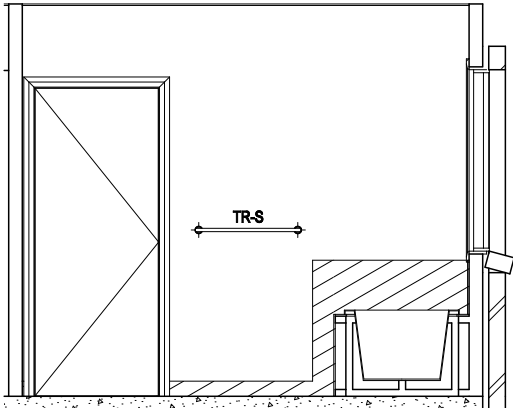
ELEVATION B
Scale: 1:50



BATHROOM PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TRH TOWEL RACK HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

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4 PRELIM PLANS - SITE & FLOORPLAN CHANGES	DDI 2020.12.23
5 PRELIM PLANS - RETAINING ADJUSTED	MSP 2020.12.29
6 APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

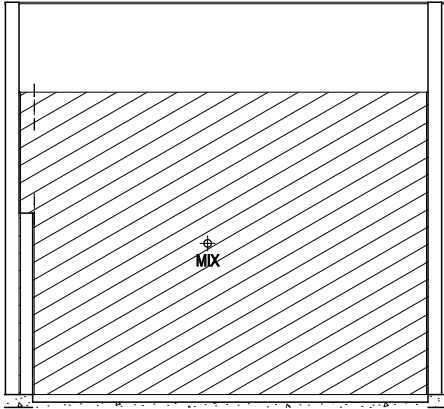
HOUSE DESIGN:	BELVEDERE	HOUSE CODE:	H-WATBVR10SB
FACADE DESIGN:	CLASSIC	FACADE CODE:	F-WATBVR10CLASC
SHEET TITLE:	BATHROOM DETAILS	SHEET No.:	15 / 17
		SCALES:	1:50

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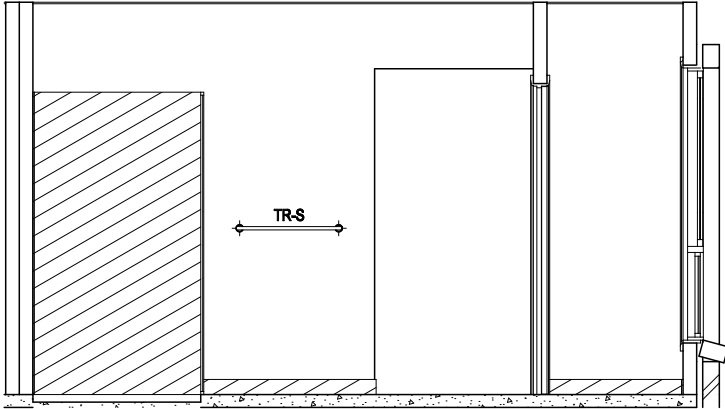
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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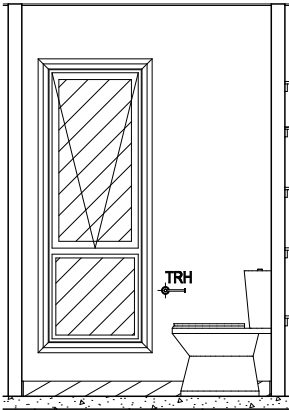
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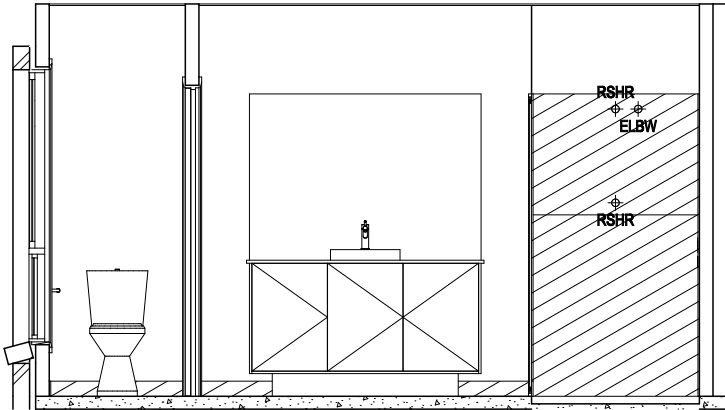
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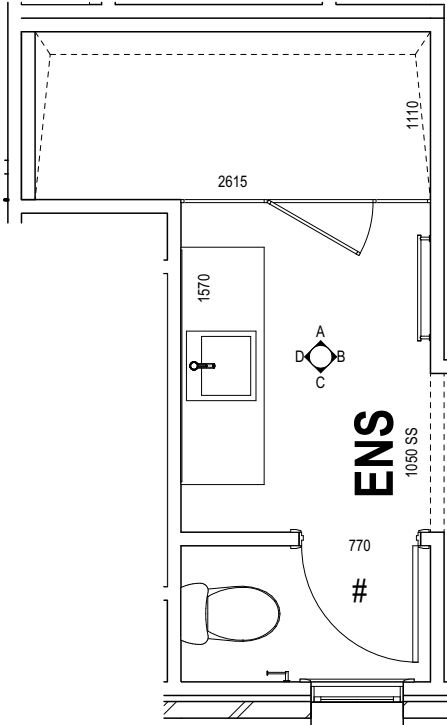
ELEVATION B
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



ENSUITE PLAN
Scale: 1:50

- LEGEND**
- RSHR RAIL SHOWER
 - ROSE SHOWER ROSE
 - ELBW SHOWER ELBOW CONNECTION
 - MIX MIXER TAP
 - HT HOT TAP
 - CT COLD TAP
 - HS HOB SPOUT
 - WS WALL SPOUT
 - SC STOP COCK
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 - SHLF SHELF
 - SR SHAMPOO RECESS
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6 APPROX. EX. SURFACE LEVEL SHOWN	MSP 2021.01.29

CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - /
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

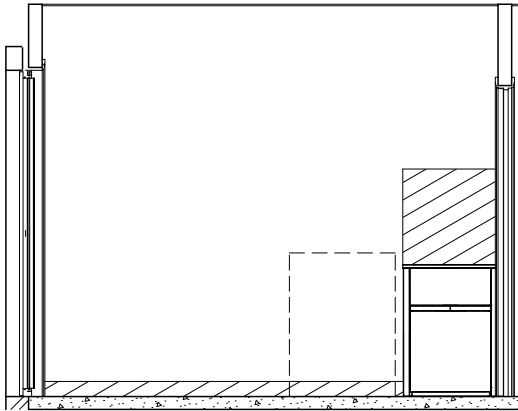
HOUSE DESIGN:	BELVEDERE	HOUSE CODE:	H-WATBVR10SB
FACADE DESIGN:	CLASSIC	FACADE CODE:	F-WATBVR10CLASC
SHEET TITLE:	ENSUITE DETAILS	SHEET No.:	16 / 17
		SCALES:	1:50

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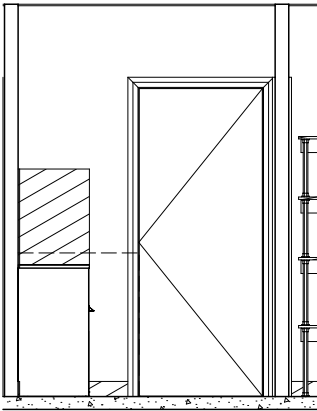
BAL-12.5 BUSHFIRE REQUIREMENTS
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- GENERAL BUILDING INFORMATION

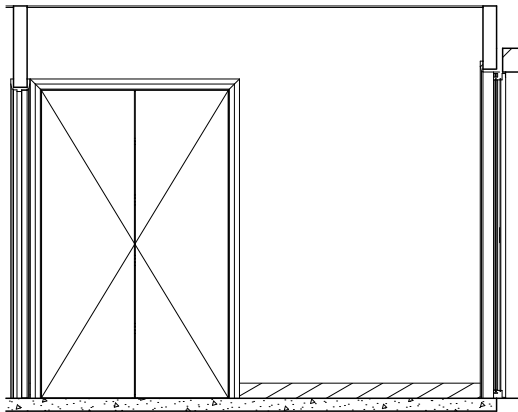
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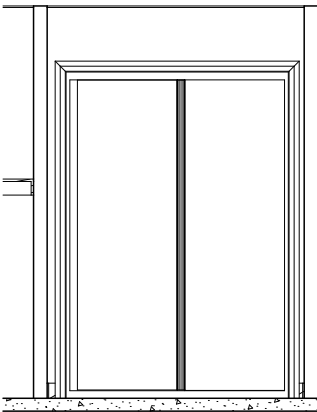
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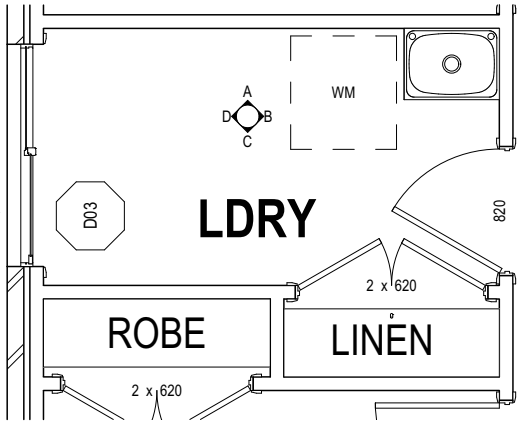
ELEVATION B
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



LAUNDRY PLAN
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
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CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKEVALE ROAD , WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - / -
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

HOUSE DESIGN:	BELVEDERE	HOUSE CODE:	H-WATBVR10SB
FACADE DESIGN:	CLASSIC	FACADE CODE:	F-WATBVR10CLASC
SHEET TITLE:	LAUNDRY DETAILS	SHEET No.:	17 / 17
		SCALES:	1:50

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NOTES:

1. GENERAL

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
1.2 CHECK ARCHITECTURAL, MECHANICAL, ELECTRICAL AND DRAWINGS FOR OTHER SERVICES FOR PENETRATIONS AND CAST-IN ITEMS.

2. SITE

- 2.1 FLOOR SLAB AREAS TO BE STRIPPED OF ALL VEGETATION, TOP SOIL AND SOFT MATERIAL.
2.2 FILL TO BE APPROVED GRAVEL PROPERLY COMPACTED IN HORIZONTAL LAYERS NO EXCEEDING 150mm LOOSE THICKNESS.
2.3 ALL FOOTINGS TO BE FOUNDED IN FIRM NATURAL GROUND. MINIMUM FOUNDED DEPTH TO BE 300mm BELOW NATURAL SURFACE UNLESS OTHERWISE NOTED.
2.4 FINISHED GROUND LEVELS AROUND BUILDING TO BE MINIMUM 100mm BELOW GROUND FLOOR SLAB AND GRADE AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1500mm.

3. CONCRETE

- 3.1 CONCRETE CONSTRUCTION TO BE IN ACCORDANCE WITH AS3600
3.2 UNLESS NOTED OTHERWISE CONCRETE TO BE GRADE N25 (28 DAY COMPRESSIVE STRENGTH OF 25MPa) 80mm SLUMP AND 20mm MAXIMUM AGGREGATE SIZE. CONCRETE TO BE PRE-MIXED IN ACCORDANCE WITH AS1379.
3.3 CHLORINE BASED ADMIXTURES ARE NOT TO BE USED.
3.4 MECHANICALLY VIBRATE CONCRETE IN THE FORM TO GIVE MAXIMUM COMPACTION, WITHOUT SEGREGATION OF THE CONCRETE.
3.5 MOIST CURE CONCRETE FOR A MINIMUM OF 7 DAYS.

4. REINFORCEMENT

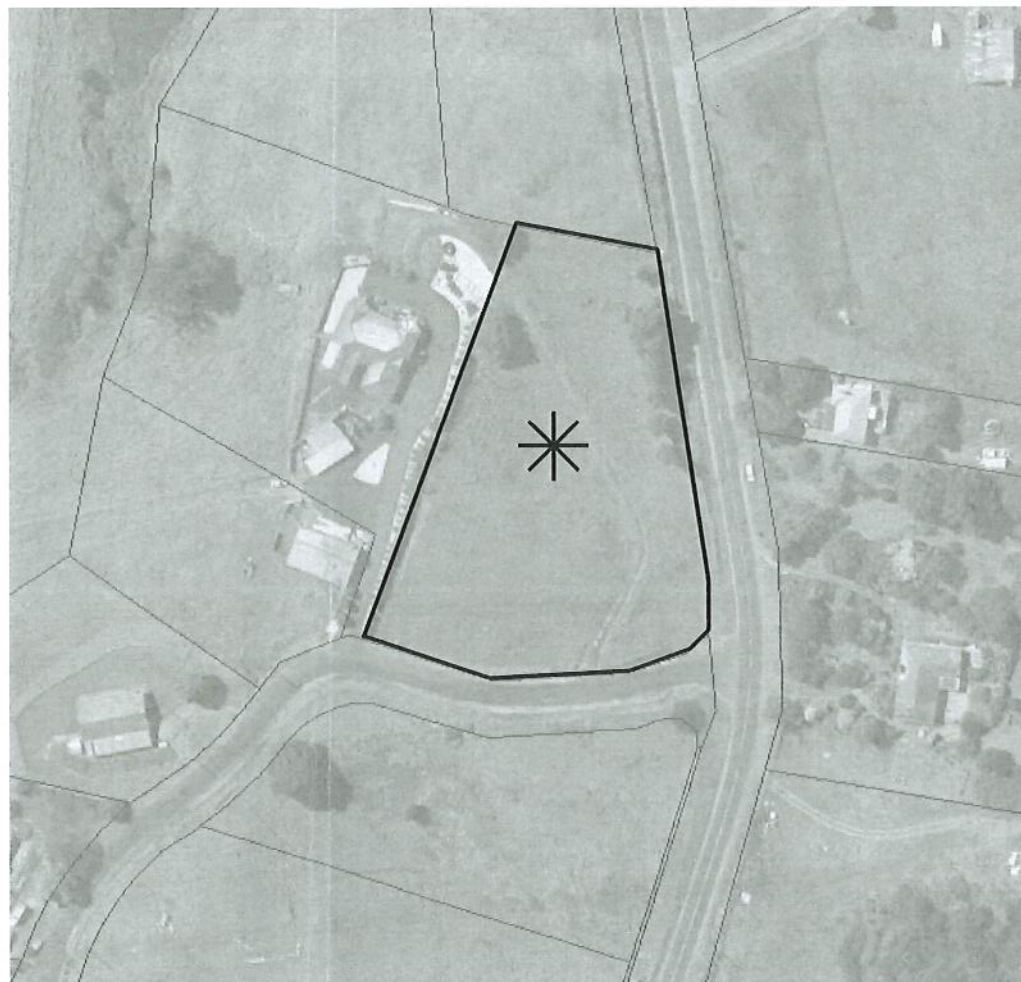
- 4.1 SYMBOLS ON DRAWINGS FOR GRADE AND TYPE OF REINFORCEMENT:
N - BHP TEMPCORE GRADE 500N DEFORMED BAR TO AS4671
R - GRADE 250R HOT-ROLLED PLAIN ROUND BAR TO AS4671
L - HARD DRAWN WIRE REINFORCING FABRIC GRADE 500 TO AS4671
TM - TRENCH MESH - AS FOR 'L'
4.2 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.
4.3 REINFORCEMENT TO BE FABRICATED TO WITHIN TOLERANCES SPECIFIED BY AS3600
4.4 UNLESS NOTED OTHERWISE CONCRETE COVER TO REINFORCEMENT TO BE:
FOOTINGS: 40mm
SLAB ON GROUND 25mm
INTERIOR COLUMNS, BEAMS AND SUSPENDED SLABS 20mm
PATIOS AND EXTERIOR MEMBERS 40mm
4.5 BARS ARE TO BE SUPPORTED AT 2m MAX. CENTRES AND FABRIC SUPPORTED AT 800mm MAX. CENTRES EACH WAY.

5. MASONRY:

- 5.1 ARTICULATION JOINTS HAVE BEEN PROVIDED AT LOCATIONS SHOWN BY <. JOINTS ARE GENERALLY ALONGSIDE DOORS, WINDOWS AND CHANGES IN WALL HEIGHT AND DIRECTION.
5.2 BRICK TIES SHALL BE STAINLESS STEEL.
5.3 CONCRETE BLOCKS TO BE GRADE 15. CONCRETE FILLING FOR BLOCKWORK TO BE GRADE20, 200-250mm SLUMP, 10mm MAXIMUM AGGREGATE SIZE. PROVIDE TEMPORARY PROPPING TO LINTELS FOR 14 DAYS.

6. STEELWORK

- 6.1 ALL STEEL FRAME WORK SHALL BE POWER BRUSH CLEANED AND PAINTED WITH 2 COAT OF ZINC PHOSPHATE, UNLESS NOTED OTHERWISE
6.2 ALL STEEL SHALL BE GRADE C350
6.3 ALL BOLTS SHALL BE M16 8.8/S UNLESS NOTED OTHERWISE
6.4 ALL PLATES SHALL BE 8mm PL. UNLESS NOTED OTHERWISE
6.5 ALL WELDS SHALL BE 6 C.F.W. UNLESS NOTED OTHERWISE
6.6 ALL WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.



DESIGN INFORMATION:

BUILDING DESIGNER:	N/A
REFERENCE DRAWINGS:	N/A
SOIL CLASSIFICATION:	N/A
DESIGN WIND CATEGORY:	N/A
BUSHFIRE PRONE AREA	
BUSHFIRE ATTACK LEVEL:	N/A
ALPINE AREA	
DESIGNATION:	N/A
LAND TITLE REFERENCE:	128570/7

DRAWING SERIES:

00	COVER
S01	RETAINING WALL LAYOUT (1)
S02	RETAINING WALL LAYOUT (2)
S03	RETAINING WALL SECTION (1)
S04	RETAINING WALL SECTION (2)

Mr. Jonathon Mulcahy

BE (Civil) MIEAust CP Eng NER

Signature

Accredited Building Practitioner
Licence No. 430733550

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FOR APPROVAL		

 20b Loone Lane
Spreyton TAS 7310
Mob: 0412 439 184
CIVILVISION CONSULTING
CREATIVE ENGINEERING ABN: 66 644 575 468
info@civilvisionengineering.com

PROJECT:
PROPOSED RETAINING WALL
(LOT 7) BROOKEVALE RD, ULVERSTONE

CLIENT:
NEIL FERGUSON

DRAWING TITLE:
COVER

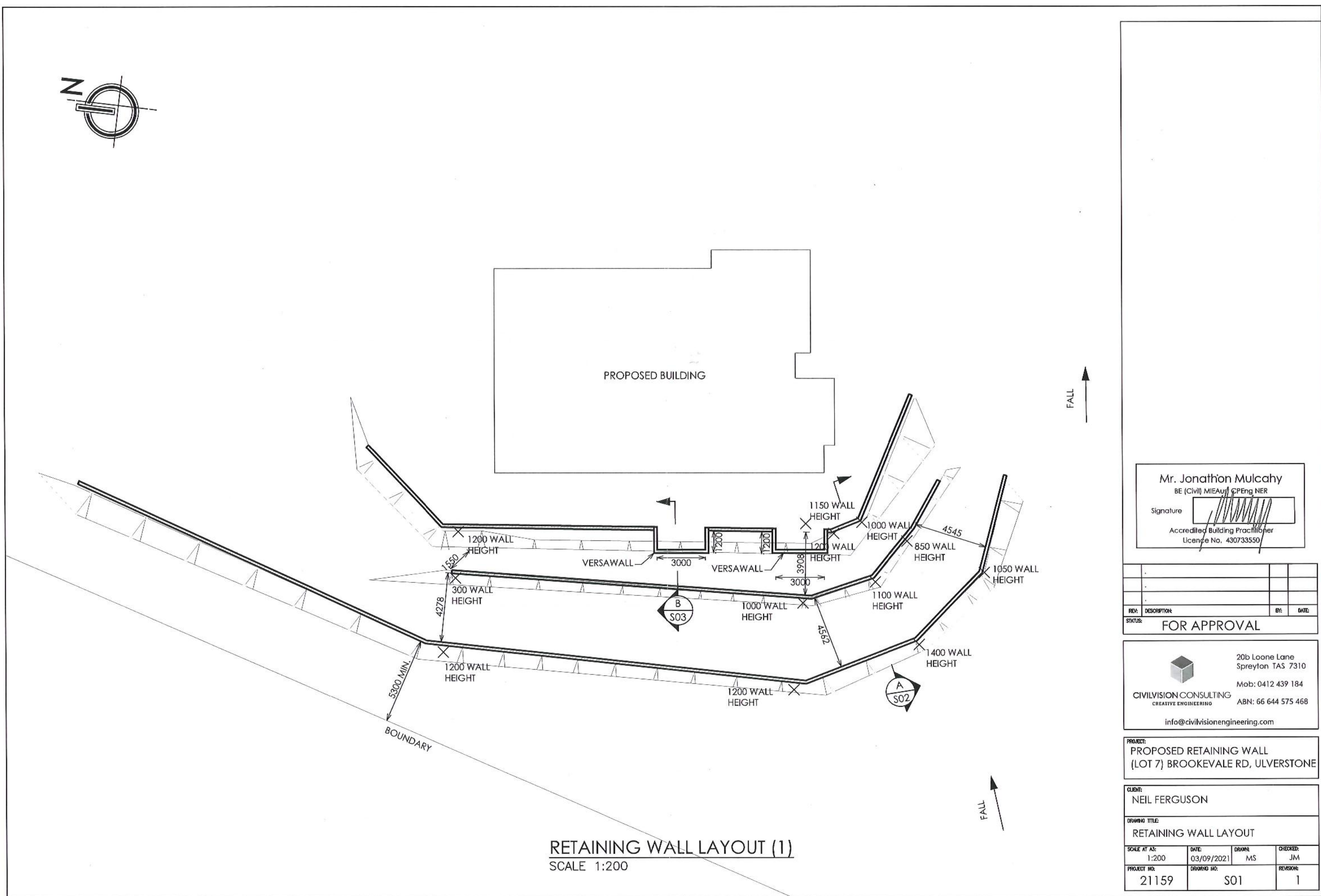
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PROJECT NO:	DRAWING NO:	REVISION:	
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CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

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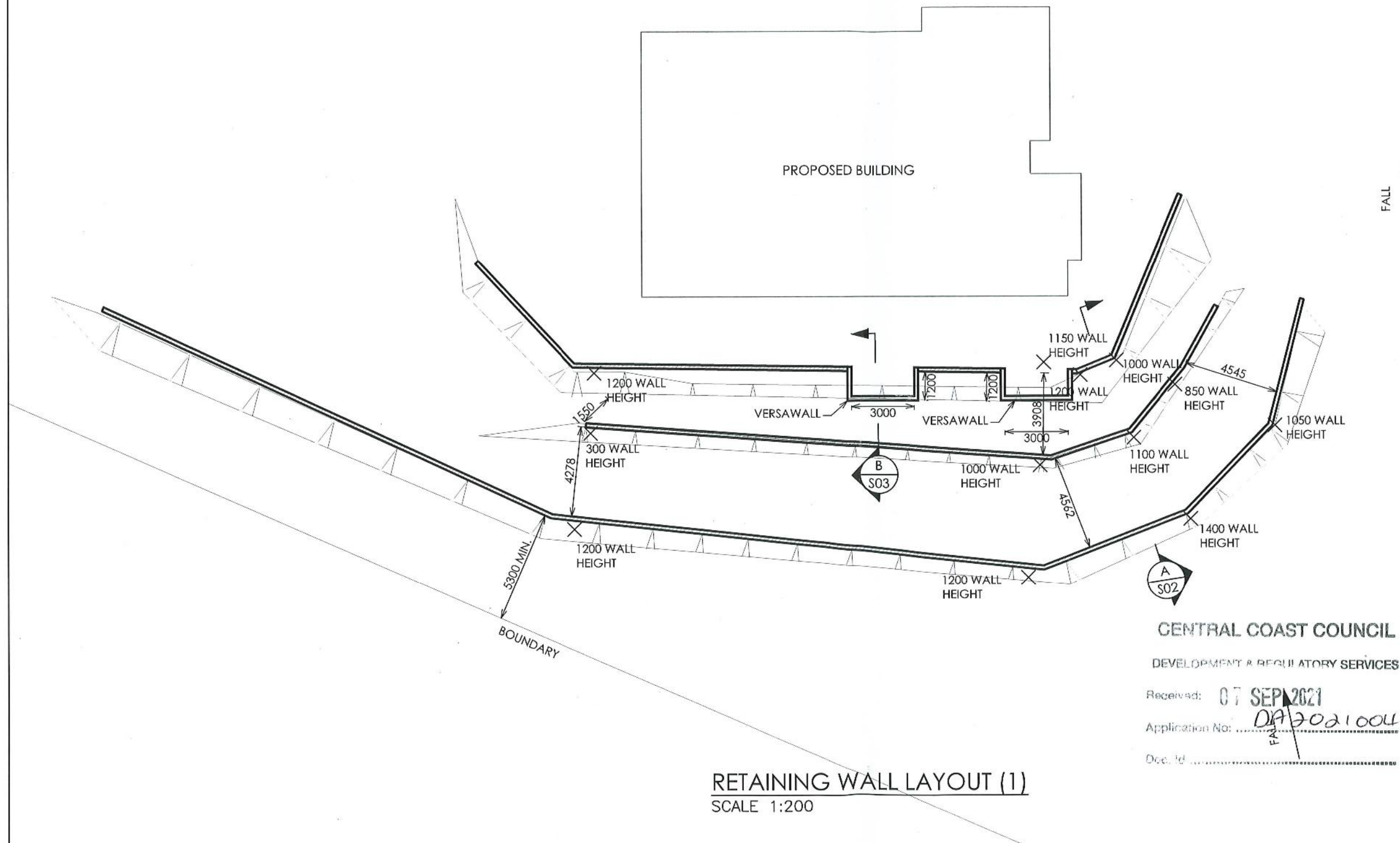
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FALL

