



Notice of Ordinary Council Meeting and

Agenda

15 May 2017

To all Councillors

NOTICE OF MEETING

In accordance with the *Local Government (Meeting Procedures) Regulations 2015*, notice is given of the next ordinary meeting of the Central Coast Council which will be held in the Council Chamber at the Administration Centre, 19 King Edward Street, Ulverstone on Monday, 15 May 2017. The meeting will commence at 6.00pm.

An agenda and associated reports and documents are appended hereto.

A notice of meeting was published in The Advocate newspaper, a daily newspaper circulating in the municipal area, on 7 January 2017.

Dated at Ulverstone this 10th day of May, 2017.

This notice of meeting and the agenda is given pursuant to delegation for and on behalf of the General Manager.



Lou Brooke
EXECUTIVE SERVICES OFFICER

Code of Conduct of Councillors

PART 1 – Decision making

1. A councillor must bring an open and unprejudiced mind to all matters being decided upon in the course of his or her duties, including when making planning decisions as part of the Council's role as a Planning Authority.
2. A councillor must make decisions free from personal bias or prejudgement.
3. In making decisions, a councillor must give genuine and impartial consideration to all relevant information known to him or her, or of which he or she should have reasonably been aware.
4. A councillor must make decisions solely on merit and must not take irrelevant matters or circumstances into account when making decisions.

PART 2 – Conflict of interest

1. When carrying out his or her public duty, a councillor must not be unduly influenced, nor be seen to be unduly influenced, by personal or private interests that he or she may have.
2. A councillor must act openly and honestly in the public interest.
3. A councillor must uphold the principles of transparency and honesty and declare actual, potential or perceived conflicts of interest at any meeting of the Council and at any workshop or any meeting of a body to which the councillor is appointed or nominated by the Council.
4. A councillor must act in good faith and exercise reasonable judgement to determine whether he or she has an actual, potential or perceived conflict of interest.
5. A councillor must avoid, and remove himself or herself from, positions of conflict of interest as far as reasonably possible.
6. A councillor who has an actual, potential or perceived conflict of interest in a matter before the Council must –
 - (a) declare the conflict of interest before discussion on the matter begins; and
 - (b) act in good faith and exercise reasonable judgement to determine whether the conflict of interest is so material that it requires removing himself or herself physically from any Council discussion and remaining out of the room until the matter is decided by the Council.

PART 3 – Use of office

1. The actions of a councillor must not bring the Council or the office of councillor into disrepute.
2. A councillor must not take advantage, or seek to take advantage, of his or her office or status to improperly influence others in order to gain an undue, improper, unauthorised or unfair benefit or detriment for himself or herself or any other person or body.
3. In his or her personal dealings with the Council (for example as a ratepayer, recipient of a Council service or planning applicant), a councillor must not expect nor request, expressly or implicitly, preferential treatment for himself or herself or any other person or body.

PART 4 – Use of resources

1. A councillor must use Council resources appropriately in the course of his or her public duties.
2. A councillor must not use Council resources for private purposes except as provided by Council policies and procedures.
3. A councillor must not allow the misuse of Council resources by another person or body.
4. A councillor must avoid any action or situation which may lead to a reasonable perception that Council resources are being misused by the councillor or any other person or body.

PART 5 – Use of information

1. A councillor must protect confidential Council information in his or her possession or knowledge, and only release it if he or she has the authority to do so.
2. A councillor must only access Council information needed to perform his or her role and not for personal reasons or non-official purposes.
3. A councillor must not use Council information for personal reasons or non-official purposes.
4. A councillor must only release Council information in accordance with established Council policies and procedures and in compliance with relevant legislation.

PART 6 – Gifts and benefits

1. A councillor may accept an offer of a gift or benefit if it directly relates to the carrying out of the councillor's public duties and is appropriate in the circumstances.
2. A councillor must avoid situations in which the appearance may be created that any person or body, through the provision of gifts or benefits of any kind, is securing (or attempting to secure) influence or a favour from the councillor or the Council.
3. A councillor must carefully consider –
 - (a) the apparent intent of the giver of the gift or benefit; and
 - (b) the relationship the councillor has with the giver; and
 - (c) whether the giver is seeking to influence his or her decisions or actions, or seeking a favour in return for the gift or benefit.
4. A councillor must not solicit gifts or benefits in the carrying out of his or her duties.
5. A councillor must not accept an offer of cash, cash-like gifts (such as gift cards and vouchers) or credit.
6. A councillor must not accept a gift or benefit if the giver is involved in a matter which is before the Council.
7. A councillor may accept an offer of a gift or benefit that is token in nature (valued at less than \$50) or meets the definition of a token gift or benefit (if the Council has a gifts and benefits policy).
8. If the Council has a gifts register, a councillor who accepts a gift or benefit must record it in the relevant register.

PART 7 – Relationships with community, councillors and Council employees

1. A councillor –
 - (a) must treat all persons with courtesy, fairness, dignity and respect; and
 - (b) must not cause any reasonable person offence or embarrassment; and
 - (c) must not bully or harass any person.

2. A councillor must listen to, and respect, the views of other councillors in Council and committee meetings and any other proceedings of the Council, and endeavour to ensure that issues, not personalities, are the focus of debate.
3. A councillor must not influence, or attempt to influence, any Council employee or delegate of the Council, in the exercise of the functions of the employee or delegate.
4. A councillor must not contact or issue instructions to any of the Council's contractors or tenderers, without appropriate authorisation.
5. A councillor must not contact an employee of the Council in relation to Council matters unless authorised by the General Manager of the Council.