SCALE AT A3: 1:200	DATE: 03/09/2021	DRAWN MS	CHECKED: JM
PROJECT NO: 21159	DRAWING NO: S01	REVISION: 1	



FALL

Mr. Jonathon Mulcahy
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REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FOR APPROVAL		

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PROJECT:
PROPOSED RETAINING WALL
(LOT 7) BROOKEVALE RD, ULVERSTONE

CLIENT:
NEIL FERGUSON

DRAWING TITLE:
RETAINING WALL LAYOUT

SCALE AT A3: 1:200	DATE: 03/09/2021	DRAWN: MS	CHECKED: JM
PROJECT NO: 21159	DRAWING NO: S01	REVISION: 1	

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

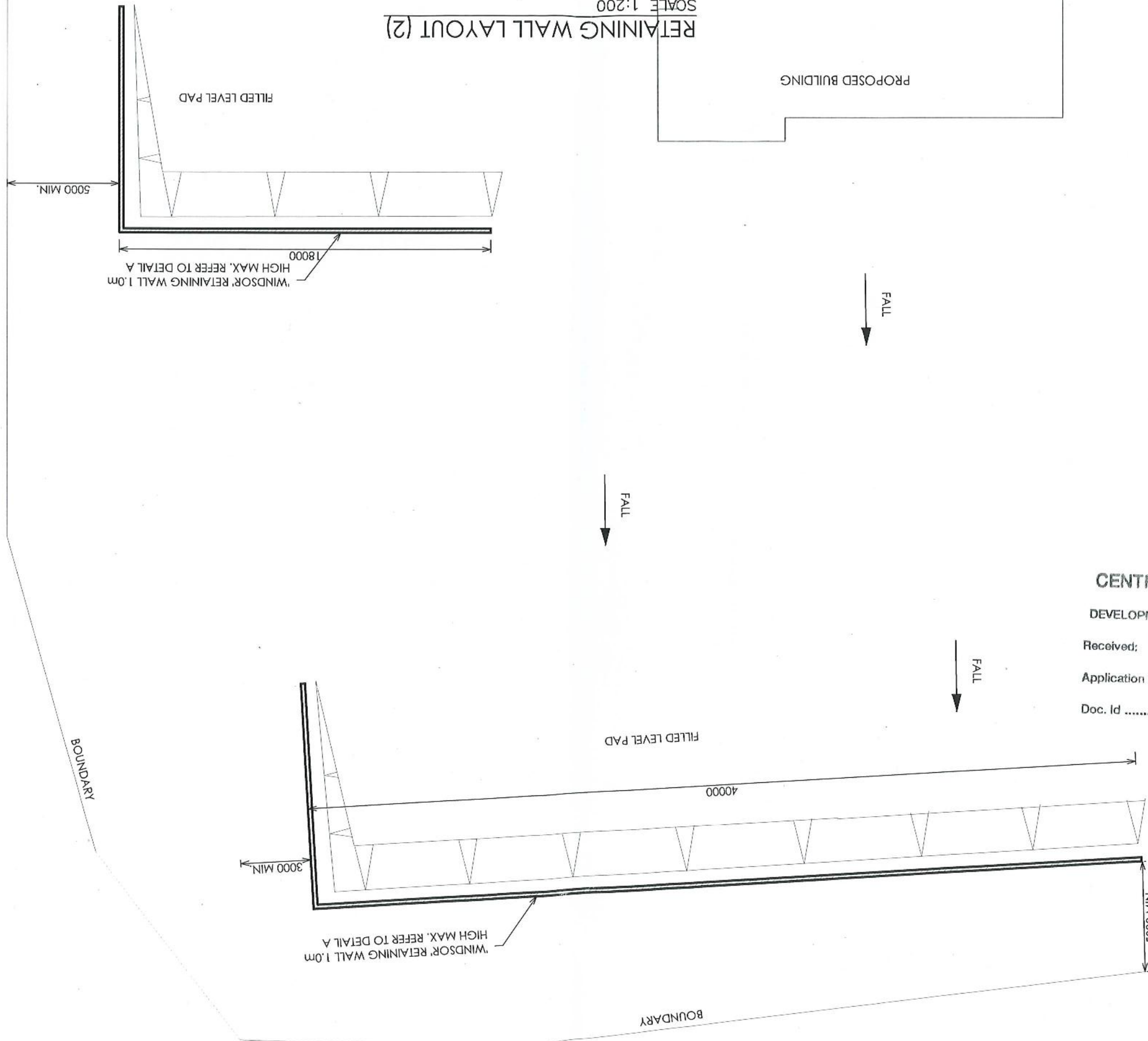
Received: 07 SEP 2021

Application No: DA2021004

Doc. Id:

RETAINING WALL LAYOUT (2)

SCALE 1:200



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 DEVELOPMENT & REGULATORY SERVICES
 Received: 07 SEP 2021
 Application No: 0192021004
 Doc. Id

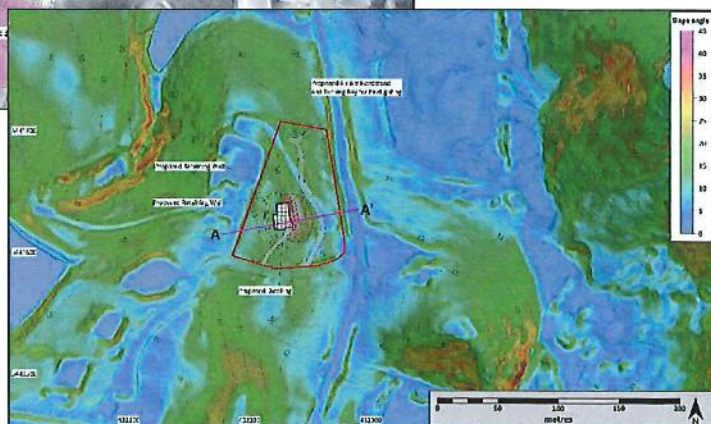
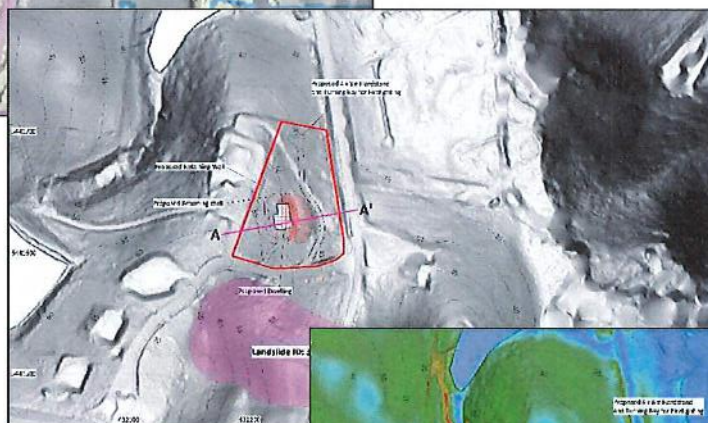
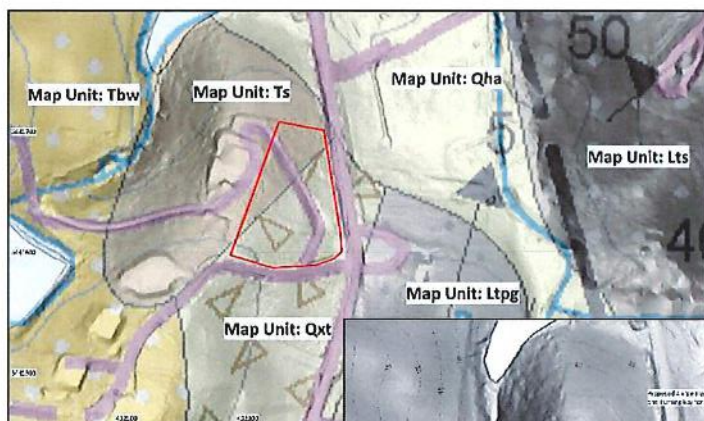
PROJECT NO: 21159		DRAWING NO: S02		REVISION: 1	
SCALE AT A3: 1:200		DATE: 03/09/2021		DRAWN: MS	
CHECKED: JM		DRAWING TITLE: RETAINING WALL LAYOUT			
CLIENT: NEIL FERGUSON					
PROJECT: PROPOSED RETAINING WALL (LOT 7) BROOKEVALE RD, ULVERSTONE					
CIVILVISION CONSULTING CREATIVE ENGINEERING ABN: 66 644 575 468 Mob: 0412 439 184 Spreyton TAS 7310 20b Loone Lane info@civilvisionengineering.com					
FOR APPROVAL					
REV	DESCRIPTION	BY	DATE	STATUS	
Mr. Jonathon Mulcahy BE (Civil) MICAUST QPENG MER Signature Accredited Building Practitioner Licence No. 430733550					

GES

GEO-ENVIRONMENTAL SOLUTIONS

LANDSLIDE HAZARD ASSESSMENT

Lot 7 Brookvale Road, Ulverstone



CLIENT

Wilson Homes

Job No. 712806

February 2021

Version 2

CENTRAL COAST COUNCIL

DEVELOPMENT & REGULATORY SERVICES

Received: 25 FEB 2021

Application No:

Doc. Id:

1 Introduction

Geo-Environmental Solutions Pty Ltd (GES) were contracted by Wilson Homes (Job No. 712806) to provide a geotechnical assessment to assess landslide hazard management for a property at Ulverstone, which lays within the Central Coast Interim Planning Scheme mapped low and medium landslide hazard overlays (Mazengarb 2004). The proposed development is located at cadastral title (CT 128570/7) located at Lot 7 Brookvale Road, Ulverstone (The Site). GES are to undertake this geotechnical assessment relating to the proposed construction of a new dwelling in conjunction with the requirements of the Landslide Hazard Code, part of the Tasmanian Interim Planning Scheme, which requires a Landslide Risk Management Report (LRM). GES have developed version 2 of this report in response to a change of plans and Central Coast Council request for further information (RFI).

GES have written this report with reference to the Australian Geomechanics Guidelines (AGS 2007), as required by the Tasmanian Landslide Code.

Where applicable, this report is in general accordance with the following guidelines and Australian/New Zealand Standards:

- Tasmanian Local Government guidelines for site and soil evaluations (wastewater) and geotechnical (slope stability) investigations (including Tasmanian Geological Survey Record UR2017/03)
- Tasmanian Chapter, AGS 1998. Guidelines for geotechnical assessment of subdivisions. Australian Geomechanics Society. Australian Geomechanics 33(3): 53–57.
- Australian Geomechanics Society guidelines (2007) – See attachment 6.
- AS1726 – 2017 Geotechnical Site Investigations
- AS2870 – 2011 Residential Slabs and Footings – construction
- AS1289 (2000). Australian Standard. Methods of Testing of Soils for Engineering Purposes.
- AS4133 (2000). Australian Standard. Methods of Testing of Rocks for Engineering Purposes.
- AS/NZS4360 – 2004 Risk Management

2 Results

2.1 Site Description

2.1.1 The Building

The proposed dwelling is to be single storey and roughly rectangular in shape (including Alfresco area) and approximately 295m² constructed on a cut to fill platform.

2.1.2 Topography

The property is located in the mid slope associated with the glacial terrace to the west. The site is bounded by Brookvale Road to the south and Castra Road to the east. The site slopes were altered at the Moderate to steep slopes descend from elevations of about 59.9m AHD in the south western corner to about 39m AHD in the northeast corner of the site with slope angles of 12-25°.

2.1.3 Published Geology

The published bedrock geology of the area (Attachment 1) Lot 7 Brookvale Road and the immediately adjacent property to the south are underlain by Landslide Deposits predominantly derived from weathered Tertiary-age rocks (Map Unit Qxt). To the north-west the local area is underlain by dominantly non-marine sequences of gravel, sand, silt, clay and regolith and further west is underlain by deeply weathered Tertiary-age basalt.

2.1.4 Evidence of Current Slope Instability

The southern and eastern portions of the site is located on potential remnant Landslide Deposits predominantly derived from weathered Tertiary-age basalt rocks. There is a recognised, discrete soil slide to the south of Brookvale Road (Landslide ID 3219). The landslide point 2900 has been mapped as majority of the east facing slopes proximal to Landslide ID 3219. The validity of the site being included in the possible landslide is questionable with very little to no geomorphic expression suggesting this at the site.

2.2 Proposed Development

See Attachment 3 for an updated plan of the proposed works with reference to the pre-existing and further proposed site excavations and fill. Including proposed cut and fill to form a 4 x 8m hardstand and turning bay for firefighting requirements in the western portion of the site.

3 Site Investigation

Site investigation was carried out on 31 October 2020 consisting of a number of hand auger test holes to a maximum achievable depth of 1.7m prior to encountering refusal. Refusal is potentially on boulders/cobbles of the Tertiary source unit. At the time of investigation, the site had been significantly altered by multiple levels of cutting and a large fill platform (See Site Plan Figure 11). The investigations holes were undertaken within the cut platform on site. A typical soil profile at site is shown in Table 1.

Table 1 Typical natural soil profile at the site

Depth (m)	USCS	Description
0.00 – 0.30	SC	Clayey SAND: Greyish Brown ~10% clay, weak polyhedral structure, slightly moist medium dense consistency, ~10% gravels, disturbed appearance, gradual boundary to
0.30 – 0.70	CL	Sandy CLAY: Yellow-brown, slightly moist stiff consistency, medium plasticity, ~10% gravels, gradual boundary to
0.30 – 1.70+	CH	Silty CLAY: Yellow-brown, slightly moist stiff consistency, high plasticity, auger refusal on potential boulder. Lower boundary undefined

3.1 Groundwater

No groundwater was encountered during the site investigations.

4 Landslide Hazard Analysis

4.1.1 Landslide Characteristics

A desktop study of the slope characteristics including site geology, slope geometry and slope angles, MRT landslide mapping/inventory and review of the site observations has been undertaken to identify potential slope failure mechanisms (scenarios) for the proposed. The site has already been modified with cut and fill platforms for the proposed shed and driveway. As such, the hazards need to be assessed considering the existing site modifications.

Revised plans produced by Wilson Homes (Job Number 712806 – dated 29/01/2021) have taken into consideration the conditions and recommendations of Version 1 of this report. The design of engineered retaining walls for the upper and lower existing cuts up slope of the proposed dwelling has been included.

Considering this, the following scenarios have been identified as potential slope failure mechanisms for the site:

- **Scenario 1** – Shallow slide failure within natural soils and fill materials caused by loading of natural soil slopes and unstable batter angles;
- **Scenario 2** – Shallow slide failure within shallow residual soils in cuttings above development, caused by oversteepening of natural soil slopes and removal of vegetation, with no provision made for drainage;
- **Scenario 3** – Reactivation of a possible deep-seated earth slide failure through the residual soils and fill.

Untreated slope failure of Scenario 1 is possible presenting a medium consequence within residual soils and uncontrolled fill material downslope of the proposed dwelling. A Scenario 1 represents a moderate risk to property.

A failure akin to Scenario 2 is almost certain for one or all of the existing cut batters up-slope of the proposed dwelling over the development design life based on their existing batter angles. A Scenario 2 failure presents a minor consequence and therefore a high risk to property.

Scenario 3 addresses the reactivation of a potential deep-seated Earth slide due to the site being mapped as possible landslide deposits. As there is little geomorphic evidence to support this the likelihood of this type of failure is thought to be rare. The consequence to property is thought to be major and therefore the risk to property is low.

As such, the **resultant hazards without treatment** are **low to high** risk to property. Scenarios 1-3 are represented in Table 2 below.

4.1.2 Frequency Analysis

Table 2 presents the frequency analysis for the identified slope failure mechanisms. Terminology used is in accordance with the Australian Geomechanics Society (AGS) guidelines for landslide risk management (2007a,b,c,d).

Table 2 Frequency analysis for landslide hazards 1 - 5

Scenario	Failure Mechanism	Unit Affected	Observed in the field	Potential Size	Potential Velocities	Water Content	Current Likelihood	Treated Likelihood
Scenario 1	Shallow slide failure within natural soils and fill materials caused by loading of natural soil slopes	Clay-rich fill mantling clay rich sub-soils. Fill must be assumed to be uncontrolled as is not certified by an engineer.	No	Small with potential regression upslope towards dwelling	Very slow to rapid	Wet/ saturated	Possible	Unlikely
Scenario 2	Shallow slide failure within shallow residual soils in cuttings above development, caused by oversteepening of natural soil slopes and removal of vegetation, with no provision made for drainage	Over-steepened Clay-rich sub-soils	No	Small	Very slow to rapid	Wet/ saturated	Almost Certain	Unlikely
Scenario 3	Reactivation of possible relict landslide failure within natural soils	Clay-rich sub-soils	Possible	Medium	Very slow to slow	Wet/ saturated	Rare	Rare

4.2 Risk Analysis

4.2.1 Risk to Property

Risk has been considered for the proposed development pre- and post-construction. Without suitable management of site vegetation, foundation depths, safe batter angles, fill compaction, site stormwater and wastewater management, the site is considered low to high risk. As earthworks has already been conducted at the site, the risk analysis can only be done retrospectively. It is thought that the constructed cut batters on site are steeper than what GES would recommend for ongoing stability at the site. As such, extra recommendations must be made to remediate this issue.

The proposed retaining walls must be suitably engineered and free draining.

Intercepting water before it reaches the cut batters is thought to be appropriate for the site. This can be achieved by the implantation of a v-cut off drain above the cut slopes.

Significant cut and fill to achieve the proposed 4 x 8m hardstand and turning bay for fire fighting requirements in the western portion of the site. There will need to be management around the conditions of cut and fill to maintain stability for this feature.

Due to the presence of uncontrolled fill to depths up to approx. 2.5m across the proposed development area and the residual landslide hazard, the site soil class is **CLASS P**.

The fill batter beneath the dwelling must be assumed as uncontrolled as it has been formed prior to site inspection. At the time of inspection, the fill batter was thought to be constructed at reasonable batter angles. However, the fill **must not** be used as foundational material. Foundations of the dwelling **must** extend to a minimum of 1.5x the depth of fill below the base of the fill into suitable founding materials exceeding 100kPa (to be assessed by site engineer). It would be prudent to vegetate the fill batter to improve the stability and limit erosion of the slope.

Site stormwater should be diverted away from the building platform and not outlet to ground below proposed dwelling. The same condition is required for on-site wastewater disposal, which must not be outlet immediately below the proposed dwelling.

Site soils are consistent with that of Class H-2 with estimated **Ys values of 60-75mm**.

Treated risk may be reduced to low to moderate (acceptable to tolerable).

4.2.2 Risk to Life

Risk to life is considered acceptable given the treated likelihood and consequence of a shallow failure within the unconsolidated soil material within the cutting and failure of the residual soils and fill immediately below the proposed development (Table 3).

Table 3 Consequence analysis for landslide hazards – Life – Post-treatment

Hazard	Scenario 1	Scenario 2	Scenario 3
Factor	Shallow slide failure within natural soils and fill materials caused by loading of natural soil slopes	Shallow slide failure within shallow residual soils in cuttings above development, caused by oversteepening of natural soil slopes and removal of vegetation, with no provision made for drainage	Reactivation of possible relict landslide failure within natural soils
Likelihood	Unlikely	Unlikely	Rare
Indicative Annual Probability	0.001	0.001	0.0001
Use of Affected Structure/Site	Residential Dwelling – Assumed 30%	Residential Dwelling – Assumed 40%	Residential dwelling
Probability of Spatial Impact	0.3	0.4	0.75
Proportion of Time	12 hours daily 0.5	12 hours daily 0.5	12 hours daily 0.5
Probability of Not Evacuating	Residual soils should exhibit signs of stress (tension cracking prior to failure), resulting in time for evacuation and/or remediation but potential for regression. 0.5	Residual soils should exhibit signs of stress (tension cracking prior to failure), resulting in time for evacuation and/or remediation 0.3	Residual soils should exhibit signs of stress (tension cracking prior to failure), resulting in time for evacuation and/or remediation but potential for regression. 0.5
Vulnerability	Foundations should extend 1.5x the depth of the fill below the base of the fill at any given point 0.2	Suitably engineered, free-draining retaining walls for the upper and lower cut batters above the proposed development 0.2	Site stormwater should be diverted away from the building platform and not outlet to ground below proposed dwelling. The same condition is required for on-site wastewater disposal, which must not be outlet immediately below the proposed dwelling. 0.1
Risk for Person Most at Risk	1.5×10^{-5}	1.2×10^{-5}	1.875×10^{-5}
Risk Evaluation	Acceptable to tolerable	Acceptable to tolerable	Acceptable to tolerable

Note 1: It has been assumed that each person has an equal probability of death for each of the hazards.

Societal Risk has not been assessed for the development.

5 Conclusions

Based on the observations made during the site visit and the outcome of the investigation, slope stability and risk assessment, the following conclusions are made:

- The site has already been modified with cut and fill platform for the proposed dwelling. As such, the hazards have been assessed considering the existing site modifications;
- The site is situated on steep slopes (typically 12° to 25°) underlain by Landslide Deposits predominantly derived from weathered Tertiary-age rocks (Map Unit Qxt);
- Soils identified at site are typical of Ys values of 60-75mm;
- The untreated risk to property at the site is low to high.
- Significant cut and fill to achieve the proposed 4 x 8m hardstand and turning bay for firefighting requirements in the western portion of the site. There will need to be management around the conditions of cut and fill to maintain stability for this feature.
- As a significant change in ground level has occurred without first gaining approval, Code E4 must be addressed to impact of change in existing or natural ground level.
- Management of site cut and fill by the implementation of the proposed retaining walls and development of new cut and fill batters using the cut and fill conditions in Section 8 will satisfy Code E4 P1 parts b & e.

6 Recommendations

The following recommendations (treatments) are made to ensure the development satisfies Code E6 and Code E4 (specifically E4.6.1 P1 (b & e)) of the Central Coast Council Interim Planning Scheme 2013:

- Due to the presence of uncontrolled fill to depths up to approx. 2.5m across the proposed development area, the site soil class is **CLASS P**.
- The battering back of the existing cut slopes to shallower angle is not thought to be an acceptable solution as it would increase the batter to unreasonable heights. Retaining of the lower and upper cut batters (failure of the middle cut slope is thought to be of little consequence) is strongly recommended to ensure the stability of the neighbouring site to the north west and the protection of the proposed development. Retaining walls must be suitably engineered and free draining.
- Implementation of cut off v-drains above the cut slopes;
- The fill beneath the dwelling must not be used as foundational material;
- Foundations of the dwelling must extend to a minimum of 1.5x the depth of fill below the base of the fill into suitable founding materials exceeding 100kPa (to be assessed by site engineer);
- Foundations should be designed to account for soils that are consistent with estimated **Ys values of 60-75mm**;
- Significant cut and fill to achieve the proposed 4 x 8m hardstand and turning bay for firefighting requirements in the western portion of the site. There will need to be management around the conditions of cut and fill to maintain stability for this feature. The following conditions must be adhered to for the ongoing stability of the slopes for the proposed hardstand and turning bay:
 - For site cuts:
 - Unretained cuts on site should not exceed 1.0m in height;
 - Unretained cuts on site should not exceed gradients of 1V : 2H for long term slope stability;
 - Cuts on site in exceedance of the two previous conditions should be retained by a suitably designed, free drained retaining walls;
 - Implementation of cut off v-drains above the cut slopes.

- For site fill:
 - All topsoil and organic material should be removed prior to the placement of fill;
 - Fill should be keyed (benched) into the site slopes;
 - Fill should be placed and adequately compacted in maximum 300mm lifts (preferably with a sheep foot roller);
 - Fill batters placed in the above manner should not exceed gradients of 1V : 2H for long term slope stability.
 - As a general rule, fill should not be placed within 1.5m from title boundaries to avoid the potential of influence for adjacent land owners.
- It would be prudent to vegetate the cut and fill batters to improve the stability and limit erosion of the slope;
- Site stormwater should be diverted away from the building platform and not outlet to ground below proposed dwelling. The same condition is required for on-site wastewater disposal, which must not be outlet immediately below the proposed dwelling;
- All earthworks on site must comply with AS3798-2007; and
- Good hillside construction practices should be adopted as per Australian Geoguide LR8.

Should these recommendations be met, the proposed development is considered acceptable in terms of risk to property and life and will satisfy Code E3 and E4 (E4.6.1 P1 parts b & c) of the Central Coast Council Interim Planning Scheme.



David Lee BSc.

Engineering Geologist

Attachments

This report must be accompanied by the following Attachments:

Attachment 1.	Site Locality Maps and Figures.....	11
Attachment 2.	Landslide Hazard Mapping (MRT)	14
Attachment 3.	Proposed Development	16
Attachment 4.	Site Photos	18
Attachment 5.	Landslide Risk Framework & Terminology	20
Attachment 6.	Landslide Risk Management Guidelines.....	23
Attachment 7.	Qualitative Risk Assessment Tables	25

Attachment 1. Site Locality Maps and Figures

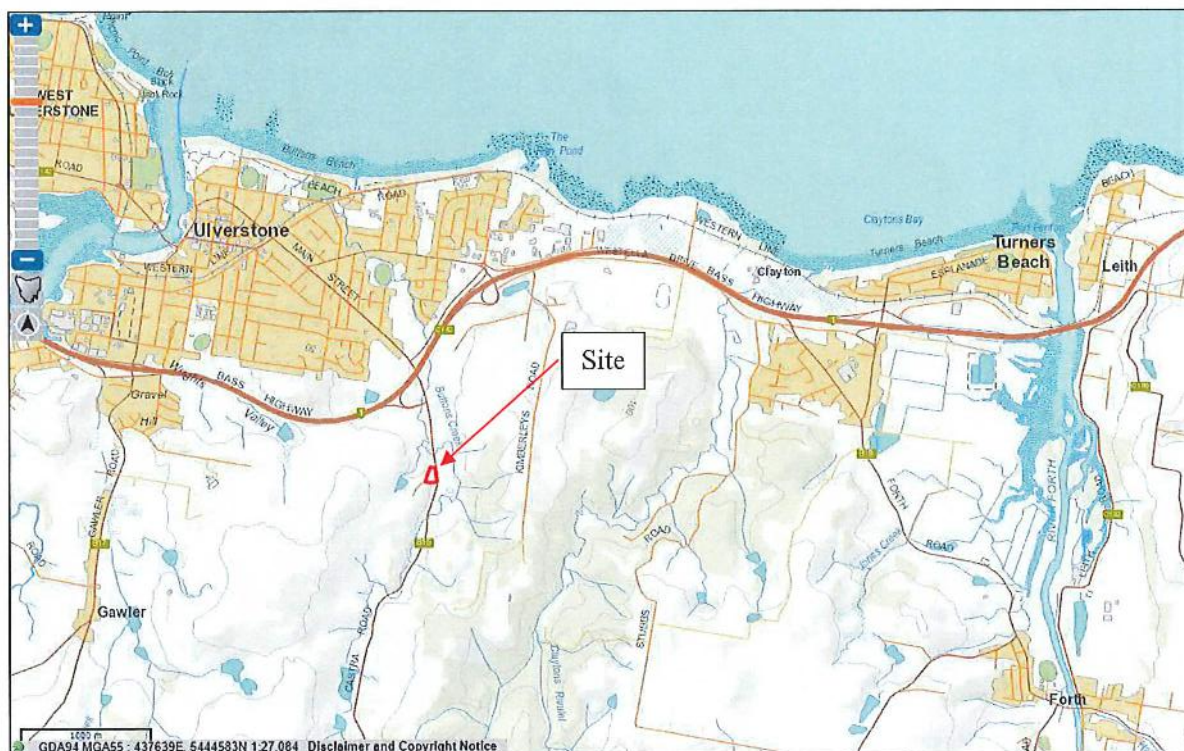


Figure 1. Regional Location of Project Area - The Land and Information System, Tasmania (LIST)

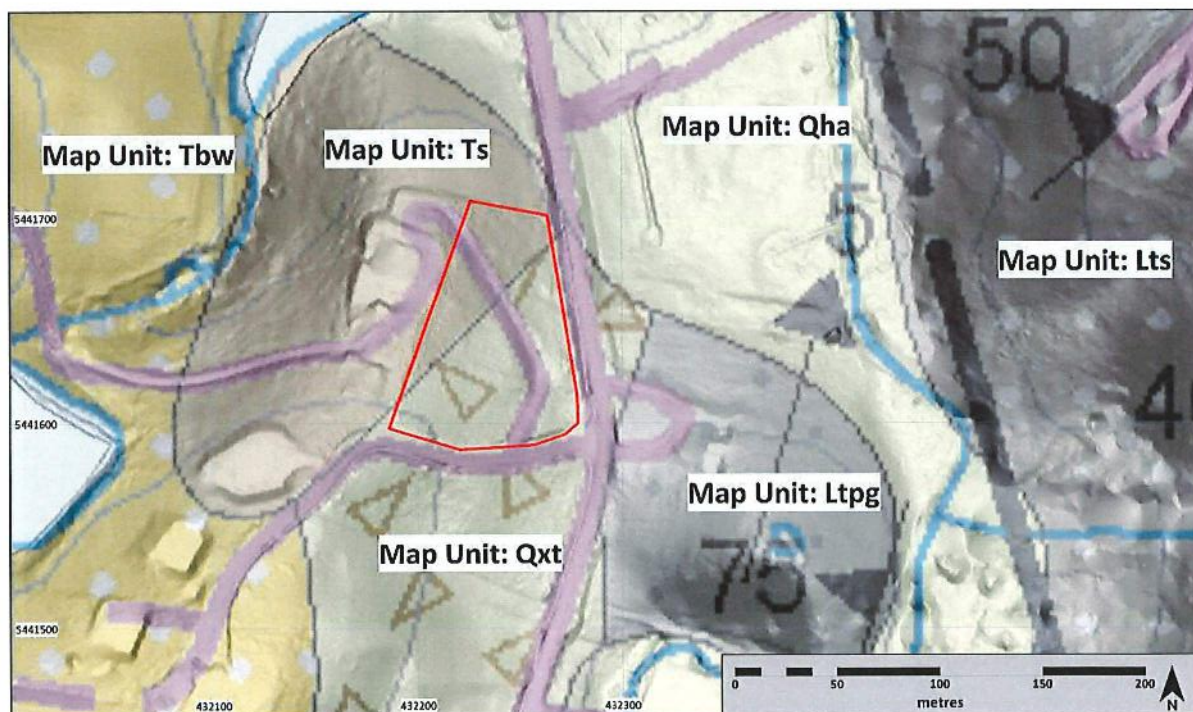


Figure 2 Regional Geology (The LIST)



Figure 3 Landslide Hazard Map (The LIST) – Entire orange area is the extent of possible remnant landslide

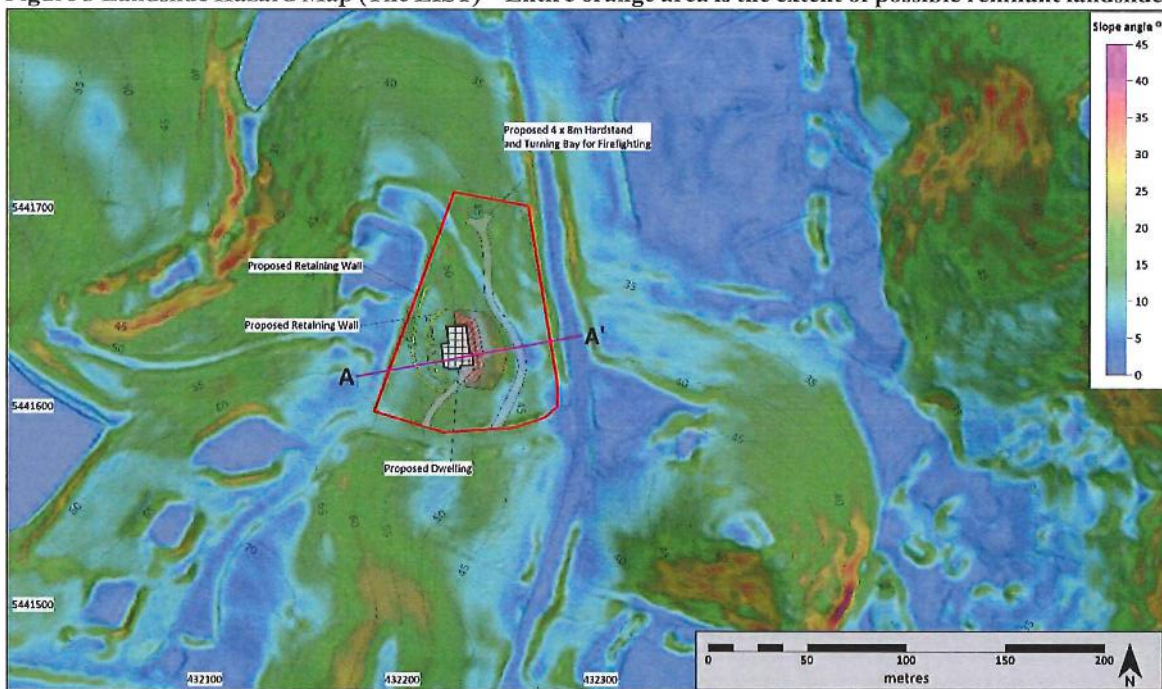


Figure 4 Slope angle map

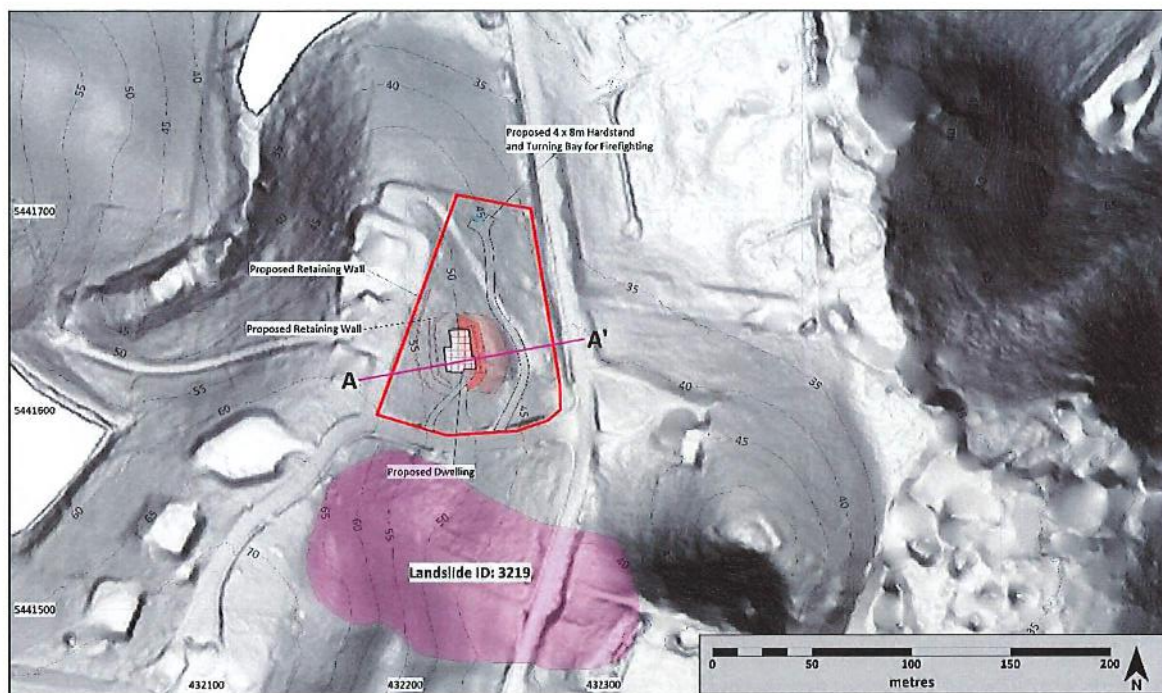


Figure 5 Hillshade mapping

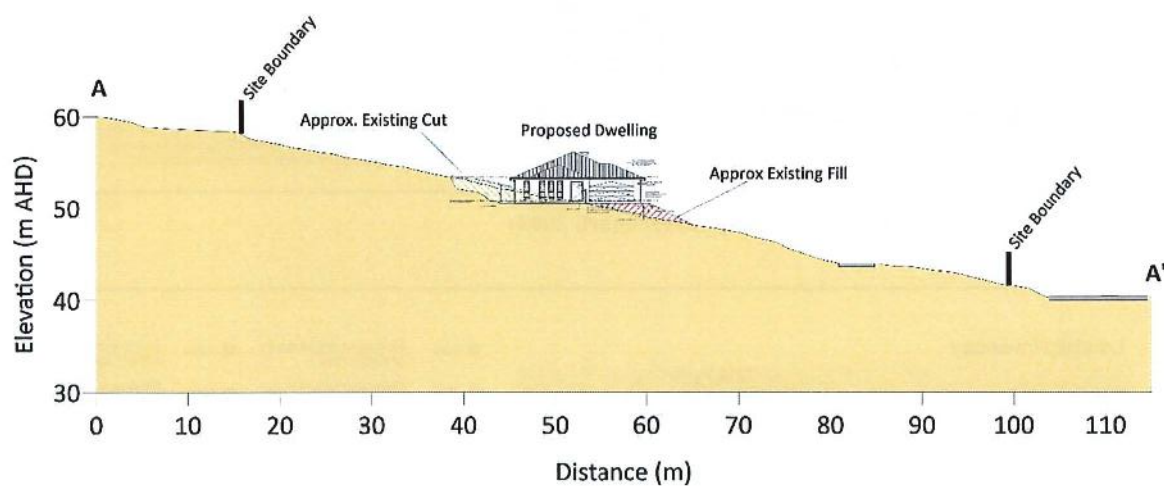


Figure 6 Cross section profile A-A' developed from Burnie Devonport Launceston 2013 LiDAR data.

Attachment 2. Landslide Hazard Mapping (MRT)

2.1 Geomorphology & Landslide Inventory

The geomorphology and landslide inventory maps display the site is situated within an affected area of possible landslide within inventory point 2900. The landslide point 3219 represents a discrete soil slide – Activity unknown that has been defined using air photo interpretation. Hill shade mapping suggests the interpretation of landslide point 3219 is correct.

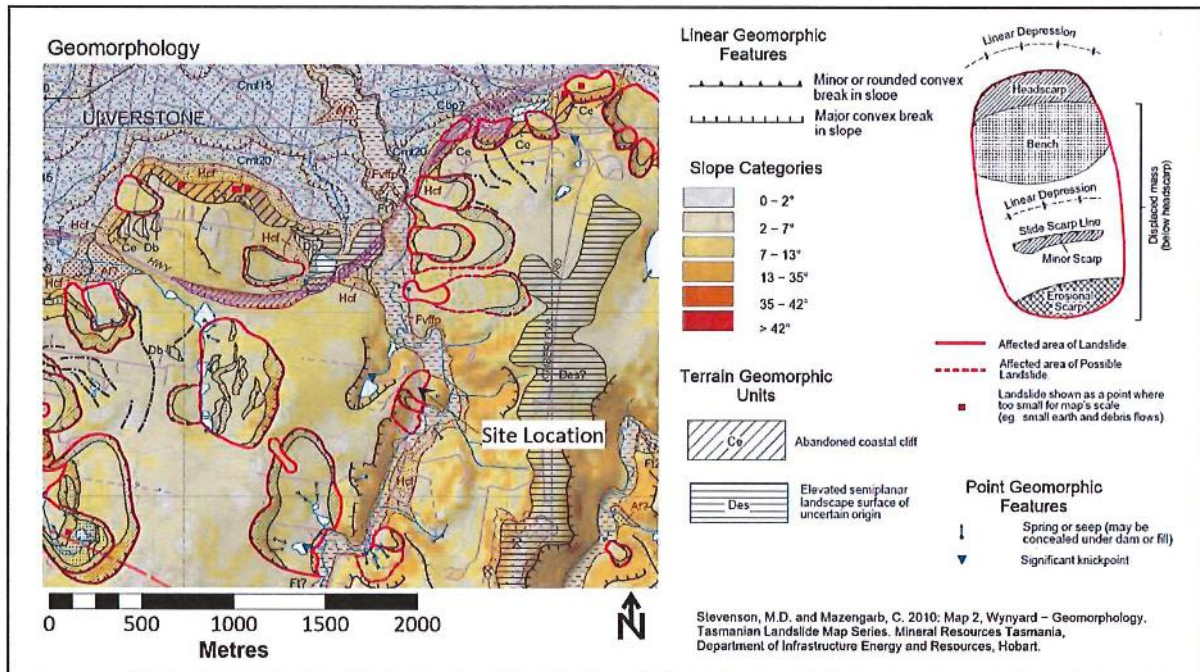


Figure 7 Ulverstone Geomorphology Map (Mazengarb 2004)

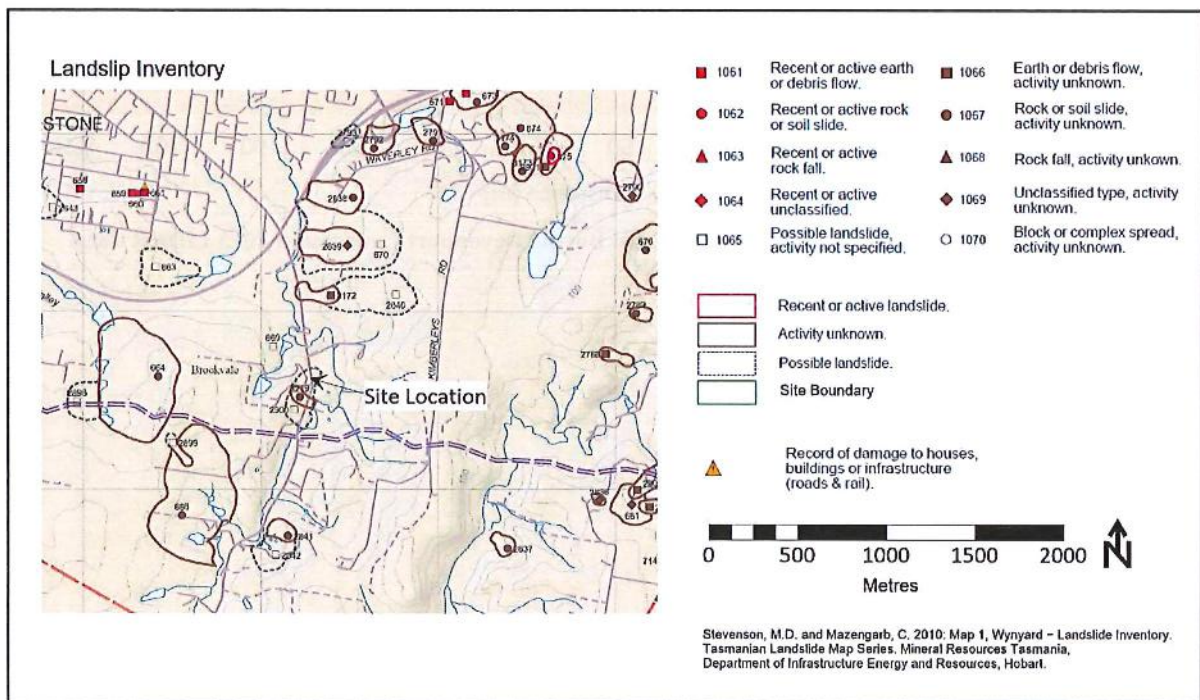


Figure 8 Ulverstone Geomorphology & Landslide Inventory Map (Mazengarb 2004)

2.2 Rockfall Susceptibility

A Rockfall susceptibility hazard has not been identified at the site or within 200 m radius of the site.

2.3 Shallow Slide Susceptibility

A moderate shallow slide and flow hazard susceptibility source and runout area has been inferred across the proposed development with a slope angle of 10-20° (Figure 9). Areas of the site that have been altered by cut and fill would fall into the high susceptibility source area as slope angles exceed 20°.

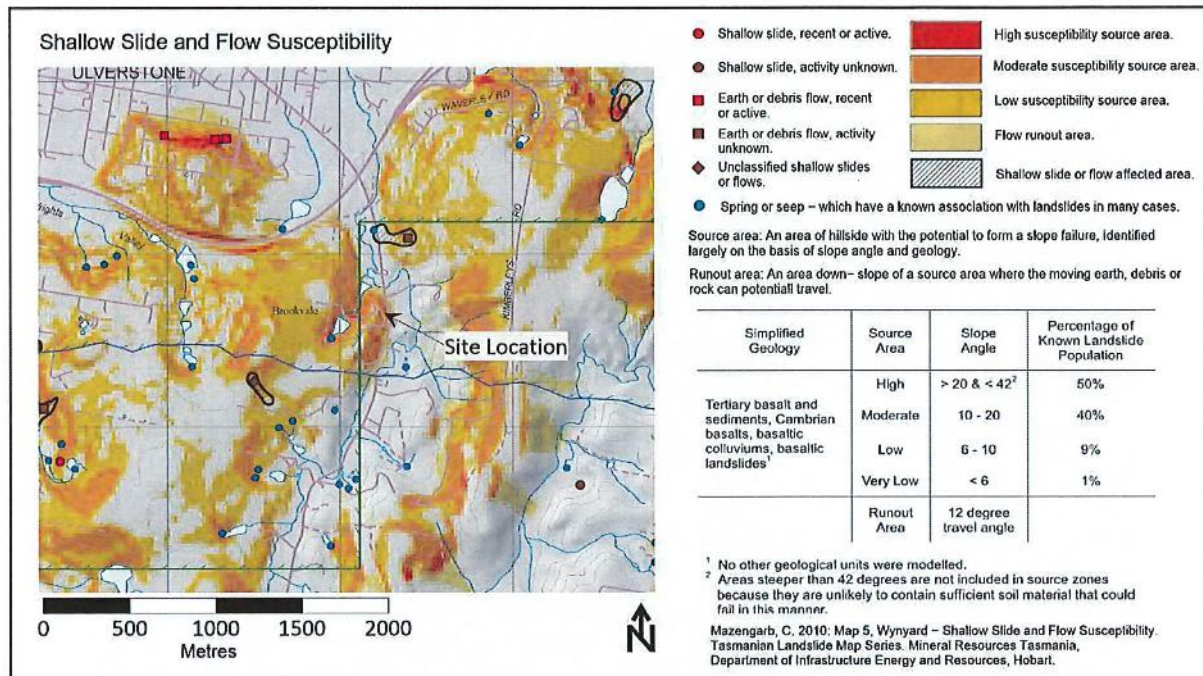


Figure 9 Ulverstone Shallow Slide Susceptibility Mapping (Mazengarb 2004)

2.4 Deep Seated Slide Susceptibility

Small areas of deep-seated slip hazard source area have been defined at the site. The site straddles the mapped boundary of a “possible landslide, activity unknown”, however, this geomorphology shown in the hillshade mapping from Burnie-Devonport-Launceston 2013 LiDAR does not (Figure 10).

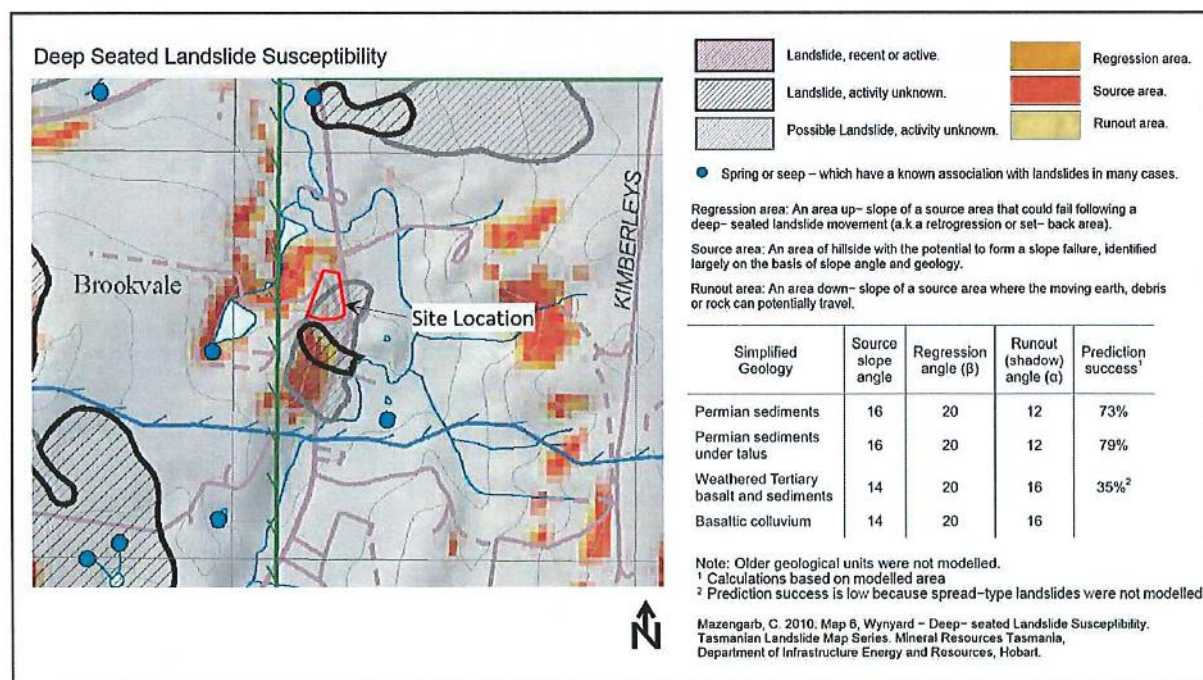


Figure 10 Ulverstone Deep Seated Slide Susceptibility Mapping (Mazengarb 2004)

Attachment 3. Proposed Development

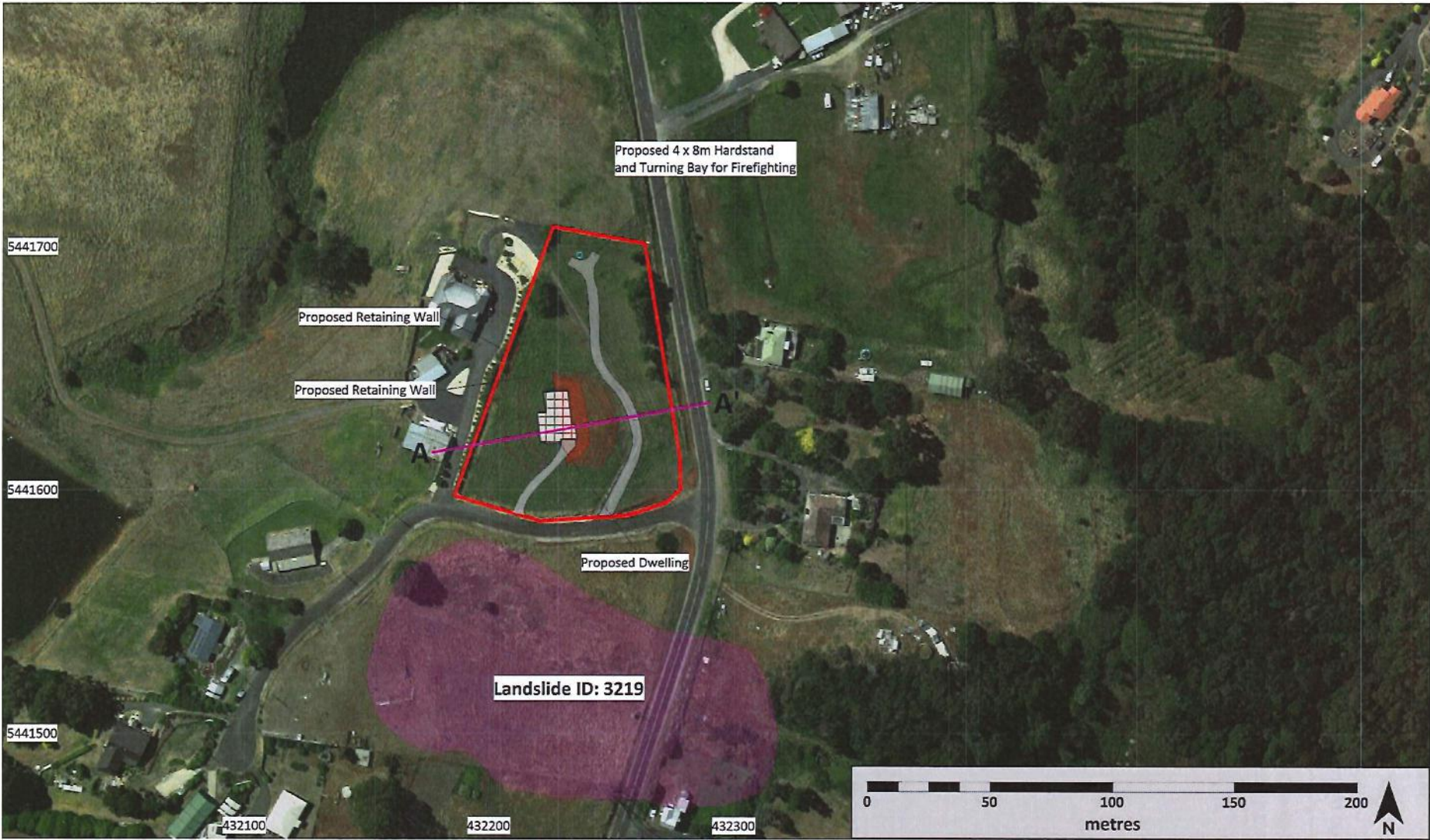


Figure 11 Site plans - GES Simplified

Attachment 4. Site Photos



Photo 1 Looking south at the fill batter

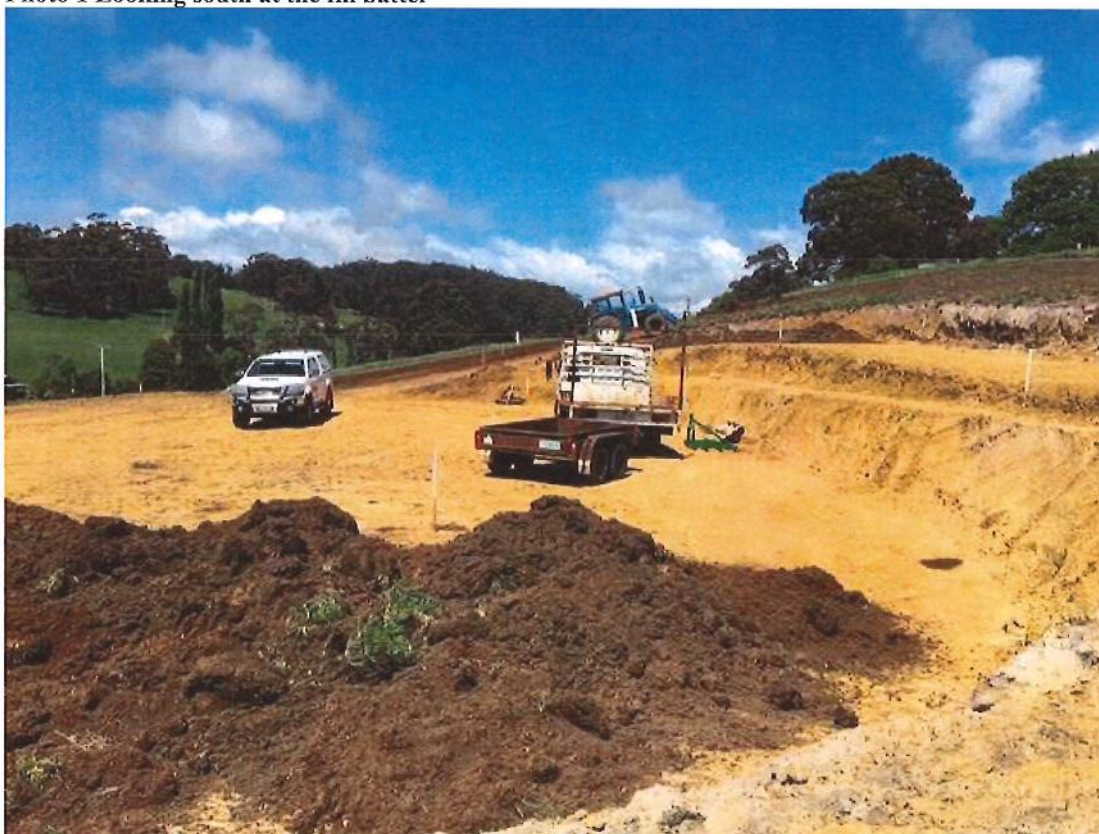


Photo 2 Looking south at the cut to fill platform with the three sub-vertical cuts to the west

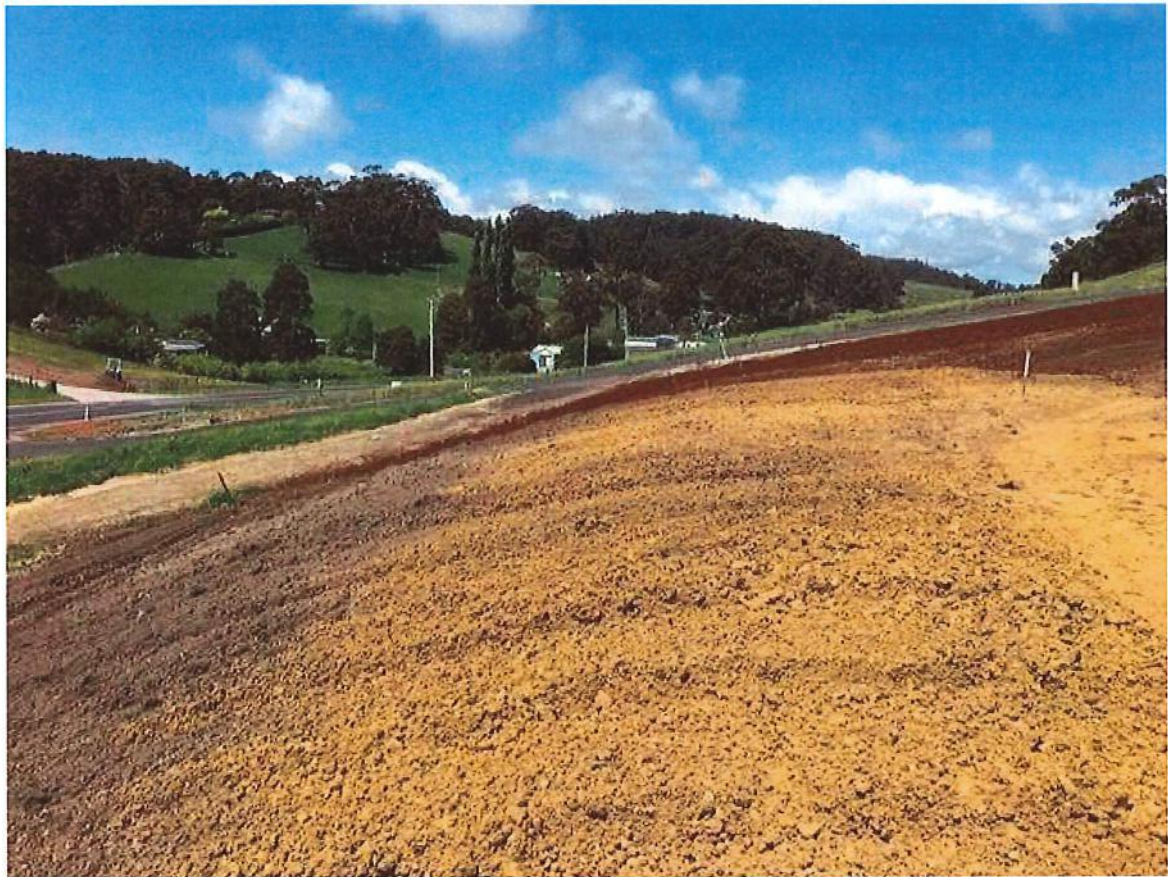
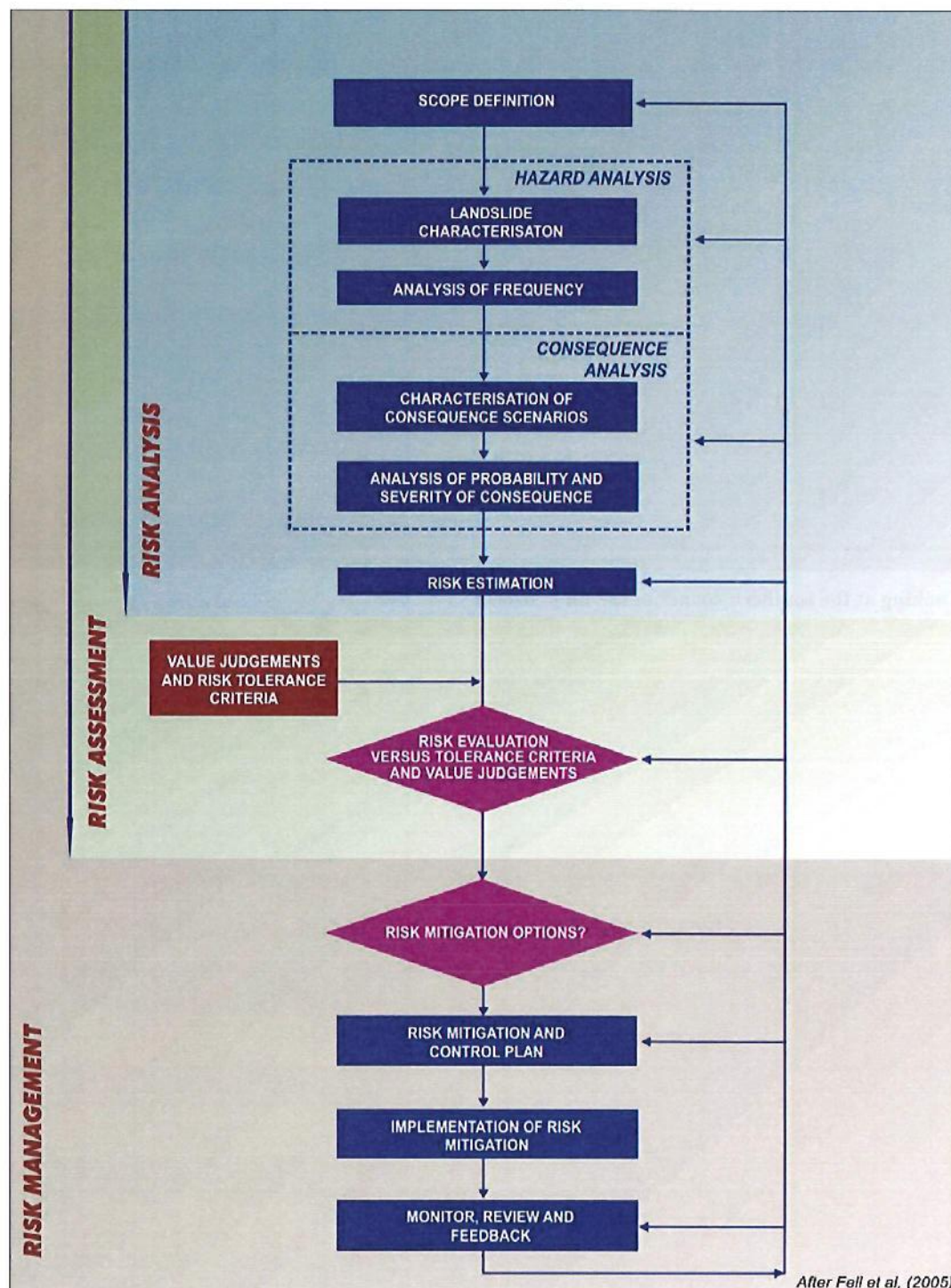


Photo 3 Looking at the southern corner of the fill platform

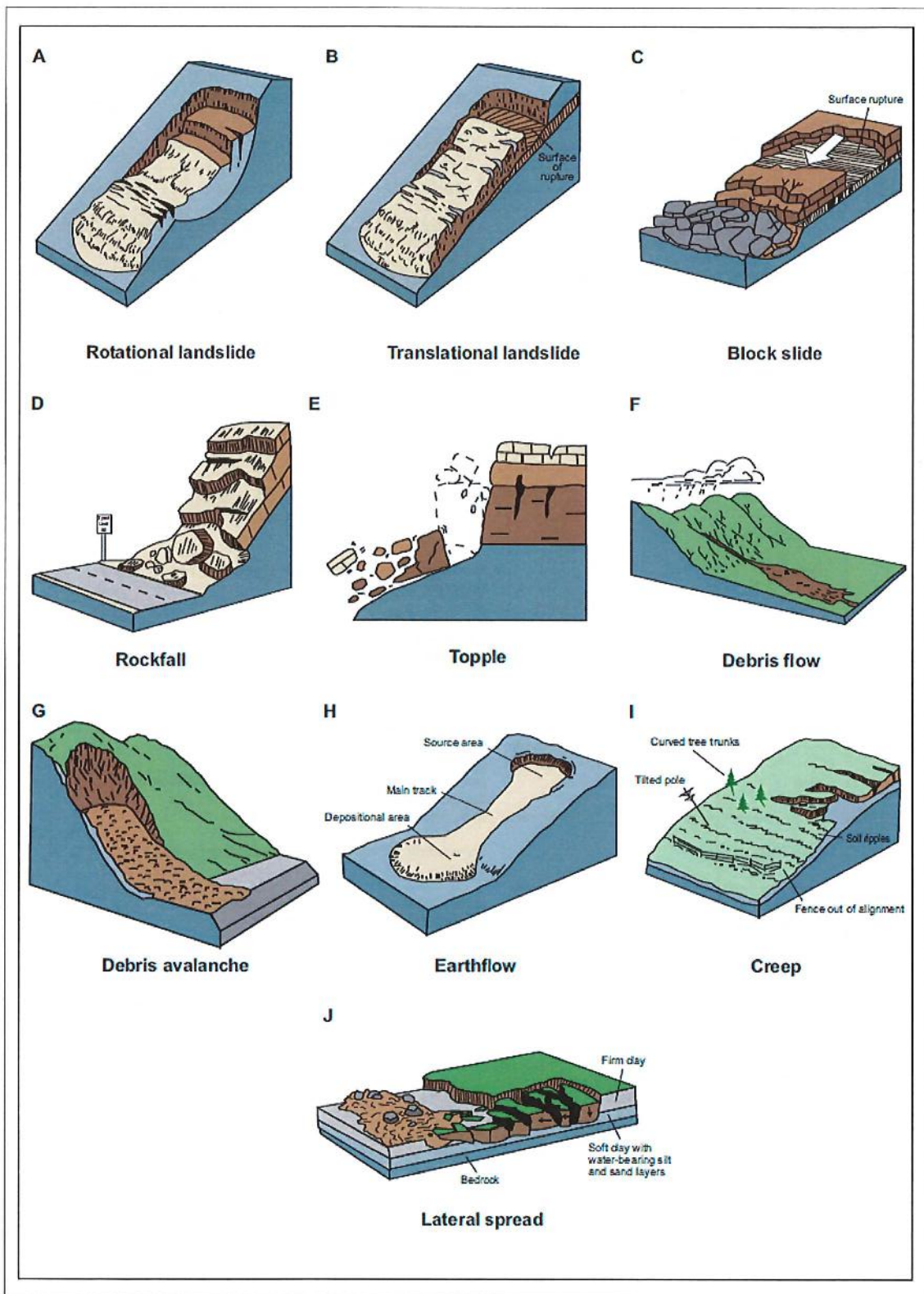
Attachment 5. Landslide Risk Framework & Terminology

This Attachment addresses slope stability (landslide) issues for the proposal in accordance with Australian Geomechanics Society (AGS) Landslide Risk Management (2007). The process is depicted in Figure 1.

The main types of landslide movement are shown in Figure 9.2 and Table 9.1.



Source: Reproduced without amendment from AGS (2007a). Guideline for Landslide Susceptibility, Hazard and Risk Zoning. Australian Geomechanics, Vol 42 No 1 March 2007



Source: From Appendix B of AGS (2007c). Practice Notes Guidelines for Landslide Risk Management. Australian Geomechanics Vol 42 No 1 March 2007

Table 4 Main Types of Landslide Movement

TYPE OF MOVEMENT		TYPE OF MATERIAL	
		BEDROCK	ENGINEERING SOILS
			Predominantly Coarse
			Predominantly Fine
FALLS		Rock fall	Debris fall
TOPPLES		Rock topple	Debris topple
SLIDES	ROTATIONAL	Rock slide	Debris slide
	TRANSLATIONAL		
LATERAL SPREADS		Rock spread	Debris spread
FLOWS		Rock flow (Deep creep)	Debris flow (Soil creep)
COMPLEX		Combination of two or more principle types of movement	

Source: From Appendix B of AGS (2007c). Practice Notes Guidelines for Landslide Risk Management. Australian Geomechanics Vol 42 No 1 March 2007

Velocity Class	Description	Velocity (mm/sec)	Typical Velocity	Probable Destructive Significance
7	Extremely Rapid	5×10^3	5 m/sec	Catastrophe of major violence; buildings destroyed by impact of displaced material; many deaths; escape unlikely
6	Very Rapid	5×10^1	3 m/min	Some lives lost; velocity too great to permit all persons to escape
5	Rapid	5×10^{-1}	1.8 m/hr	Escape evacuation possible; structures; possessions, and equipment destroyed
4	Moderate	5×10^{-3}	13 m/month	Some temporary and insensitive structures can be temporarily maintained
3	Slow	5×10^{-5}	1.6 m/year	Remedial construction can be undertaken during movement; insensitive structures can be maintained with frequent maintenance work if total movement is not large during a particular acceleration phase
2	Very Slow	5×10^{-7}	15 mm/year	Some permanent structures undamaged by movement
	Extremely SLOW			Imperceptible without instruments; construction POSSIBLE WITH PRECAUTIONS

Source: From Appendix B of AGS (2007c). Practice Notes Guidelines for Landslide Risk Management. Australian Geomechanics Vol 42 No 1 March 2007

Description	Size (m ²)
Very small	0.01
Small	10
Medium	1,000
Large	100,000
Very large	1,000,000

Size is areal extent of failure zone

After: van Schalkwyk, A and Thomas, M.A. (1991). Slope failures associated with the floods of September 1987 and February 1988 in Natal and Kwa-Zulu, Republic of South Africa. Geotechnics in the African Environment, Blight et al. (Eds), pp. 57-63

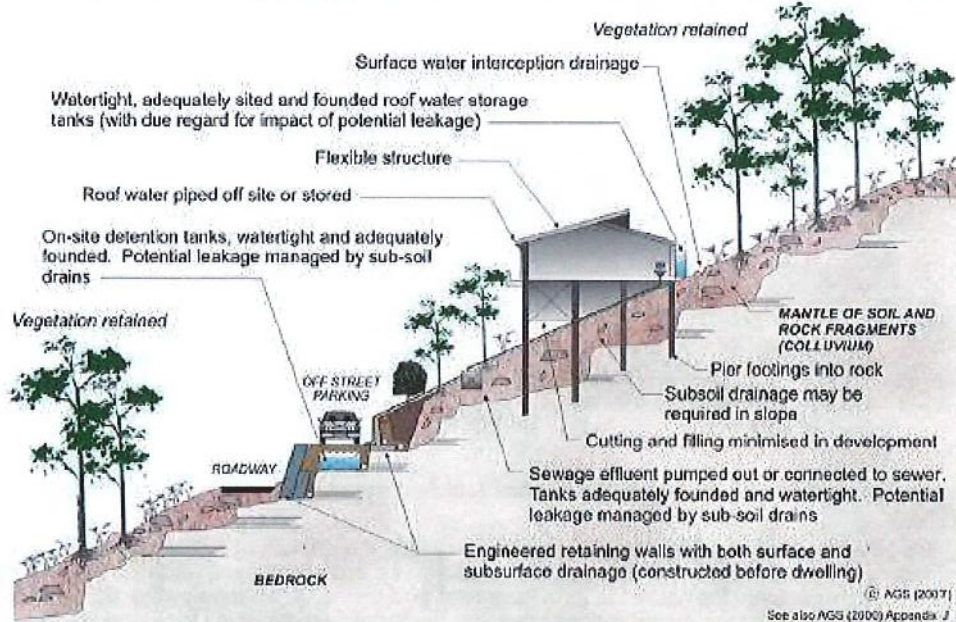
Attachment 6. Landslide Risk Management Guidelines

AUSTRALIAN GEOGUIDE LR8 (CONSTRUCTION PRACTICE)

HILLSIDE CONSTRUCTION PRACTICE

Sensible development practices are required when building on hillsides, particularly if the hillside has more than a low risk of instability (GeoGuide LR7). Only building techniques intended to maintain, or reduce, the overall level of landslide risk should be considered. Examples of good hillside construction practice are illustrated below.

EXAMPLES OF GOOD HILLSIDE CONSTRUCTION PRACTICE



WHY ARE THESE PRACTICES GOOD?

Roadways and parking areas - are paved and incorporate kerbs which prevent water discharging straight into the hillside (GeoGuide LR5).

Cuttings - are supported by retaining walls (GeoGuide LR6).

Retaining walls - are engineer designed to withstand the lateral earth pressures and surcharges expected, and include drains to prevent water pressures developing in the backfill. Where the ground slopes steeply down towards the high side of a retaining wall, the disturbing force (see GeoGuide LR6) can be two or more times that in level ground. Retaining walls must be designed taking these forces into account.

Sewage - whether treated or not is either taken away in pipes or contained in properly founded tanks so it cannot soak into the ground.

Surface water - from roofs and other hard surfaces is piped away to a suitable discharge point rather than being allowed to infiltrate into the ground. Preferably, the discharge point will be in a natural creek where ground water exits, rather than enters, the ground. Shallow, lined, drains on the surface can fulfil the same purpose (GeoGuide LR5).

Surface loads - are minimised. No fill embankments have been built. The house is a lightweight structure. Foundation loads have been taken down below the level at which a landslide is likely to occur and, preferably, to rock. This sort of construction is probably not applicable to soil slopes (GeoGuide LR3). If you are uncertain whether your site has rock near the surface, or is essentially a soil slope, you should engage a geotechnical practitioner to find out.

Flexible structures - have been used because they can tolerate a certain amount of movement with minimal signs of distress and maintain their functionality.

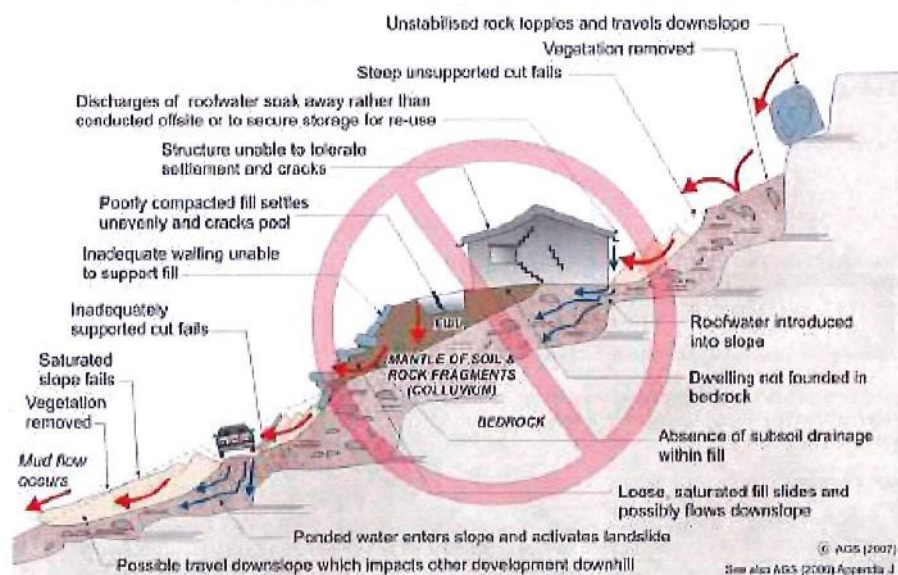
Vegetation clearance - on soil slopes has been kept to a reasonable minimum. Trees, and to a lesser extent smaller vegetation, take large quantities of water out of the ground every day. This lowers the ground water table, which in turn helps to maintain the stability of the slope. Large scale clearing can result in a rise in water table with a consequent increase in the likelihood of a landslide (GeoGuide LR5). An exception may have to be made to this rule on steep rock slopes where trees have little effect on the water table, but their roots pose a landslide hazard by dislodging boulders.

Possible effects of ignoring good construction practices are illustrated on page 2. Unfortunately, these poor construction practices are not as unusual as you might think and are often chosen because, on the face of it, they will save the developer, or owner, money. You should not lose sight of the fact that the cost and anguish associated with any one of the disasters illustrated, is likely to more than wipe out any apparent savings at the outset.

ADOPT GOOD PRACTICE ON HILLSIDE SITES

AUSTRALIAN GEOGUIDE LR8 (CONSTRUCTION PRACTICE)

EXAMPLES OF **POOR** HILLSIDE CONSTRUCTION PRACTICE



WHY ARE THESE PRACTICES POOR?

Roadways and parking areas - are unsurfaced and lack proper table drains (gutters) causing surface water to pond and soak into the ground.

Cut and fill - has been used to balance earthworks quantities and level the site leaving unstable cut faces and added large surface loads to the ground. Failure to compact the fill properly has led to settlement, which will probably continue for several years after completion. The house and pool have been built on the fill and have settled with it and cracked. Leakage from the cracked pool and the applied surface loads from the fill have combined to cause landslides.

Retaining walls - have been avoided, to minimise cost, and hand placed rock walls used instead. Without applying engineering design principles, the walls have failed to provide the required support to the ground and have failed, creating a very dangerous situation.

A heavy, rigid, house - has been built on shallow, conventional, footings. Not only has the brickwork cracked because of the resulting ground movements, but it has also become involved in a man-made landslide.

Soak-away drainage - has been used for sewage and surface water run-off from roofs and pavements. This water soaks into the ground and raises the water table (GeoGuide LR5). Subsoil drains that run along the contours should be avoided for the same reason. If felt necessary, subsoil drains should run steeply downhill in a chevron, or herring bone, pattern. This may conflict with the requirements for effluent and surface water disposal (GeoGuide LR9) and if so, you will need to seek professional advice.

Rock debris - from landslides higher up on the slope seems likely to pass through the site. Such locations are often referred to by geotechnical practitioners as "debris flow paths". Rock is normally even denser than ordinary fill, so even quite modest boulders are likely to weigh many tonnes and do a lot of damage once they start to roll. Boulders have been known to travel hundreds of metres downhill leaving behind a trail of destruction.

Vegetation - has been completely cleared, leading to a possible rise in the water table and increased landslide risk (GeoGuide LR5).

DON'T CUT CORNERS ON HILLSIDE SITES - OBTAIN ADVICE FROM A GEOTECHNICAL PRACTITIONER

More information relevant to your particular situation may be found in other Australian GeoGuides:

- | | |
|-------------------------------------|--|
| • GeoGuide LR1 - Introduction | • GeoGuide LR6 - Retaining Walls |
| • GeoGuide LR2 - Landslides | • GeoGuide LR7 - Landslide Risk |
| • GeoGuide LR3 - Landslides in Soil | • GeoGuide LR9 - Effluent & Surface Water Disposal |
| • GeoGuide LR4 - Landslides in Rock | • GeoGuide LR10 - Coastal Landslides |
| • GeoGuide LR5 - Water & Drainage | • GeoGuide LR11 - Record Keeping |

The Australian GeoGuides (LR series) are a set of publications intended for property owners; local councils; planning authorities; developers; insurers; lawyers and, in fact, anyone who lives with, or has an interest in, a natural or engineered slope, a cutting, or an excavation. They are intended to help you understand why slopes and retaining structures can be a hazard and what can be done with appropriate professional advice and local council approval (if required) to remove, reduce, or minimise the risk they represent. The GeoGuides have been prepared by the Australian Geomechanics Society, a specialist technical society within Engineers Australia, the national peak body for all engineering disciplines in Australia, whose members are professional geotechnical engineers and engineering geologists with a particular interest in ground engineering. The GeoGuides have been funded under the Australian governments' National Disaster Mitigation Program.

Attachment 7. Qualitative Risk Assessment Tables

Likelihood & Consequence Index

QUALITATIVE MEASURES OF LIKELIHOOD

Approximate Annual Probability		Implied Indicative Landslide Recurrence Interval		Description	Descriptor	Level
Indicative Value	Notional Boundary					
10^{-1}	5×10^{-2}	10 years	20 years	The event is expected to occur over the design life.	ALMOST CERTAIN	A
10^{-2}		100 years		The event will probably occur under adverse conditions over the design life.	LIKELY	B
10^{-3}	5×10^{-3}	1000 years	200 years	The event could occur under adverse conditions over the design life.	POSSIBLE	C
10^{-4}		10,000 years		The event might occur under very adverse circumstances over the design life.	UNLIKELY	D
10^{-5}	5×10^{-5}	100,000 years	20,000 years	The event is conceivable but only under exceptional circumstances over the design life.	RARE	E
10^{-6}	5×10^{-6}	1,000,000 years	200,000 years	The event is inconceivable or fanciful over the design life.	BARELY CREDIBLE	F

Note: (1) The table should be used from left to right; use Approximate Annual Probability or Description to assign Descriptor, not *vice versa*.

QUALITATIVE MEASURES OF CONSEQUENCES TO PROPERTY

Approximate Cost of Damage		Description	Descriptor	Level
Indicative Value	Notional Boundary			
200%	100%	Structure(s) completely destroyed and/or large scale damage requiring major engineering works for stabilisation. Could cause at least one adjacent property major consequence damage.	CATASTROPHIC	1
60%		Extensive damage to most of structure, and/or extending beyond site boundaries requiring significant stabilisation works. Could cause at least one adjacent property medium consequence damage.	MAJOR	2
20%	40%	Moderate damage to some of structure, and/or significant part of site requiring large stabilisation works. Could cause at least one adjacent property minor consequence damage.	MEDIUM	3
5%	10%	Limited damage to part of structure, and/or part of site requiring some reinstatement stabilisation works.	MINOR	4
0.5%	1%	Little damage. (Note for high probability event (Almost Certain), this category may be subdivided at a notional boundary of 0.1%. See Risk Matrix.)	INSIGNIFICANT	5

Notes: (2) The Approximate Cost of Damage is expressed as a percentage of market value, being the cost of the improved value of the unaffected property which includes the land plus the unaffected structures.

(3) The Approximate Cost is to be an estimate of the direct cost of the damage, such as the cost of reinstatement of the damaged portion of the property (land plus structures), stabilisation works required to render the site to tolerable risk level for the landslide which has occurred and professional design fees, and consequential costs such as legal fees, temporary accommodation. It does not include additional stabilisation works to address other landslides which may affect the property.

(4) The table should be used from left to right; use Approximate Cost of Damage or Description to assign Descriptor, not *vice versa*.

Qualitative Risk Matrix

QUALITATIVE RISK ANALYSIS MATRIX – LEVEL OF RISK TO PROPERTY

LIKELIHOOD		CONSEQUENCES TO PROPERTY (With Indicative Approximate Cost of Damage)				
	Indicative Value of Approximate Annual Probability	1: CATASTROPHIC 200%	2: MAJOR 60%	3: MEDIUM 20%	4: MINOR 5%	5: INSIGNIFICANT 0.5%
A – ALMOST CERTAIN	10 ⁻¹	VH	VH	VH	H	M or L (5)
B – LIKELY	10 ⁻²	VH	VH	H	M	L
C – POSSIBLE	10 ⁻³	VH	H	M	M	VL
D – UNLIKELY	10 ⁻⁴	H	M	L	L	VL
E – RARE	10 ⁻⁵	M	L	L	VL	VL
F – BARELY CREDIBLE	10 ⁻⁶	L	VL	VL	VL	VL

Notes: (5) For Cell A5, may be subdivided such that a consequence of less than 0.1% is Low Risk.

(6) When considering a risk assessment it must be clearly stated whether it is for existing conditions or with risk control measures which may not be implemented at the current time.

RISK LEVEL IMPLICATIONS

Risk Level		Example Implications (7)
VH	VERY HIGH RISK	Unacceptable without treatment. Extensive detailed investigation and research, planning and implementation of treatment options essential to reduce risk to Low; may be too expensive and not practical. Work likely to cost more than value of the property.
H	HIGH RISK	Unacceptable without treatment. Detailed investigation, planning and implementation of treatment options required to reduce risk to Low. Work would cost a substantial sum in relation to the value of the property.
M	MODERATE RISK	May be tolerated in certain circumstances (subject to regulator's approval) but requires investigation, planning and implementation of treatment options to reduce the risk to Low. Treatment options to reduce to Low risk should be implemented as soon as practicable.
L	LOW RISK	Usually acceptable to regulators. Where treatment has been required to reduce the risk to this level, ongoing maintenance is required.
VL	VERY LOW RISK	Acceptable. Manage by normal slope maintenance procedures.

Note: (7) The implications for a particular situation are to be determined by all parties to the risk assessment and may depend on the nature of the property at risk; these are only given as a general guide.

ONSITE WASTEWATER ASSESSMENT

Lot 7 Brookvale Road

Ulverstone

December 2020

Wilson Homes Job No 712806



GEO-ENVIRONMENTAL
S O L U T I O N S

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES
Received: 25 FEB 2021
Application No:
Doc. Id:

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Introduction

Client: Wilson Homes
Date of inspection: 31/10/20
Location: Lot 7 Brookvale Road, Ulverstone
Land description: Approx 7689m² residential lot
Building type: Proposed new dwelling
Investigation: 70mm hand auger
Inspected by: M Barnett

Background information

Map: Mineral Resources Tasmania, Ulverstone sheet 1:25000
Rock type: Quaternary sediments
Soil depth: 1.70m
Planning overlays: Landslip Hazard / Bushfire Prone Areas
Local meteorology: Annual rainfall approx 900 mm
Local services: Tank water with onsite wastewater.

Site conditions

Slope and aspect: ~15% south east facing slope
Site drainage: Good fall moderate drainage
Vegetation: Mixed pasture species
Weather conditions: Fine, approx 5mm rainfall received in preceding 7 days.
Ground surface: Slightly moist surface conditions

Investigation

A number of auger holes were completed to identify the distribution of, and variation in soil materials on the site. Representative auger holes were drilled on site at the proposed building location and chosen for testing and classification according to AS1547-2012 (see profile summaries).

Profile summary 1

Hole 1 Depth (m)	Hole 2 Depth (m)	Horizon	Description
0.00 – 0.30	0.00 – 0.30	B1	Greyish Brown Clayey SAND (SC) , ~10% clay, weak polyhedral structure, slightly moist medium dense consistency, ~10% gravels, disturbed appearance, gradual boundary to
0.30 – 0.70	0.30 – 0.70	B12	Greyish Brown Sandy CLAY (CL) , moderately developed polyhedral structure, slightly moist stiff consistency, medium plasticity, ~10% gravels, gradual boundary to
0.30 – 1.70	0.70 – 1.60	B2	Brown Silty CLAY (CH) , well developed polyhedral structure, slightly moist stiff consistency, high plasticity, auger refusal on quaternary sediments

Soil profile notes

Soils on the site are developing over quaternary sediments, derived of the surrounding basaltic parent material.

Wastewater Classification & Recommendations

According to AS1547-2012 (on-site waste-water management) the natural soil is classified as **LIGHT CLAY (category 5)**. Due to the slope angle and potential landslide hazard, it is recommended that any onsite wastewater involve irrigation of secondary treated effluent. Therefore, it is proposed to install an AWTs with irrigation. A Design Irrigation Rate (DIR) of 3mm/day is typically applied to category 5 soils. However, the DIR has been reduced to 2.4mm/day for this site due to the slope angle.

The proposed four-bedroom plus rumpus dwelling has a calculated maximum wastewater loading of 720L/day. This is based on tank water supply and a maximum occupancy of 6 people (120L/person/day).

Using a DIR of 2.4mm/day, a package treatment system will require an irrigation area of at least 300m² irrigation area to accommodate the expected flows. This will need to be installed as subsurface irrigation to avoid concentration of wastewater application. A cut-off drain will be required upslope of the application area to divert surface water flows.

The wastewater area must be excluded from traffic or any future building works and a 100% reserve area must be set aside and kept free from development for future wastewater requirements. For further detail please refer to the attached plan and Trench summary reports.

The following setback distances are required to comply with the Building Act 2016:

Upslope or level buildings:	3m
Downslope buildings:	6m
Upslope or level boundaries:	1.5m
Downslope boundaries:	15.5m
Downslope surface water:	100m

Compliance with Building Act 2016 Guidelines for On-site Wastewater Management Systems is outlined in the attached table.

During construction GES will need to be notified of any major variation to the soil conditions or wastewater loading as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist

GES P/L**Land suitability and system sizing for on-site wastewater management**
Trench 3.0 (Australian Institute of Environmental Health)**Assessment Report****Site assessment for on-site waste water disposal**

Assessment for Wilson Homes

Assess. Date 21-Dec-20

Ref. No.

Assessed site(s) Lot 7 Brookvale Rd Ulverstone

Site(s) inspected 31-Oct-20

Local authority Central Coast

Assessed by John Paul Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

Wastewater Characteristics

Wastewater volume (L/day) used for this assessment = 720 (using the 'No. of bedrooms in a dwelling' method)

Septic tank wastewater volume (L/day) = 240

Sullage volume (L/day) = 480

Total nitrogen (kg/year) generated by wastewater = 2.2

Total phosphorus (kg/year) generated by wastewater = 1.8

Climatic assumptions for site

(Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	45	53	66	64	56	57	78	83	76	79	73	68
Adopted rainfall (R, mm)	45	53	66	64	56	57	78	83	76	79	73	68
Retained rain (Rr, mm)	34	40	50	48	42	43	59	62	57	59	55	51
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	96	70	42	15	0	-13	-27	-20	6	25	50	75

Annual evapotranspiration less retained rain (mm) = 319

Soil characteristics

Texture = Light clay

Category = 5

Thick. (m) = 1.6

Adopted permeability (m/day) = 0.24

Adopted LTAR (L/sq m/day) = 2

Min depth (m) to water = 5

Proposed disposal and treatment methods

Proportion of wastewater to be retained on site: All wastewater will be disposed of on the site

The preferred method of on-site primary treatment: In a package treatment plant

The preferred method of on-site secondary treatment: In-ground

The preferred type of in-ground secondary treatment: None

The preferred type of above-ground secondary treatment: Trickle irrigation

Site modifications or specific designs: Not needed

Suggested dimensions for on-site secondary treatment system

Total length (m) = 30

Width (m) = 10

Depth (m) = 0.2

Total disposal area (sq m) required = 300

comprising a Primary Area (sq m) of: 300

and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

To enter comments, click on the line below 'Comments'. (This yellow-shaded box and the buttons on this page will not be printed.)

CommentsUsing the DIR of 2.4mm/day, a irrigation area of 300m² will be required to accommodate the expected wastewater flows.

GES P/L

Land suitability and system sizing for on-site wastewater management
Trench 3.0 (Australian Institute of Environmental Health)

Site Capability Report**Site assessment for on-site waste water disposal**

Assessment for Wilson Homes

Assess. Date 21-Dec-20

Ref. No.

Assessed site(s) Lot 7 Brookvale Rd Ulverstone

Site(s) inspected 31-Oct-20

Local authority Central Coast

Assessed by John Paul Cumming

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	2,000	V. high	Low	Moderate	
	Density of disposal systems	/sq km	10	Mod.	Very low		
A	Slope angle	degrees	14	High	High		
	Slope form	Straight simple		High	Low		
	Surface drainage	Mod. good		High	Low		
	Flood potential	Site floods <1:100 yrs		High	Very low		
	Heavy rain events	Infrequent		High	Moderate		
	Aspect (Southern hemi.)	Faces E or W		V. high	Moderate		
	Frequency of strong winds	Common		High	Low		
	Wastewater volume	L/day	720	High	Moderate		
	SAR of septic tank effluent		1.7	High	Low		
	SAR of sullage		2.6	High	Moderate		
	Soil thickness	m	1.6	V. high	Very low		
	Depth to bedrock	m	1.6	V. high	Low		
	Surface rock outcrop	%	0	V. high	Very low		
	Cobbles in soil	%	0	V. high	Very low		
	Soil pH		5.5	High	Low		
	Soil bulk density	gm/cub. cm	1.4	High	Very low		
	Soil dispersion	Emerson No.	8	V. high	Very low		
	Adopted permeability	m/day	0.24	Mod.	Very low	Moderate	
A	Long Term Accept. Rate	L/day/sq m	2	High	High		

To enter comments, click on the line below 'Comments' . (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

The site has the capability to accept secondary treated effluent

GES P/L

Land suitability and system sizing for on-site wastewater management
Trench 3.0 (Australian Institute of Environmental Health)

Environmental Sensitivity Report
Site assessment for on-site waste water disposal

Assessment for Wilson Homes

Assess. Date 21-Dec-20

Ref. No.

Assessed site(s) Lot 7 Brookvale Rd Ulverstone

Site(s) inspected 31-Oct-20

Local authority Central Coast

Assessed by John Paul Cumming

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Cation exchange capacity	mmol/100g	75	High	Moderate		
	Phos. adsorp. capacity	kg/cub m	0.6	High	Moderate		
	Annual rainfall excess	mm	-319	High	Very low		
	Min. depth to water table	m	5	High	Very low		
	Annual nutrient load	kg	3.9	High	Very low		
	G'water environ. value	Agric non-sensit		V. high	Low		
	Min. separation dist. required	m	2	High	Very low		
	Risk to adjacent bores	Verylow		V. high	Very low		
	Surf. water env. value	Agric non-sensit		V. high	Low		
	Dist. to nearest surface water	m	160	V. high	Moderate		
	Dist. to nearest other feature	m	40	V. high	Moderate	No change	
	Risk of slope instability	Low		V. high	Low		
A	Distance to landslip	m	40	V. high	High		

To enter comments, click on the line below 'Comments'. (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

Irrigation of secondary treated effluent is required

Demonstration of wastewater system compliance to *Building Act 2016 Guidelines for On-site Wastewater Disposal*

Acceptable Solutions	Performance Criteria	Compliance
<p>A1</p> <p>Horizontal separation distance from a building to a land application area must comply with one of the following:</p> <ul style="list-style-type: none"> a) be no less than 6m; or b) be no less than: <ul style="list-style-type: none"> (i) 3m from an upslope building or level building; (ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building; (iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building. 	<p>P1</p> <ul style="list-style-type: none"> a) The land application area is located so that <ul style="list-style-type: none"> (i) the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.; and (ii) is setback a sufficient distance from a downslope excavation around or under a building to prevent inadequately treated wastewater seeping out of that excavation 	<p>Complies with A1 (b) (i) Land application area will be located with a minimum separation distance of 3m from an upslope or level building.</p> <p>Complies with A1 (b) (iii) Land application area will be located with a minimum separation distance of 6m of downslope building</p>
<p>A2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b)</p> <ul style="list-style-type: none"> (a) be no less than 100m; or (b) be no less than the following: <ul style="list-style-type: none"> (i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or (ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to down slope surface water. 	<p>P2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with all of the following:</p> <ul style="list-style-type: none"> a) Setbacks must be consistent with AS/NZS 1547 Appendix R; b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable. 	<p>Complies with A2 (a) Land application area located > 100m from downslope surface water</p>

<p>A3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with either of the following:</p> <p>(a) be no less than 40m from a property boundary; or</p> <p>(b) be no less than:</p> <ul style="list-style-type: none"> (i) 1.5m from an upslope or level property boundary; and (ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or (iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary. 	<p>P3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p>	<p>Complies with A3 (b) (i) Land application area will be located with a minimum separation distance of 1.5m from an upslope or level property boundary</p> <p>Complies with A3 (b) (iii) Land application area will be located with a minimum separation distance of 15.5m of downslope property boundary</p>
<p>A4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.</p>	<p>P4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable</p>	<p>Complies with A4 No bore or well identified within 50m</p>

<p>A5</p> <p>Vertical separation distance between groundwater and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.6m if secondary treated effluent</p>	<p>P5</p> <p>Vertical separation distance between groundwater and a land application area must comply with the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable</p>	<p>Complies with A5 (b)</p> <p>No groundwater encountered</p>
<p>A6</p> <p>Vertical separation distance between a limiting layer and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.5m if secondary treated effluent</p>	<p>P6</p> <p>Vertical setback must be consistent with AS/NZS1547 Appendix R.</p>	<p>Complies with A6 (b)</p> <p>fdj</p>
<p>A7</p> <p>nil</p>	<p>P7</p> <p>A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties</p>	<p>Complies</p>

AS1547:2012 – Loading Certificate – AWTS Design

This loading certificate sets out the design criteria and the limitations associated with use of the system.

Site Address: Lot 7 Brookvale Rd, Ulverstone

System Capacity: 6 persons @ 120L/person/day

Summary of Design Criteria

DIR: 2.4mm/day.

Irrigation area: 30m²

Reserve area location /use: Assigned – more than 100% available

Water saving features fitted: Standard fixtures

Allowable variation from design flows: 1 event @ 200% daily loading per quarter

Typical loading change consequences: Expected to be minimal due to use of AWTS and large land area

Overloading consequences: Continued overloading may cause hydraulic failure of the irrigation area and require upgrading/extension of the area. Risk considered acceptable due to monitoring through quarterly maintenance reports.

Underloading consequences: Lower than expected flows will have minimal consequences on system operation unless the house has long periods of non occupation. Under such circumstances additional maintenance of the system may be required. Long term under loading of the system may also result in vegetation die off in the irrigation areas and additional watering may be required. Risk considered acceptable due to monitoring through quarterly maintenance reports.

Lack of maintenance / monitoring consequences: Issues of underloading/overloading and condition of the irrigation area require monitoring and maintenance, if not completed system failure may result in unacceptable health and environmental risks. Monitoring and regulation by the permit authority required to ensure compliance.

Other considerations: Owners/occupiers must be made aware of the operational requirements and limitations of the system by the installer/maintenance contractor.

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
 Address: Lot No:

Type of work: Building work ☐ Plumbing work ☒ (X all applicable)

Description of work:

On-site wastewater management system - design
 (new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input checked="" type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: ☒ Performance Solution: ☐ (X the appropriate box)

Other details:

AWTS with irrigation

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: Dec-20
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: Dec-20
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by: Geo-Environmental Solutions	Date: Dec-20

Standards, codes or guidelines relied on in design process:

AS1547-2012 On-site domestic wastewater management.

AS3500 (Parts 0-5)-2013 Plumbing and drainage set.

Any other relevant documentation:

Onsite Wastewater Assessment - Lot 7 Brookvale Road ULVERSTONE 712806 - Dec-20

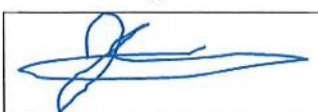
Onsite Wastewater Assessment - Lot 7 Brookvale Road ULVERSTONE 712806 - Dec-20

Attribution as designer:

I John-Paul Cumming, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		21/12/2020
Licence No:	CC774A		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- ☒ The works will not increase the demand for water supplied by TasWater
- ☒ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☒ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☒ The works will not damage or interfere with TasWater's works
- ☒ The works will not adversely affect TasWater's operations
- ☒ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☒ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☒ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I John-Paul Cumming..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au


	Name: (print)	Signed	Date
Designer:	John-Paul Cumming		21/12/2020

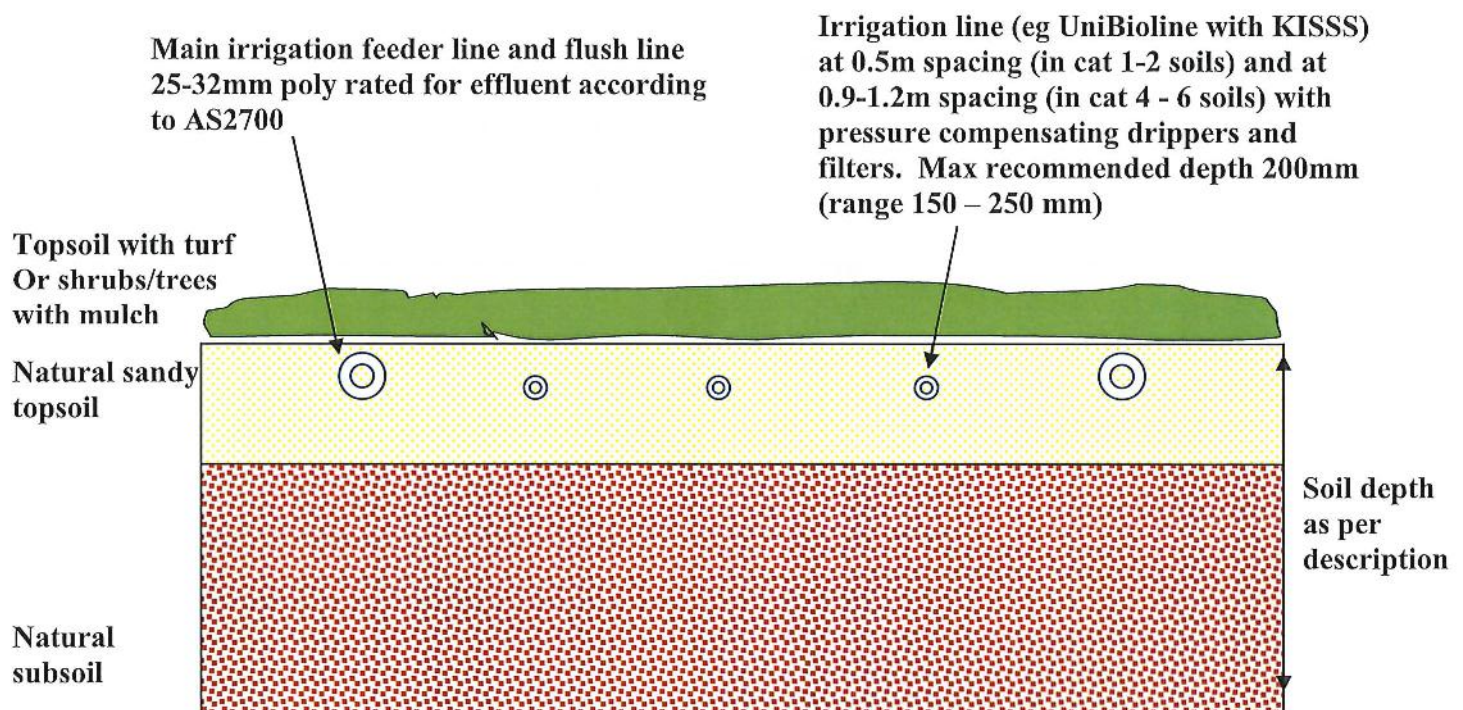


Figure 1 – AWTS

Subsurface irrigation design

To be used in conjunction with site evaluation report for construction of subsurface irrigation areas for use with aerated wastewater treatment systems (AWTS). **On dispersive soils gypsum should be added to tilled natural soil at 1Kg/5m².** The irrigation outlet line from the system or holding tank should utilize a 25-32mm main line out stepped down to a 11-16mm lateral drip irrigation lines in each irrigation row. If the final design is for shrubs/trees then a mounded row design is best employed with a nominal mound height of approximately 200mm.

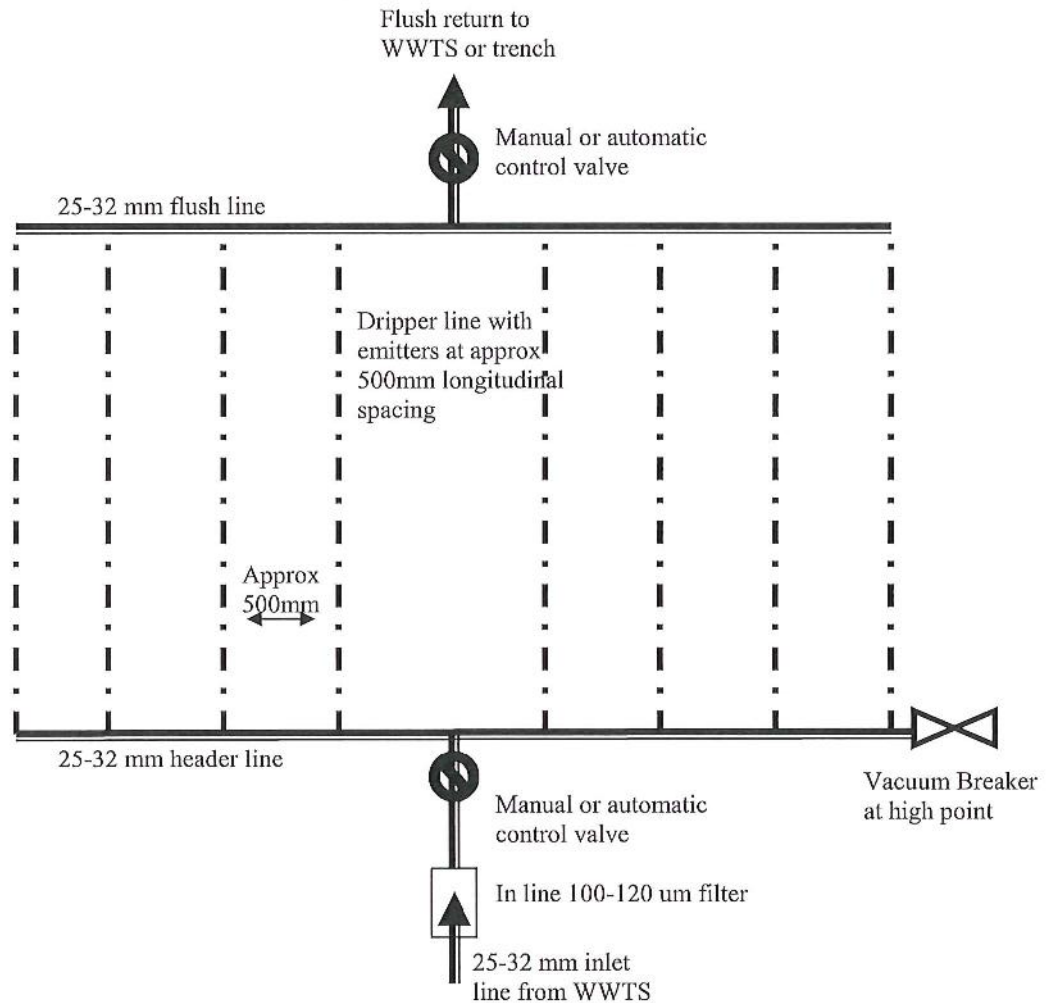
Irrigation Area Cross Section



Note – the topsoil/turf depths are minimum, with a maximum recommended depth of irrigation line below surface of 200mm (range 150-250mm).

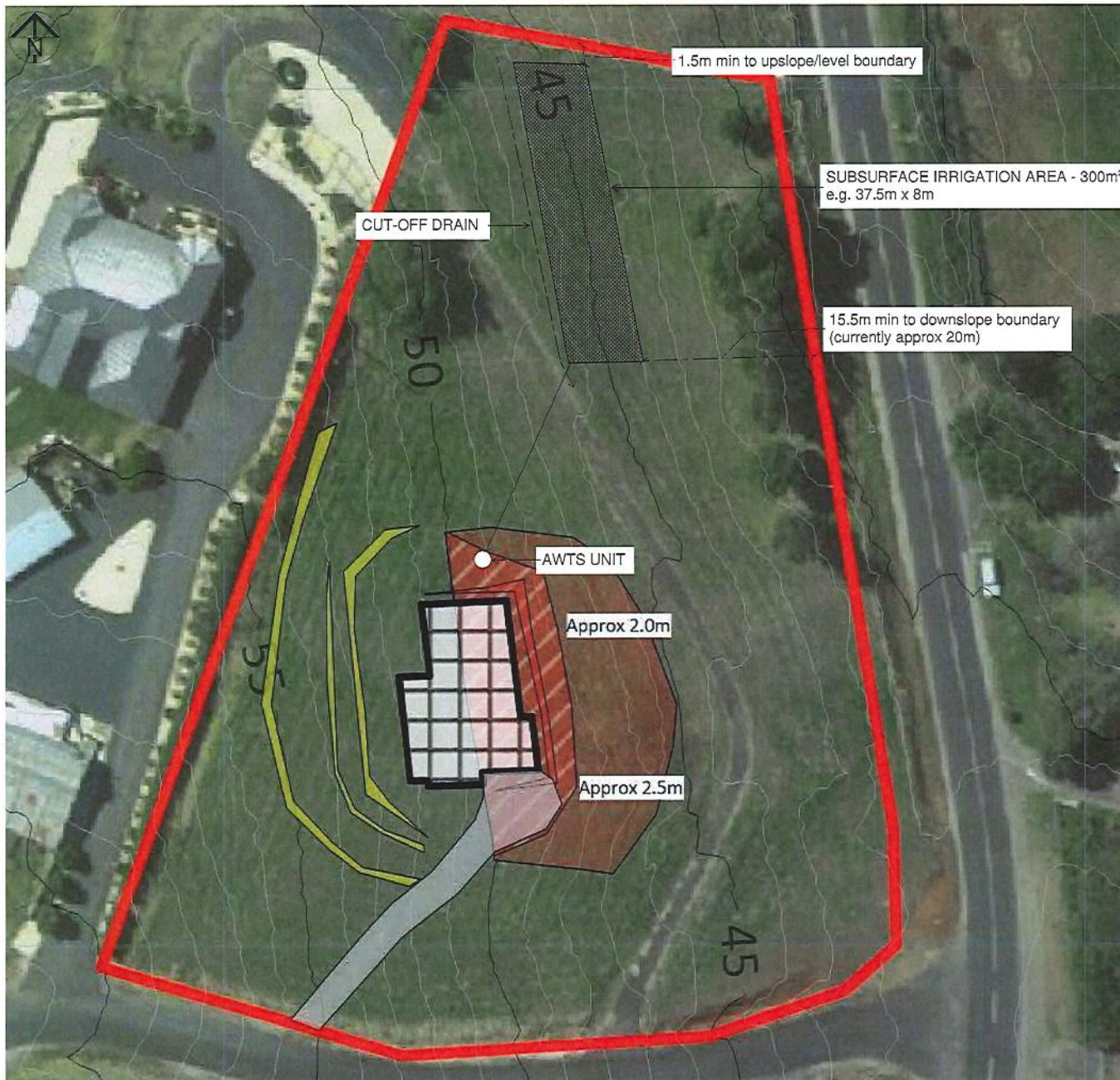
- The existing surface of the site should be tilled to a depth of 200mm with a conventional plough, discs or spring tines to break down the turf matt and any large soil clods
- Turf, or grass seed or plants/mulch should be applied to the area as soon as practical after the laying of dripper line and commissioning of the system

Irrigation Area Plan View



Design specifications:

1. Manufacturer's recommendations for spacing of lateral irrigation lines should be followed (either Techline brand, Geoflow or KISSS) with commonly used with spacing of 0.3m (0.5m KISSS) in highly permeable soils and 0.6m (1.0-1.2m KISSS) in less permeable loams and clays.
2. Dependant upon treatment system a 200µm filter may be installed at the pumping chamber outlet, but a 100-120 µm inline disc filter should be installed prior to discharge into the irrigation area.
3. A vacuum breaker valve must be installed at the highest point of each irrigation zone in a marked and protected valve control box.
4. A flush line must be installed at the lowest point/bottom of the irrigation area with a return valve for flushing back into the treatment chamber of the system (not into the primary chamber as it may affect the performance of the microbial community) or to a dedicated absorption trench.
5. The minimum irrigation pumping capacity should be equivalent to 120kpa (i.e. 12m of head) at the highest point of the irrigation area (a gauge should be placed at the vacuum breaker) – therefore pump size can be matched on site to the irrigation pipe size and design.



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point
T| 62231839 E| office@geosolutions.net.au

Wastewater system:

AWTS unit vented according to NCC Vol 3 Tas H101.2


Cut-off drain

Subsurface irrigation area - 300m²
e.g. 37.5m x 8m

Min 3m from upslope buildings
Min 1.5m from upslope or level boundaries
Min 15.5m from downslope boundary
Min 100m from downslope surface water

Refer to GES report

Dr. John Paul Cumming
Building Services Designer-
Hydraulic
CCC774A


21/12/2020

Do not scale from these drawings.
Dimensions to take precedence
over scale.

Wilson Homes
Lot 7 Brookvale Rd
ULVERSTONE 7315

C.T.: 128570/7
PID: 1819333

Date: 21/12/2020

On-Site Wastewater Management Plan

1:500 @ A3

Sheet 1 of 1
Drawn by: SR



GEO-ENVIRONMENTAL

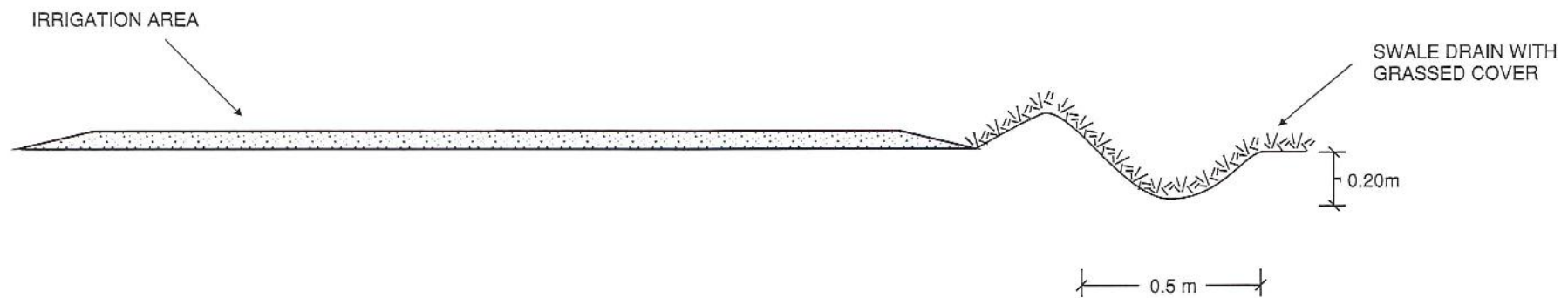
SOLUTIONS

86 Queen Street, Sandy Bay
T| 62231839 E| office@geosolutions.net.au

TYPICAL GRASSED SWALE DRAIN CROSS-SECTION

SWALE DRAIN TO BE MIN 0.5M WIDE BY MIN 0.20M DEEP

GRASS COVER TO BE MAINTAINED TO SLOW WATER FLOW AND MINIMISE EROSION



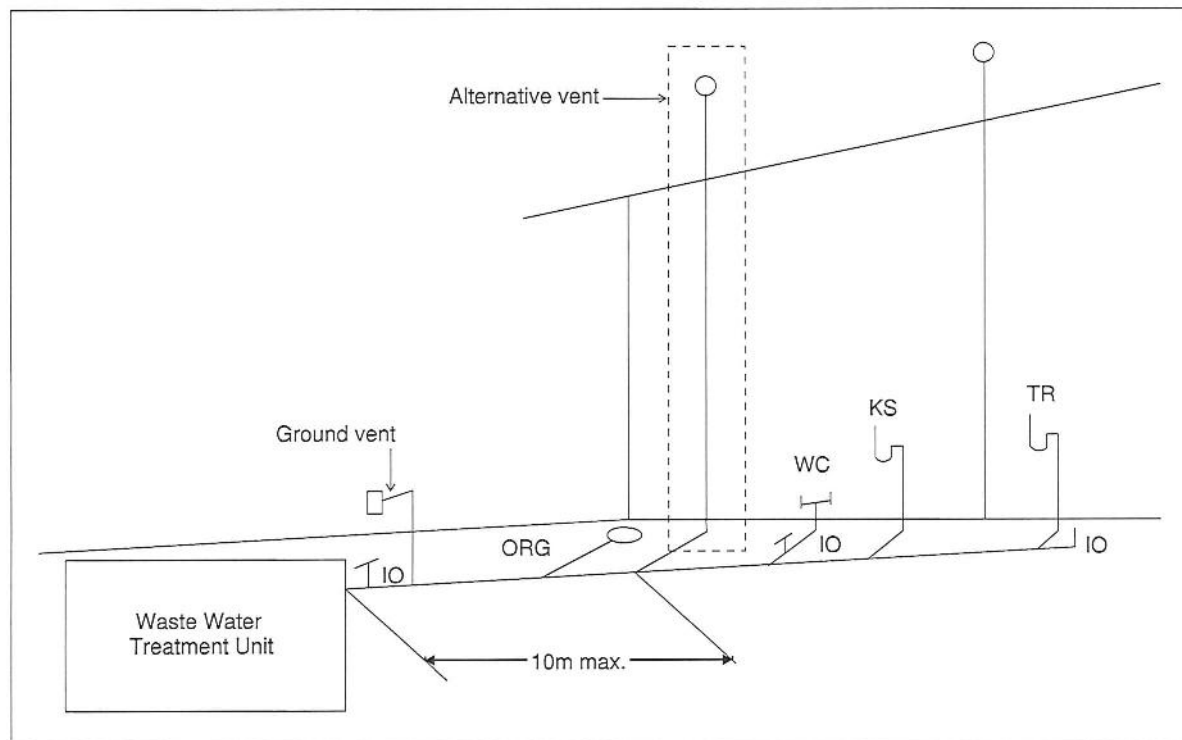
Do not scale from these drawings.
Dimensions to take precedence
over scale.

Geo-Environmental Solutions

Date: Nov 2016

Grassed swale drain
typical cross-section

Sheet 1 of 1
Drawn by SR



Tas Figure F101.2 Alternative Venting Arrangements

Vents must terminate in accordance with AS/NZS 3500.2

Alternative venting to be used by extending a vent to terminate as if an upstream vent, with the vent connection between the last sanitary fixture or sanitary appliance and the on-site wastewater management system. Use of a ground vent is not recommended

Inspection openings must be located at the inlet to an on-site wastewater management system treatment unit and the point of connection to the land application system and must terminate as close as practicable to the underside of an approved inspection opening cover installed at the finished surface level

Access openings providing access for desludging or maintenance of on-site wastewater management system treatment units must terminate at or above finished surface level

Alternative vent is the preferred arrangement where possible.

Local Government

Community Conversations
SISTERS BEACH

WHEN: Monday 27 September 5.30 – 7.00pm
WHERE: Sisters Beach Fire Brigade.

WHAT: Join Councillors and Senior staff for casual one-on-one conversations about the things that matter most to you in your local community. Drop in any time from 5.30pm, with the session closing promptly at 7.00pm.

Numbers will be restricted due to COVID-19 guidelines. Please register on arrival.

For information on Community Conversations in other local areas visit www.warwyn.tas.gov.au or phone 6443 8333

APPLICATION FOR PLANNING PERMIT

Notice is given that application has been made for the following discretionary permit: -

RE-ADVERTISED

No: DA 111/2021
Location: 113 Irby Boulevard Sisters Beach
Applicant: DC & LM McGuinness
Zoning: Low Density Residential
Use Class: Residential
Proposal: Outbuilding (Garage) & Deck
Discretionary Matter: Location and configuration of development 12.4.3 (P4)

The application and associated plans and documents will be available for inspection during normal office hours for the exhibition period at the Council Office, Saunders Street, Wynyard or viewed on Council website www.warwyn.tas.gov.au. Any person who wishes to make representations in accordance with the *Land Use Planning and Approvals Act 1993*, must do so during the exhibition period. Representations in writing will be received by the undersigned by **Monday 11 October 2021**.

Dated at Wynyard this day, 25 September 2021.
Shane Crawford, General Manager
PO Box 168, WYNYARD 7325
Email: council@warwyn.tas.gov.au

www.warwyn.tas.gov.au

WEST COAST COUNCIL PUBLIC NOTICE
Notice of Intention to Lease Public Land

West Coast Council (Council) gives notice pursuant to Section 178 of the *Local Government Act 1993* (the Act) that it proposes to lease Council owned land (the Strahan Senior Citizens 50 & over Clubrooms) highlighted on the plan below to the Strahan Senior Citizens

Parcel of land – Gaffney Street Strahan Tas 7468 (Located at Strahan Senior Citizens 50 & over Clubrooms)



Pursuant to Section 178(4)(b) of the Act any person may make a written objection to the proposed lease.

Written objections must be received by Council no later than 21 days following the publication of this Notice and addressed as follows –

Proposed lease of land:
Gaffney Street Strahan Tas 7468 (parcel of land located Strahan Senior Citizens 50 & Over Clubrooms)
The General Manager
West Coast Council
PO Box 63
QUEENSTOWN 7467

Or delivered to: 11 Sticht Street
QUEENSTOWN 7467

Or emailed to: wcc@westcoast.tas.gov.au
Council will –

- consider any objection lodged; and
- by notice in writing within 7 days after making a decision to take or not to take any action under Section 178 of the Act, advise any person who lodged an objection of -
 - that decision, and
 - the right to appeal against that decision under Section 178A of the Act.

David Midson
GENERAL MANAGER

Local Government



19 King Edward Street
Ulverstone Tasmania 7315
Tel. 03 6423 8900
admin@centralcoast.tas.gov.au
www.centralcoast.tas.gov.au

APPLICATIONS FOR PLANNING PERMITS

S.57 Land Use Planning and Approvals Act 1993.

The following applications have been received:

Application No.: DA2021004
Location: CT128570/7 Brookvale Road, Ulverstone
Proposal: Residential – dwelling, retaining walls and retrospective application for substantial change in ground level
Performance Criteria: Suitability of a site or lot for use or development; Dwelling density and Location and configuration of development

Application No.: DA2021260
Location: 7C Forth Road, Turners Beach
Proposal: Residential – two lot subdivision
Performance Criteria: Lot design

Application No.: DA2021269
Location: 209 Kindred Road and 32 Perrys Road, Forth
Proposal: Subdivision – excision of dwelling and consolidation of balance with adjoining land
Performance Criteria: Setbacks; Access for new dwellings; and Lot design

Application No.: DA2021271
Location: 47 Wilmot Road, Forth
Proposal: Residential – secondary residence
Performance Criteria: Discretionary use

The applications may be viewed at the Administration Centre during office hours and on the Council's website. Any person may make representation in relation to an application (in accordance with s.57(5) of the Act) by writing to the General Manager at PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au by no later than 11 October 2021.

Date of notification: 25 September 2021.

SANDRA AYTON
General Manager

Positions Vacant

CIRCULAR HEAD COUNCIL
ACCOUNTANT

Circular Head Council is seeking a highly motivated and suitably qualified individual to join our Corporate Services team in the role of 3-year fixed term Accountant.

The successful applicant will have a strong understanding of accounting fundamentals and sound knowledge in payroll processing. The individual will have the ability to work independently and possess good time management skills.

What we Offer:

- Level 4 Grade 1-5 depending on experience
- Training & Development opportunities
- Additional Superannuation
- RDOs, and 3 additional paid leave days
- Uniforms

How to Apply:

All applications must include the following:

- A cover letter
- Statement addressing the selection criteria - Included in the position description available on Circular Head Council's website www.circularhead.tas.gov.au
- Current resume

Applications can be submitted in the following ways:

- Emailed to: hr@circulhead.tas.gov.au
- Mailed to: Human Resource Manager - Circular Head Council, PO Box 348, Smithton, TAS 7330.
- Delivered to: Human Resource Manager - Circular Head Council, 33 Goldie Street, Smithton, TAS 7330.

Applicants must address the selection criteria contained within the position description

Full details are available on Council's website at www.circularhead.tas.gov.au or contact Meshelle Gallaher on 03 6452 4834.

Applications must be received by close of business 5pm Friday, 8 October 2021

Scott Riley
GENERAL MANAGER
PO Box 348 Smithton 7330
Phone: 03 6452 4800
E-mail: council@circulhead.tas.gov.au
Web: www.circularhead.tas.gov.au

SAVE TIME, SUBMIT ONLINE
Place your classified ad anytime 24/7



Positions Vacant

CATERER
required by
Ridgley Bowls Club
to cook Saturday
Night Counter Meals
over the Summer
Bowls Season.
For details
0407 357 426.



Positions Vacant

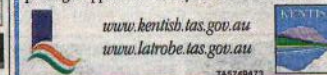
KENTISH & LATROBE
COUNCILSVISITOR INFORMATION CENTRE OFFICER
(TWO POSITIONS)

Kentish and Latrobe Councils are seeking tourism enthusiasts to join the team at the Visitor Information Centres.

Two Visitor Information Centre Officer positions are available – a part-time role and a casual role. To be successful in these roles, you will need a passion for Tasmania and a desire to assist our visitors with planning their ultimate trip around Kentish, Latrobe and the rest of Tasmania. Opportunities are available to oversee projects and work independently, whilst contributing to the existing team of volunteers and staff to advance our Centres.

The successful candidates will be highly motivated, customer focused persons, providing service face to face, via the phone, email and social media. Some finance tasks are required including reconciling takings at our small retail outlet and a good level of computer competency is required. Experience handling tour and accommodation bookings is desirable.

To apply, visit our websites for an information package. Applications may be submitted online.



www.kentish.tas.gov.au
www.latrobe.tas.gov.au

TAS748473

WE ARE HIRING

MULTI RESIDENTIAL
CONSTRUCTION SUPERVISOR

Due to continued growth in our Multi Residential division, Wilson Homes is seeking an experienced Construction Supervisor in the North-West of Tasmania.

Reporting to the Operations Manager of Multi Residential, you will be responsible for managing the overall site performance of our home construction process and maximising site production by ensuring sub contract trade availability. If you are looking for a fast pace environment where you can utilise trade industry knowledge and experience and are passionate about building quality homes we want to hear from you.

To express interest

please contact Sam Plaschke on 0417 505 197 or email splaschke@wilsonhomes.com.au



1300 595 050
wilsonhomes.com.au

BUY 7488028

Connect with Classifieds

Save time, submit online. Place your classified ad anytime 24/7. addirect.com.au

Classifieds are the best way to find what you need. They are the only place where you can find everything you need. They are the only place where you can find everything you need. They are the only place where you can find everything you need.

Contact your local classified team for the same results

Positions Vacant

TANDARA LODGE COMMUNITY CARE INC.

Tandara is located in Sheffield and delivers residential aged care and community housing to the region.

We have a vacancy in our small, but busy administration office.

ADMINISTRATION ASSISTANT
PART-TIME

- Suitably qualified person to work approx 20 hours (two full days, one part day) per week. Additional relief as required.
- Essential experience in: MYOB software in particular Payroll, Debtors and Creditors. Reception duties
- Working with Vulnerable People Card.
- Mandatory COVID-19 vaccination.
- Applications by 6th October 2021 addressed to:

CEO
Tandara Lodge Community Care
10 Nightingale Avenue, Sheffield, Tas 7306
or by email to: admin@tandara.net.au

MAINTENANCE PERSON (Part-Time)
TANDARA LODGE COMMUNITY
CARE INC.

Tandara is located in Sheffield and delivers residential aged care and community housing to the region.

We have a vacancy for a part-time maintenance person (four days per week).

Duties include:
General indoor and outdoor maintenance work. Liaison with contractors. Risk assessments.

Experience in preventative maintenance systems would be an advantage.

Essential Requirements:

- Working with Vulnerable People Card.
- Mandatory COVID-19 vaccination.

Applications in writing by 6th October 2021 addressed to:

CEO
Tandara Lodge Community Care Inc.
10 Nightingale Avenue, Sheffield, Tas 7306
or by email to: admin@tandara.net.au

Connect with
Emojis

GOT A
MOTOR
VEHICLE
FOR
SALE?

Here's what happened to Val.

“Val said she had six calls from people who had seen the advert in the local paper. Val said ‘Very Effective Advertising!’ (Don’t forget to add lots of ‘!’) she said ‘My car sold in 24 hours! Very happy with results.’”

Like our local reader phone us for advice on how to sell your much loved motor vehicle through the classifieds

Annexure 3

Kellie Malone

From: Jason - Glynn Williams Legal <jason@glynnwilliams.com.au>
Sent: Monday, 11 October 2021 1:01 PM
To: Admin
Subject: Representation regarding CT128570/7
Attachments: Letter to Central Coast Council.pdf

Good afternoon,

Please see attached representation from our client Mrs Dorothy Bellinger.

Kind regards,

Jason Dolbel



5B Reibey Street | Ulverstone Tasmania
PO Box 223 Ulverstone 7315 | Ph 03 6425 6712 | Fax 0364253599

Also at
4/23 Cattley Street | Burnie Tasmania
Po Box 20 Burnie 7320 | Ph 6431 1322



Glynn Williams Legal Ulverstone Office no longer operates from 70 Alexandra Road

You'll find us at **5B Reibey Street, Ulverstone**

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IMPORTANT NOTICE – CYBER RISK on transfer or deposit of money : -

Remittances to legal firms are being targeted by cyber-criminals. If you intend to deposit funds by Electronic Funds Transfer or otherwise deposit money to our accounts, please call our office on 03 6431 1322 to confirm bank details verbally prior to remitting any funds.

The bank account details we provide you **will not** change. We will **never** send an email or telephone you to advise you of a change of bank account. We will **never** ask you to call a telephone number, other than our main office number to verify bank account details. Should you receive any email, telephone call or other communication requesting a change of bank account for EFT remittance, please disregard it and contact us immediately on 03 6431 1322. If we require your bank account details we prefer to receive them in writing, if you provide them via email we **will** call you to confirm the bank account details. Please note we do not have a business mobile phone.

Central Coast Council
PO Box 220
ULVERSTONE TAS 7310

4 October 2021

By Email: **admin@centralcoast.tas.gov.au**

Dear Sir/Madam,

Re: Representation regarding CT128570/7 – 4 Brookvale Road, Ulverstone

I refer to the current advertisement for Planning Permit approval made on behalf of Mr & Mrs Ferguson for a new residential dwelling and for retrospective approval for a retaining wall. I wish to make a representation to Council in respect of this application.

Firstly, I note that the works in so far as they relate to the property, has already been undertaken. It is further noted that the work competed places my own property at 4 Brookvale Road at risk of landslip due to the significant undercutting of my property and the closeness of the works to the boundary of our two properties.

These works were completed without any consultation with the Central Coast Council Planning Approval and completely ignored the Council's planning processes. It is noted that the property falls within a shallow slide and flow susceptibility, and have deep seated slide susceptibility. Given the work completed by the applicant I have significant concerns that these works will create a greater land slip risk on my own property, as a direct result of the actions of the applicant.

There is no mention as to the material of the retaining wall that will be constructed by the applicant. As such I have some concern about the Applicant effectively constructing a substandard retaining wall which may place my property at further landslip risk.

It is noted that the location and configuration of the development is not in conformance with a one acceptable solution as it is within twenty (20) metres of my boundary. This when combined with the works that the applicant has already undertaken in removing significant soil from the property it then places me at further risk of land sip increasing due to the works being proposed by the applicant.

If you require any further clarification on any of these points, please do not hesitate to contact me.

Yours faithfully,

.....
MRS DOROTHY ELIZABETH BELLINGER

CENTRAL COAST COUNCIL

Division

20 OCT 2021

Central Coast Council
PO Box 220
ULVERSTONE TAS 7310

4 October 2021

By Email: admin@centralcoast.tas.gov.au

Dear Sir/Madam,

Re: Representation regarding CT128570/7 – 4 Brookvale Road, Ulverstone

I refer to the current advertisement for Planning Permit approval made on behalf of Mr & Mrs Ferguson for a new residential dwelling and for retrospective approval for a retaining wall. I wish to make a representation to Council in respect of this application.

Firstly, I note that the works in so far as they relate to the property, has already been undertaken. It is further noted that the work completed places my own property at 4 Brookvale Road at risk of landslip due to the significant undercutting of my property and the closeness of the works to the boundary of our two properties.

I note that these works were completed without any consultation with the Central Coast Council Planning Approval and completely ignored the Council's planning processes. It is noted that the property falls within a shallow slide and flow susceptibility and have deep seated slide susceptibility. Given the work completed by the applicant I have significant concerns that these works will create a greater land slip risk on my own property, as a direct result of the actions of the applicant.

Of another concern is the access to the property. It is noted that my company was the original subdivider of this property. As a part of this subdivision, we were advised by the Central Coast Council that we would not be able to place a driveway entrance at the location suggested by the applicant. Specifically, it was noted that the only application that would be allowed would be at the eastern end of Brookvale Road, noting that there is a specific covenant on the Title disallowing any access from Castra Road.

It is noted that the location and configuration of the development is not in conformance with a one acceptable solution as it is within twenty (20) metres of my boundary. This when combined with the works that the applicant has already undertaken in removing significant soil from the property it then places me at further risk of land slip increasing due to the works being proposed by the applicant.

If you require any further clarification on any of these points please do not hesitate to contact me.

Yours faithfully,

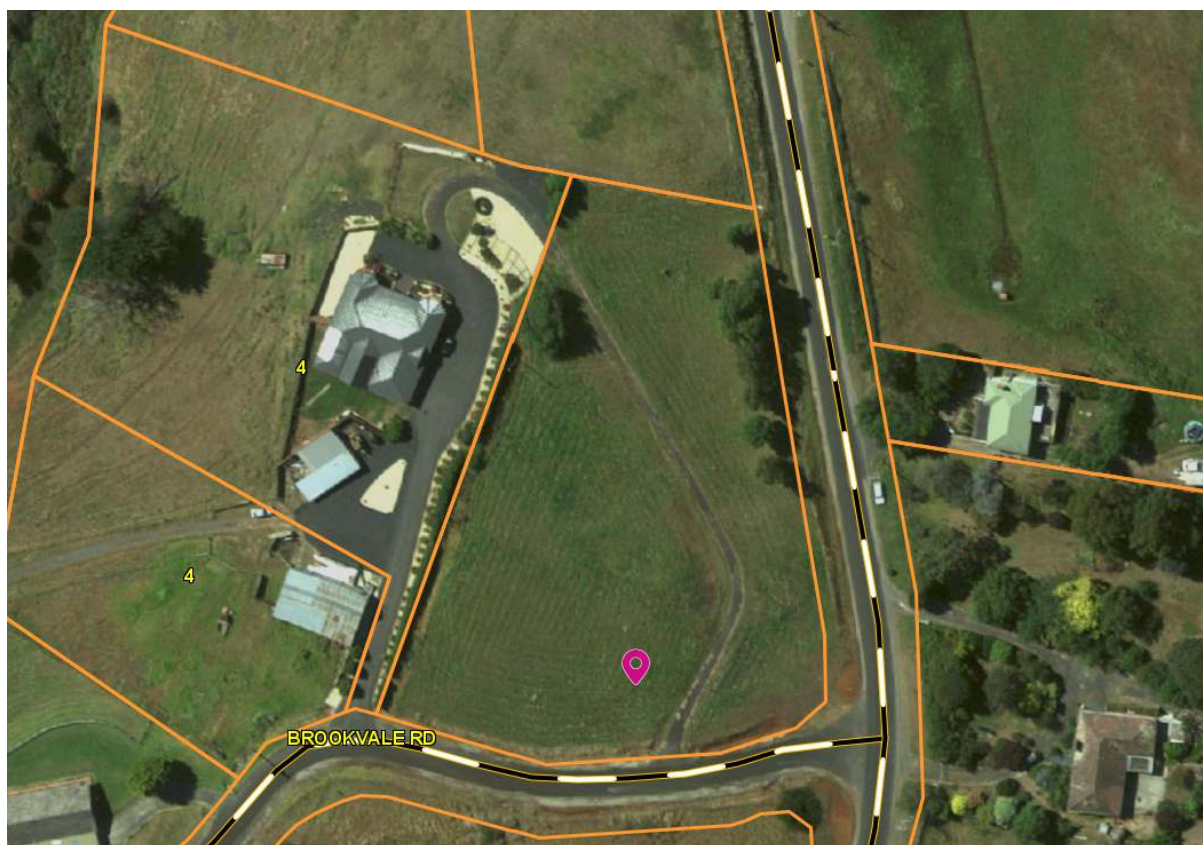


.....
MRS DOROTHY ELIZABETH BELLINGER

Annexure 4



Brookvale Road, Ulverstone – Spectrum image taken last six months.



Brookvale Road, Ulverstone – Spectrum image shows site before works occurred.

Initial photos taken – first site inspection



Photo taken from Brookvale Road looking north across the site.



Photo taken from Brookvale Road looking east across the site.



Photo taken on the site near western boundary.



Photo taken on the site looking south-east towards Castra Road.



Photo taken on the site looking west.



Photo taken on the site looking north.



Photo taken on the site looking west.



Photo taken from Brookvale Road looking north across the site.

Site inspection when putting up public notification sign



Photo taken from Brookvale Road looking north across the site.



Photo taken from Brookvale Road looking east across the site to Castra Road.



Photo taken from Brookvale Road looking north-west across the site.



Photo taken from Brookvale Road looking north-west across the site.



Photo taken from Brookvale Road looking north-west across the site.



2 November 2021

Our ref.: DA2021004, ss:Isadmin

Doc ID:

Ms O Marney
Wilson Homes
250 Murray Street
HOBART TAS 7315

Dear M Marney

STATEMENT OF COMPLIANCE – BROOKVALE ROAD ULVERSTONE FOR RESIDENTIAL
(DWELLING, RETAINING WALLS AND RETROSPECTIVE SUBSTANTIAL CHANGE IN
GROUND LEVEL) IN ACCORDANCE WITH *LOCAL GOVERNMENT (HIGHWAYS) ACT 1982*
AND URBAN DRAINAGE ACT 2013

I refer to your application DA2021004 for residential (dwelling, retaining walls and retrospective substantial change in ground level) at Brookvale Road, Ulverstone and based on the information provided with the application this Statement of Compliance is issued for vehicular access and stormwater disposal, subject to the following conditions:

Vehicular Access

- R1 The two new proposed access driveways as shown on enclosed Wilson Homes 'Site Plan' Project 712806 Sheet 3/17 are to be constructed in accordance with the Tasmanian Standard Drawings TSD-R03-v3 Rural Roads – Typical Property Access and TSD-R04-v3 Rural Roads – Typical Driveway Profile (copies enclosed);
- R2 *Prior to commencement of works*, submit an application for 'Roadworks Authority' (or a 'Private Works Authority', if applicable) to the Council, for any work associated with roads, footpaths, kerb and channel, nature strips, or street trees. Such work is to be undertaken by the Council, unless alternative arrangements are approved by the Council's Director Infrastructure Services, at the developer's cost;
- R3 *Prior to commencement of works in the road reservation*, a 'Works in Road Reservation (Permit)' in accordance with the Council's *Work in Road Reservation Policy* is to be obtained. Please contact Council's Public Safety Officer on 0408 121 247 for further details;

PO Box 220 / DX 70506
19 King Edward Street
Ulverstone Tasmania 7315
Tel 03 6429 8900

admin@centralcoast.tas.gov.au
www.centralcoast.tas.gov.au

- R4 Any work associated with roads, footpaths, kerb and channel, nature strips, or street trees will be undertaken by the Council, unless alternative arrangements are approved by the Council's Director Infrastructure Services, at the developer's cost;
- R5 Any damage or disturbance to roads, footpaths, kerb and channel, nature strips, or street trees resulting from activity associated with the development are to be rectified to the Council's Director Infrastructure Services satisfaction at the developer's cost.

Stormwater

- S1 Stormwater run-off from buildings and hard surfaces is to be collected and managed onsite appropriately, to ensure it does not cause nuisance to the neighbouring properties.

'Statement of Compliance' is not an approval to create an access, work in the road reservation or undertake stormwater drainage works, nor is it a planning permit for the development.

Please contact the Council's Development Officer, Shelly Sharma, on 6429 8977 should you have any further enquiries.

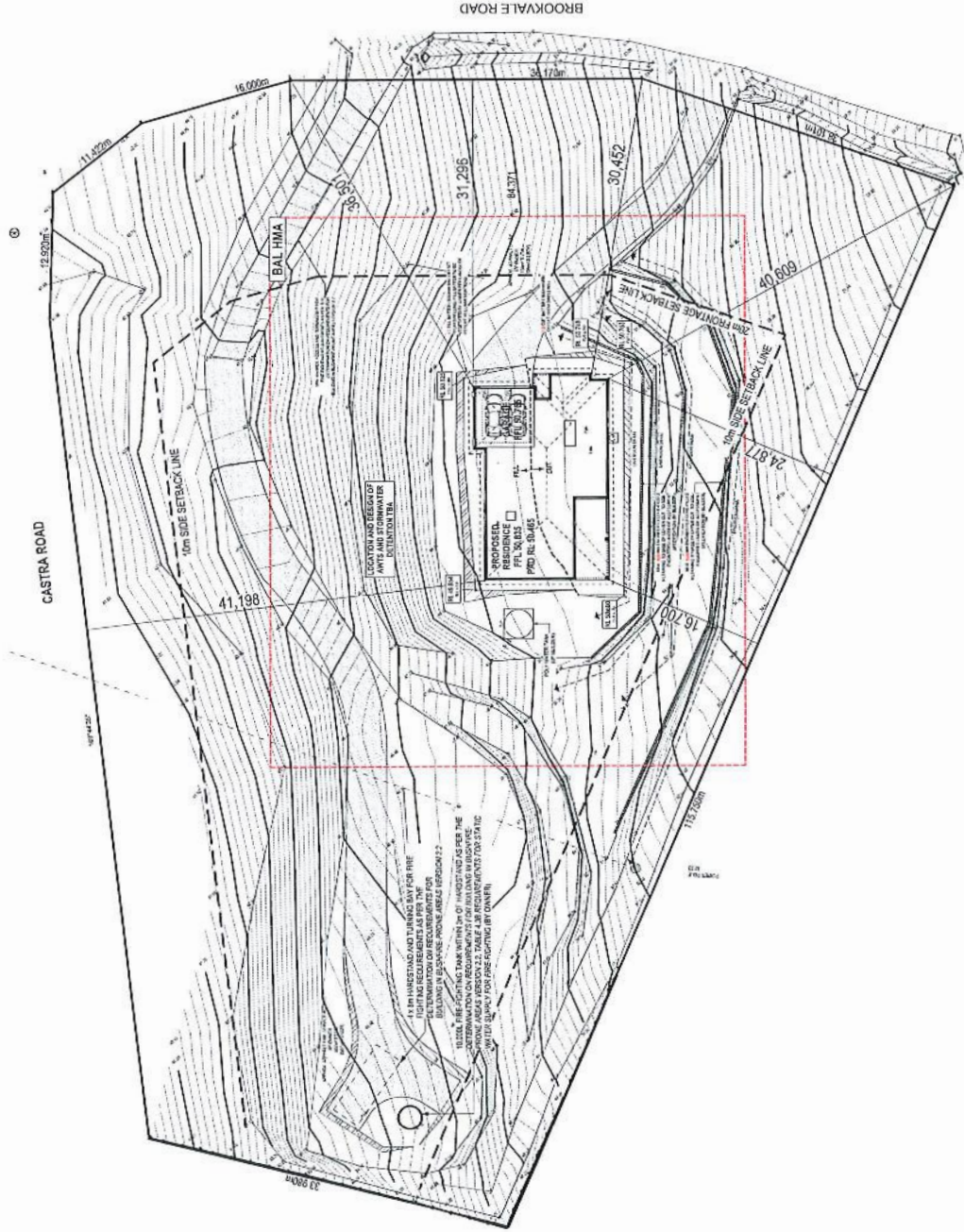
Yours sincerely



Paul Breaden
DIRECTOR INFRASTRUCTURE SERVICES

Encl.

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

DO NOT SCALE DRAWINGS. USE
FIGURED DIMENSIONS ONLY. CHECK
ALL DIMENSIONS AND
LEVELS FROM THE
COMMENCEMENT OF ANY WORK. ALL
DIMENSIONS ARE TO THE FACE UNLESS
STATED OTHERWISE.
TO THE DRAWING OFFICE

712806

HOUSE CODE:	H-WATBVR10SB
PACKAGE CODE:	F-WATBVR10CLASC
SHEET No.:	3 / 17
SCALE:	1:500
SITE PLAN:	1:500

CLIENT:	NEIL FERGUSON
ADDRESS:	BROOKVALE ROAD, WEST ULVERSTONE TAS
LOT / SECTION / CT:	7 / - / -
COUNCIL:	CENTRAL COAST COUNCIL (TAS)

DRAWING	DRAWN
2 CT SITING	DOI 2020.12.11
3 PRELIM PLANS	BEU 2020.12.19
4 PRELIM PLANS - SITE & FLOORPLAN CHANGES	DOI 2020.12.23
5 PRELIM PLANS - RETAINING ADJUSTED	MSP 2020.12.29
6 APPROX EX SURFACE LEVEL SHOWN	MSP 2021.01.29

WILSON
HOMES

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ZONE: 13.0 RURAL LIVING
2.1m DISTANCE FROM BREAKING SURF (ULVERSTONE)

REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N3
WITHIN 1 KM OF BREAKING SURF WATER	NO
WITHIN 100 M OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 07' 00" S
LONGITUDE	147° 02' 00" E
APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	32.59m³
FILL VOLUME	32.28m³
DIFFERENCE	0.31m³
EVEN CUT & FILL	
LOT SIZE:	7,483m²
HOUSE:	269.34m²
SITE COVERAGE:	3.6%

600 min 3600 Pavement minimum 600 min Inlets: Bushfire Drains: see Note 5

1. All dimensions in millimetres (mm) unless noted
2. Precast endwall to be winged type or other approved type.
3. Shallow dish crossing may be used as an alternative
4. Min clear cover over driveway culverts shall be:

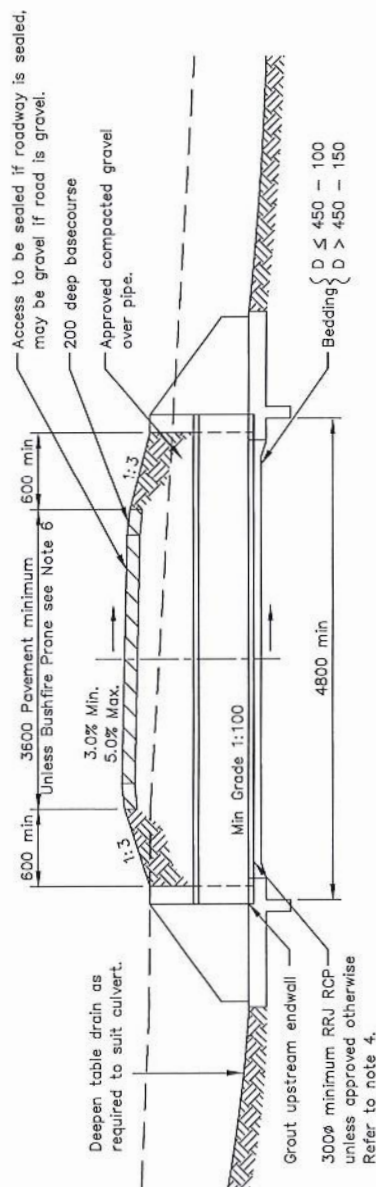
Min Cover:

- | | |
|---------------------|-----|
| -Class 2 (Concrete) | 600 |
| -Class 3 (Concrete) | 400 |
| -Class 4 (Concrete) | 300 |

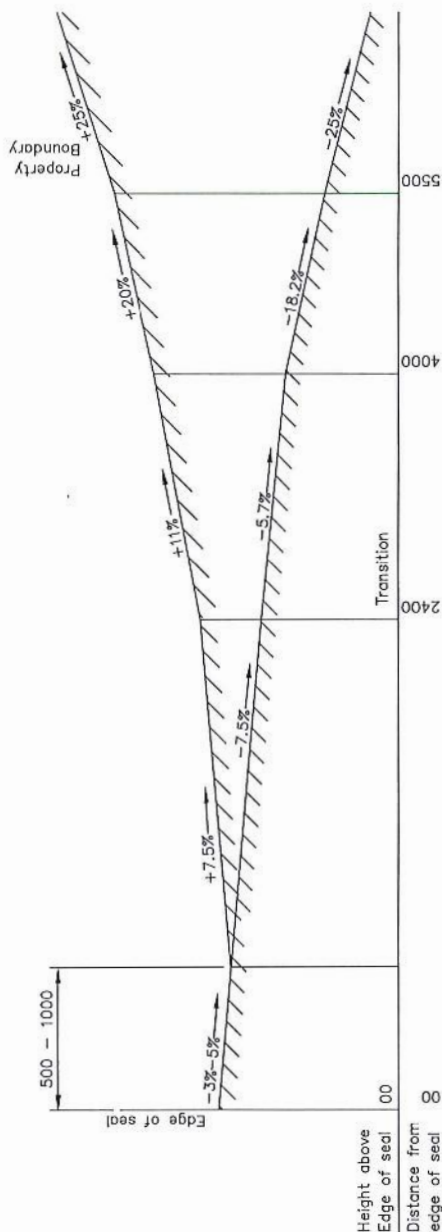
(All other pipes refer to manufacturers recommendations.)

5. Install guideposts at culvert ends.

6. Minimum pavement width of 4 metres where access is required for a fire appliance. Additional width may be required for the provision of passing bays.



CROSS SECTION



DRIVEWAY PROFILE

Culvert removed for clarity

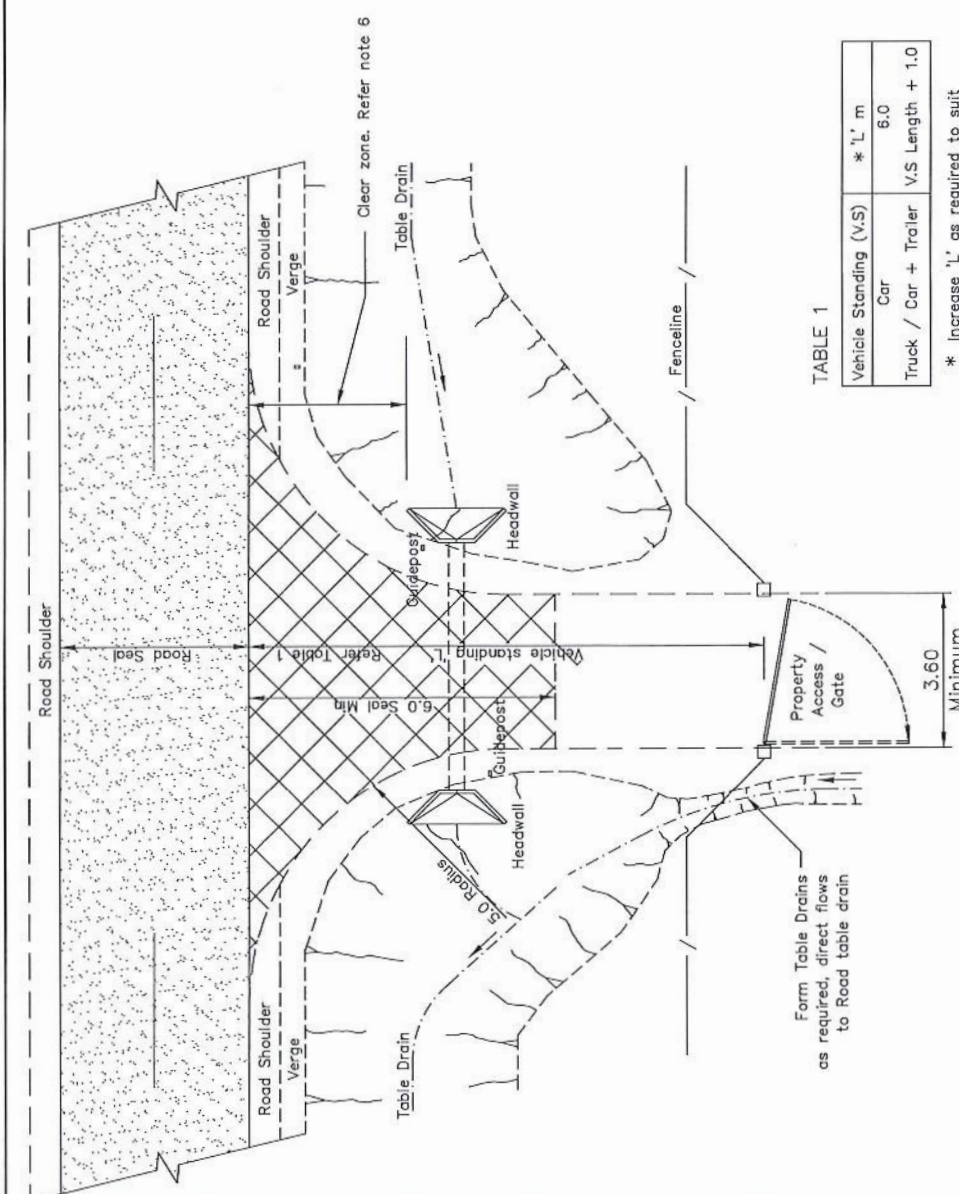


TABLE 1

Vehicle Standing (V.S)	* L' m
Car	6.0
Truck / Car + Trailer	V.S Length + 1.0

* Increase 'L' as required to suit outward swinging gates.

TYPE HW
SCALE 1: 10

KEY

- HW - Head Wall
- DCE - Drivable Culvert Endwall

NOTES

- Property Access Seal Types:
 - Adopt the seal type on the adjacent road (Asphalt / hot Sprayed bituminous surfacing).
 - Seal is not required for property access off unsealed roads.
- Offset property entrance gate to provide adequate vehicle standing area clear of road edge, as required.
- Install guideposts at :
 - culvert end walls.
 - the start of the access ('hearside' lane approach only).
- Pipe Culvert.
 - Pipe size, type, class, cover and grade shall be determined by consideration of the drainage catchment, rainfall L.F.D. data and road grade for an AEP 10 years (min).
 - Minimum pipe size - 300 dia.
 - Minimum grade - 1 in 100 (1%).
- Shallow dish crossing may be used as an alternative.
- Refer to Department of State Growth Road Hazard Management Guide - Figures 6 and 7 for clear zone determination. Headwalls inside clear zone are to be drivable.

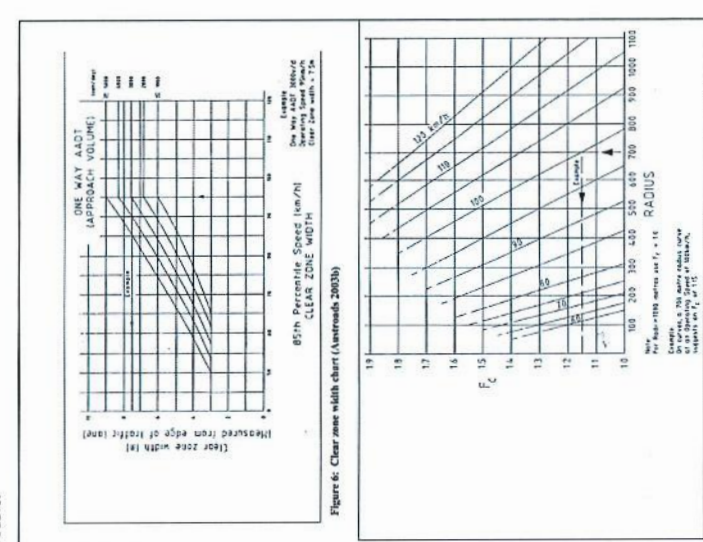


Figure 7: Curve adjustment factors for clear zones (Austroads 2003b)

STANDARD DRAWING
RURAL ROADS
TYPICAL PROPERTY ACCESS

DATE: 18-09-2020
DRAWN BY: TSD-R03-v3

Local Government Association Tasmania

TAS Division

IPWEA
INSTITUTE OF PUBLIC WORKS
ENGINEERING AUSTRALASIA

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REFERENCES

XARef File: TSD-R03-v3.dwg

Central Coast Council

Greening Central Coast Strategy

SEPTEMBER 2021

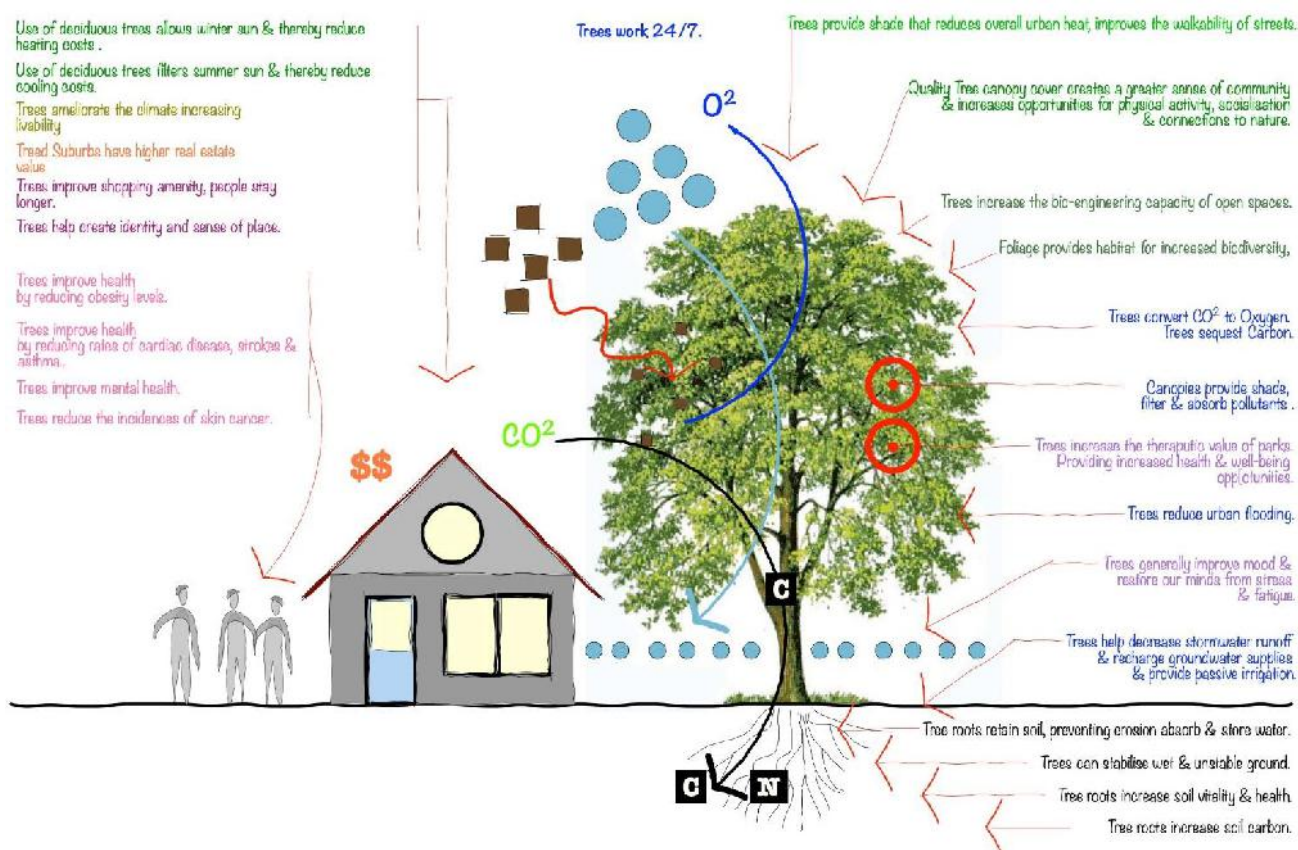
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THE BENEFITS OF URBAN GREENING

It is well documented that trees are intrinsically beneficial and essential to the health and well-being of the individual and community. These benefits are not only achieved through access to wilderness and naturalistic opportunities but also by a single tree in a park or street.

Urban trees shade street and buildings and reduce the amount of heat absorbed by dark surfaces such as streets. Trees in urban areas have traditionally been valued for their role in creating attractive streets, parks and gardens.



Some of the Benefits of Urban Trees.

Trees can also provide a range of environmental benefits, as carbon sinks absorbing carbon from the atmosphere, improving air quality, reducing stormwater flows and absorbing nutrients that can pollute waterways.

In the last two decades, research has indicated that urban trees also provide substantial environmental, economic and social benefits. Increasingly, urban trees have been viewed as critical infrastructure, protecting and enhancing community health and well-being.

CANOPY COVER IN CENTRAL COAST

The LGA as a whole has an existing canopy cover of 54.6%, which is a healthy level of vegetation. The LGA spans from the sea to the mountains, incorporating some significant areas of natural beauty and unique topography. Canopy cover is dominated in the upper catchment of the LGA by natural environmental assets (21%), production native forests (12%), and plantation forestry (8%). Arguably the most productive soils in the State are found in this LGA, but are deprived of canopy cover.

Approximately 90% of the urban development in Central Coast is confined to the coastal strip with a canopy cover of 31.33% (including private land). This is where the greatest impact on pre-European canopy cover has occurred, with almost 50% of cover modified by around 200 years of development.



The Precinct of Ulverstone, the fourth lowest in total canopy cover.

Given that generally, the major impact of canopy reduction is within the urban precincts, these settlement areas of the LGA need to be specifically assessed to quantify the canopy extent now and hence, identify the areas where canopy cover needs to be increased.

The chosen urban precincts included in this Strategy are:

- | | |
|------------------|-------------------------|
| . Ulverstone; | . Forth; |
| . Penguin; | . Sulphur Creek; |
| . Turners Beach; | . Preservation Bay; and |
| . Leith; | . Heybridge. |

The average canopy cover of these precincts drops significantly from the coastal strip of 31.33% to just 18.9% (excluding private land).

CANOPY COVER PRIORITIES

The priorities for increasing precinct canopy cover in streets, Crown open space and Council open space have been identified.

Both Leith and Heybridge have the highest total canopy cover, but an absence of Council owned open space.

Sulphur Creek and Preservation Bay are restricted by linear development along a main road, which was once a state highway and would have precluded any significant plantings.

Ulverstone is also very low in canopy cover, however with the increase in new housing developments, there is opportunity to increase street canopy.

The lack of Council owned open space in Leith, Sulphur Creek, Preservation Bay and Heybridge is the primary cause of the low canopy cover and will lack focus for implementation.

Access to Crown Land by licence or lease contributes significantly to the canopy cover across most precincts, creating the “treed” perception. However, most of this land is coastal foreshore located and does not provide benefits throughout the wider community.

Canopy Cover Priority Areas				
PRECINCT	Total Canopy Cover	Street Canopy	Crown Open Space Canopy	Council Open Space Canopy
Ulverstone	12.48%	6.52%	54.05%	6.17%
Penguin	21.13%	16.33%	14.77%	29.77%
Turners Beach	11.45%	12.52%	54.51%	6.45%
Leith	30.03%	36.51%	59.74%	N/A
Forth	26.18%	22.99%	80.19%	19.21%
Sulphur Creek	6.02%	2.53%	30.42%	N/A
Preservation Bay	5.89%	3.40%	25.72%	N/A
Heybridge	38.34%	32.54%	28.10%	N/A
Average	18.9%	16.67%	43.44%	7.70%

* N/A = Council does not own Open Space in this precinct

Implementation Priorities	0-20%	High	20-30%	Medium	30% plus	Low
---------------------------	-------	------	--------	--------	----------	-----

LGA * **54.60%**

STRATEGY VISION

Increase Central Coast's Green Infrastructure to enhance its unique identity, landscape and lifestyle.

To achieve the vision for an increase in Central Coast's Green Infrastructure to enhance its unique identity, landscape and lifestyle, an aspirational target of 30% canopy cover by 2030 has been set and will be delivered through four key objectives and 18 priority actions.

30% canopy cover by 2030



Canopy cover in an open space environment.

OBJECTIVES

Objective 1: Enhancement

To achieve a positive increase in canopy cover to the built/urban environment.

Increasing canopy cover is the single simplest way of addressing the concerns and impacts of climate change and accommodating the effects of development. The Central Coast is blessed with a rich and diverse hinterland, but the coastal strip is where most precincts have developed and this area is now seeing the biggest decline in canopy cover.

Objective 1 Actions:

Action 1.1

- Develop planning permit conditions that facilitates the deliverance of Green Infrastructure outcomes.

Action 1.2

- Establish a baseline data set to identify canopy cover and prioritise planting areas.

Action 1.3

- Develop planting palettes that consider climate adaptability and are “fit for site”.

Action 1.4

- Update relevant Council Plans to align with the Greening Central Coast Strategy.

Action 1.5

- All tree removals to be replaced and guided by the planting palette.

Objective 2: Identity

Enhance and conserve our cultural and landscape character.

Our landscape has shaped the culture of the people and their lifestyle. From the awe-inspiring canyons to the glistening beaches, our unique landscape provides the foundations for the community’s physical, mental and economic well-being.

Objective 2 Actions:

Action 2.1

- Liaise with local indigenous Australian community groups to develop an understanding of areas of cultural significance.

Action 2.2

- Identify the landscape character for each open space and precinct through a planting palette that enhances “place”.

Action 2.3

- Develop a schedule of sites that exhibit best practice in key areas of Green Infrastructure.

Action 2.4

- Identify areas of scenic significance and incorporate into planning overlays.

Objective 3: Landscape

To develop a network of green infrastructure that protects and increases our biodiversity.

The greater the diversity of our landscape, the greater the benefits to both the ecosystem and its inhabitants, and the better it is able to cope with and absorb change. The landscape is the sum of its parts and in this context, more is better.

Objective 3 Actions:

Action 3.1

- Prioritise increasing canopy cover along the Central Coast Shared Pathway Network.

Action 3.2

- Establish a biodiversity index and apply to key Green Infrastructure areas.

Action 3.3

- Develop a Natural Resource Management Plan to identify at risk vegetation communities including riparian areas.

Action 3.4

- Develop Landscape Guidelines for nature strips and encourage community “ownership”.

Action 3.5

- Increase Green Infrastructure in Central Business Districts (CBDs).

Objective 4: Community

Increase community knowledge, awareness, appreciation and value of Green Infrastructure.

Achieving a positive increase in Central Coast's Green Infrastructure requires a coordinated approach with the local community through information sharing, active participation, embracing change and take positive steps to create liveable precincts of the future, today.

Objective 4 Actions:

Action 4.1

- Develop a Marketing Plan including digital opportunities to highlight positive, 'good news stories' and to promote the Green Infrastructure message.

Action 4.2

- Develop a Green Infrastructure Steering Group.

Action 4.3

- Support, encourage and celebrate community groups involved in Green Infrastructure initiatives.

Action 4.4

- Support Green Infrastructure awards program participants and celebrate sustainability and biodiversity achievements.

IMPLEMENTATION PLAN



Objective 1: Enhancement

To achieve a positive increase in canopy cover to the built/urban environment.

Objective 1 Implementation:

ACTION	BUDGET	2021	2022	2023	2024	2025
1.1 Develop planning permit conditions that facilitate the deliverance of Green Infrastructure outcomes.	\$1k					
1.2 Establish a baseline data set to identify canopy cover and prioritise planting areas.	\$5k					
1.3 Develop planting palettes that consider climate adaptability and “fit for site”.	\$10k					
1.4 Update relevant Council Plans to align with the Greening Central Coast Strategy.	Internal					
1.5 All tree removals to be replaced and guided by the planting palette.	\$10k p.a.					

Action Priority for Implementation



High



Medium



Low

Objective 2: Identity

Enhance and conserve our cultural and landscape character.

Objective 2 Implementation:

ACTION	BUDGET	2021	2022	2023	2024	2025
2.1 Liaise with local indigenous Australian community groups to develop an understanding of areas of cultural significance.	Internal					
2.2 Identify landscape character for each open space and precinct through a planting palette that enhances “place”.	Internal					
2.3 Develop a schedule of sites that exhibit best practice in key areas of Green Infrastructure.	Internal					
2.4 Identify areas of scenic significance and incorporate into Planning Scheme Overlays.	\$20k					

Action Priority for Implementation ■ High ■ Medium ■ Low

Objective 3: Landscape

To develop a network of green infrastructure that protects and increases our biodiversity.

Objective 3 Implementation:

ACTION	BUDGET	2021	2022	2023	2024	2025
3.1 Prioritise increasing canopy cover along the Central Coast Shared Pathway Network.	\$20k					
3.2 Establish a biodiversity index and apply to key Green Infrastructure areas.	\$15k					
3.3 Develop a Natural Resource Management Plan to identify at risk vegetation communities including riparian areas.	\$30k					
3.4 Develop Landscape Guidelines for nature strips and encourage community “ownership”.	Internal					
3.5 Increase Green Infrastructure in CBDs.	TBC					

Action Priority for Implementation



High



Medium



Low

Objective 4: Community

Increase community knowledge, awareness, appreciation and value of Green Infrastructure.

Objective 4 Implementation:

ACTION	BUDGET	2021	2022	2023	2024	2025
4.1 Develop a Marketing Plan including digital opportunities to highlight positive, 'good news stories' and to promote the Green Infrastructure message.	Internal					
4.2 Develop a Green Infrastructure Steering Group.	Internal					
4.3 Support, encourage and celebrate Community Groups involved in Green Infrastructure initiatives.	Internal					
4.4 Support Green Infrastructure Awards Program participants and celebrate sustainability & biodiversity achievements.	\$20k					

Action Priority for Implementation



High



Medium



Low

GLOSSARY

Baseline	The extent of the data/element (canopy) at the time of writing the Strategy.
Biodiversity Index	A measurement of the richness and complexity of flora and fauna species in a given area.
Canopy	Any greening element (primarily trees) greater than 3m in height.
Canopy Cover	The area of ground underneath/covered by the canopy of a tree.
Council	Central Coast Council.
Greening	All vegetation including grasslands, turf, shrubs, thickets, single trees and forests.
Green Cover	The area of ground covered by any of the greening elements.
Green Infrastructure	All of the vegetation that provides environmental, economic and social benefits such as clean air and water, climate regulation, food provision, erosion control and places for recreation. Nature-based solutions.
Planting Palette	A list of plant species selected for a specific area.
Precinct	An area with similar characteristic or specific selected criteria.
Strategy	Greening Central Coast Strategy.
Street Tree	Species taller than 3m in height with a single trunk and clear stemmed to at least 2.7m with a defined canopy.
Tree	Vegetation taller than 3m in height with a trunk or trunks and a defined canopy. Includes deciduous, evergreen, native, or exotic.

BIBLIOGRAPHY

Central Coast Council Greening Central Coast Strategy Report 2021

Central Coast Council, Street Tree Strategy – 2010

City of Launceston, Launceston Street Tree Strategy – 2012

Central Coast Council, Open Space and Recreation Plan – 2012

Central Coast Council, Open Space Tree Strategy – 2016

City of Stirling, Urban Forest Plan – 2019

Hobsons Bay, Urban Forest Strategy – 2020

City of Sydney, Greening Sydney Strategy (Draft) – 2021

Central Coast Council
List of Development Applications Determined
Period from: 1 October 2021 to 31 October 2021

Application Number Display	Address	DA Type	Proposed use	Application Date	Decision Date	Day determined	Cost Of Works
DA2021170	22 Barleen Place WEST ULVERSTONE, TAS, 7315	Discretionary – REFUSED	Residential – dwelling	18/06/2021	18/10/2021	41	\$476,000.00
DA2021202	32 Medici Drive GAWLER, TAS, 7315	Discretionary	Residential – shed	14/07/2021	6/10/2021	26	\$20,993.00
DA2021215 – 1	36–42 Main Road PENGUIN, TAS, 7316	Minor amendment of a Permit.	Visitor accommodation – guest house	22/09/2021	6/10/2021	9	\$0.00
DA2021223	9 Braddon Street PENGUIN, TAS, 7316	Discretionary	Demolition of existing dwelling, retaining wall, Residential – multiple dwellings x seven and Community meeting and entertainment	3/08/2021	18/10/2021	57	\$1,225,000.00
DA2021227	69 Shadbolts Road NORTH MOTTON, TAS, 7315	Discretionary	Residential – shed	9/08/2021	29/10/2021	38	\$43,459.00
DA2021234	10 Tingha Way WEST ULVERSTONE, TAS, 7315	Discretionary	Residential – garage	13/08/2021	1/10/2021	29	\$22,000.00
DA2021236	4 Jesamel Place WEST ULVERSTONE, TAS, 7315	Discretionary	Residential – garage	16/08/2021	6/10/2021	29	\$15,000.00
DA2021244	22 Sylvan Rise PENGUIN, TAS, 7316	Permitted	Residential (outbuilding)	20/08/2021	1/10/2021	7	\$23,122.00
DA2021246	31 Leatherwood Drive PENGUIN, TAS, 7316	Discretionary	Residential – dwelling extension and carport	26/08/2021	13/10/2021	29	\$80,000.00
DA2021248	4 Barker Avenue PENGUIN, TAS, 7316	Discretionary	Residential – dwelling extension	30/08/2021	6/10/2021	28	\$120,000.00
DA2021253	10 Invictus Place PENGUIN, TAS, 7316	Discretionary	Residential – shed	1/09/2021	1/10/2021	24	\$10,000.00
DA2021255	644 Castra Road ABBOTSHAM, TAS, 7315	Discretionary	Residential – retrospective deck	2/09/2021	14/10/2021	28	\$10,000.00
DA2021257	5 Waterford Drive SULPHUR CREEK, TAS, 7316	Discretionary	Residential – shed	2/09/2021	4/10/2021	27	\$14,000.00
DA2021260	7C Forth Road TURNERS BEACH, TAS, 7315	Discretionary	Residential – two lot subdivision	8/09/2021	29/10/2021	38	\$30,000.00

Central Coast Council
List of Development Applications Determined
Period from: 1 October 2021 to 31 October 2021

Application Number Display	Address	DA Type	Proposed use	Application Date	Decision Date	Day determined	Cost Of Works
DA2021261	238 South Preston Road PRESTON,TAS,7315	Permitted	Food Services – associated with Resource Processing Use	8/09/2021	1/10/2021	9	\$5,000.00
DA2021265	240 Preservation Drive SULPHUR CREEK,TAS,7316	Permitted	Residential – boundary adjustment	15/09/2021	1/10/2021	2	\$0.00
DA2021263	64 Susan Street TURNERS BEACH, TAS, 7315	Permitted	Residential – shed	14/09/2021	29/10/2021	11	\$15,739.00
DA2021269	209 Kindred Road and 32 Perrys Road FORTH,TAS,7310	Discretionary	Subdivision – excision of dwelling and consolidation of balance with adjoining land	15/09/2021	12/10/2021	21	\$0.00
DA2021270	61 Reynolds Road HEYBRIDGE,TAS,7316	Discretionary	Residential – dwelling extension	16/09/2021	22/10/2021	27	\$150,000.00
DA2021271	47 Wilmot Road FORTH,TAS,7310	Discretionary	Residential – secondary residence	16/09/2021	22/10/2021	30	\$30,000.00
DA2021274	47 Leighlands Avenue ULVERSTONE,TAS,7315	Permitted	Demolition of dwelling and ancillary buildings	17/09/2021	1/10/2021	8	\$15,000.00
DA2021276	394 Wilmot Road FORTH,TAS,7310	Discretionary	Residential – shed	24/09/2021	29/10/2021	23	\$50,000.00
DA2021277	15 Dial Road PENGUIN,TAS,7316	Permitted	Residential – secondary residence and shed	28/09/2021	13/10/2021	13	\$120,000.00
DA2021282	1201–1221 Pine Road RIANA,TAS,7316	Permitted	Sport and recreation – Scoring shed	5/10/2021	20/10/2021	12	\$60,000.00
DA2021286	8 Hill View Way WEST ULVERSTONE,TAS,7315	Permitted	Residential – multiple dwellings x 2	7/10/2021	29/10/2021	11	\$225,000.00
DA2021299	10 Gilbert Street FORTH,TAS,7310	Permitted	Residential – deck	20/10/2021	22/10/2021	0	\$20,000.00
DA2021300	625 South Road PENGUIN,TAS,7316	Permitted	Residential –shed	21/10/2021	27/10/2021	2	\$50,000.00

SCHEDULE OF STATUTORY DETERMINATIONS MADE UNDER DELEGATION

Period: 1 October 2021 to 31 October 2021

Building Permits – 1

·	New dwellings	0	\$0
·	Outbuildings	0	\$0
·	Additions/Alterations	1	\$20,000
·	Other	0	\$0
·	Units	0	\$0

Demolition Permit – 1

Permit of Substantial Compliance – Building – 0

Notifiable Work – Building – 7

·	New dwellings	3	\$981,000
·	Outbuildings	3	\$207,000
·	Additions/Alterations	0	\$0
·	Other	0	\$0
·	Units	0	\$0

Building Low Risk Work – 1

Certificate of Likely Compliance – Plumbing – 6

No Permit Required – Plumbing – 2

Food Business registrations (renewals) – 11

SCHEDULE OF COMMUNITY SERVICES DETERMINATIONS MADE UNDER DELEGATION

Period: 1 October 2021 to 31 October 2021

Abatement notices issued

ADDRESS	PROPERTY ID
NIL	

Kennel Licence issued

ADDRESS	OWNER
NIL	

Permits issued under Animal By-Law 1 – 2018

ADDRESS	PERMIT ISSUED FOR
154A Trevor Street, Ulverstone	4 Horses

SCHEDULE OF OTHER STATUTORY RESPONSIBILITIES OF COMMUNITY SERVICES

Period: 1 October to 31 October 2021

Infringement notices issued for Dog Offenses

	1-31 Oct 2021
Claimed	5
Burnie Dogs Home	2
Destroyed	0
Heldover	0
Devonport Dogs Home	0
RSPCA Spreyton	0

Infringements for dogs and impoundments etc.

1 - 31 October 2021	4
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Infringements under Animal By-Law

1 - 31 October 2021	0
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Traffic Infringement Notices for Parking Offences

1 - 31 October 2021	27	
Bannons Car Park	1	4%
King Edward Street	9	33%
Coles/Furners Carpark	0	0%
North Reibey Street Carpark	0	0%
Reibey Street	12	44%
Victoria Street	1	4%
Alexandra Road	1	4%
Crescent Street	0	0%
Eastlands Drive	1	4%
Wongi Lane	2	7%



Ian Stoneman
DIRECTOR CORPORATE SERVICES