PART 8 – Representation

1. When giving information to the community, a councillor must accurately represent the policies and decisions of the Council.
2. A councillor must not knowingly misrepresent information that he or she has obtained in the course of his or her duties.
3. A councillor must not speak on behalf of the Council unless specifically authorised or delegated by the Mayor or Lord Mayor.
4. A councillor must clearly indicate when he or she is putting forward his or her personal views.
5. A councillor's personal views must not be expressed in such a way as to undermine the decisions of the Council or bring the Council into disrepute.
6. A councillor must show respect when expressing personal views publicly.
7. The personal conduct of a councillor must not reflect, or have the potential to reflect, adversely on the reputation of the Council.
8. When representing the Council on external bodies, a councillor must strive to understand the basis of the appointment and be aware of the ethical and legal responsibilities attached to such an appointment.

PART 9 – Variation of Code of Conduct

1. Any variation of this model code of conduct is to be in accordance with section 28T of the Act.

QUALIFIED PERSON'S ADVICE

The *Local Government Act 1993* provides (in part) as follows:

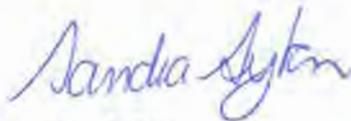
- . A general manager must ensure that any advice, information or recommendation given to the council is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation.

- . A council is not to decide on any matter which requires the advice of a qualified person without considering such advice unless the general manager certifies in writing that such advice was obtained and taken into account in providing general advice to the council.

I therefore certify that with respect to all advice, information or recommendations provided to the Council in or with the following agenda:

- (i) the advice, information or recommendation is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation; and

- (ii) where any advice is directly given by a person who did not have the required qualifications or experience that person has obtained and taken into account in that person's general advice the advice from an appropriately qualified or experienced person.



Sandra Ayton
GENERAL MANAGER

AGENDA

COUNCILLORS ATTENDANCE

COUNCILLORS APOLOGIES

EMPLOYEES ATTENDANCE

GUEST(S) OF THE COUNCIL

MEDIA ATTENDANCE

PUBLIC ATTENDANCE

OPENING PRAYER

May the words of our lips and the meditations of our hearts be always acceptable in Thy sight, O Lord.

BUSINESS

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1 CONFIRMATION OF MINUTES OF THE COUNCIL

1.1 Confirmation of minutes

The Executive Services Officer reports as follows:

“The minutes of the previous ordinary meeting of the Council held on 19 April 2017 have already been circulated. The minutes are required to be confirmed for their accuracy.

The *Local Government (Meeting Procedures) Regulations 2015* provide that in confirming the minutes of a meeting, debate is allowed only in respect of the accuracy of the minutes.

A suggested resolution is submitted for consideration.”

- “That the minutes of the previous ordinary meeting of the Council held on 19 April 2017 be confirmed.”
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2 COUNCIL WORKSHOPS

2.1 Council workshops

The Executive Services Officer reports as follows:

“The following council workshops have been held since the last ordinary meeting of the Council.

- . 10.04.2017 – State-wide Planning Scheme and agricultural land mapping
- . 24.04.2017 – Aboriginal Cultural Sensitivities
- . 01.05.2017 – Dementia Friendly Community Framework with EJ Shu
- . 08.05.2017 – Capital Estimates/TasWater.

This information is provided for the purpose of record only. A suggested resolution is submitted for consideration.”

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- “That the Officer’s report be received.”
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3 MAYOR’S COMMUNICATIONS

3.1 Election of Cr Amanda Diprose to fill casual vacancy

The Mayor reports as follows:

“Following the resignation of Cr Shane Broad, the Electoral Commissioner (Tasmanian Electoral Commission) conducted a recount of the relevant ballot papers of the election at which Cr Broad was elected.

The Commissioner has declared Amanda Diprose elected to fill the vacant office of Councillor, to serve until the next general election of the Council. A copy of the Certificate of Election is attached.

A warm welcome is extended to Cr Diprose.”

The General Manager reports as follows:

“The *Local Government Act 1993* (s.321) provides as follows:

- ‘(1) Any person elected as a councillor must make a prescribed declaration in a prescribed manner.
- (2) A person elected as councillor who has not made a declaration must not–
 - (a) act in the office of councillor, mayor or deputy mayor; or
 - (b) take part in the proceedings of any meeting of the council or a committee.
- (3) A council is to acknowledge the making of a declaration at its meeting and the general manager is to record that fact in the minutes of that meeting.’

A declaration was made by Cr Amanda Diprose on 1 May 2017 and the appropriate form completed.”

The Executive Services Officer reports as follows:

“A copy of the Certificate of Election of Cr Amanda Diprose having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

■ “That the reports of the Mayor and General Manager (a copy of the Certificate of Election of Cr Amanda Diprose being appended to and forming part of the minutes) be received.”

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3.2 Mayor’s diary

The Mayor reports as follows:

“I have attended the following events and functions on behalf of the Council:

- . Ulverstone Bowling Club – annual dinner
- . Coast FM/Radio 7AD – community reports
- . Rotary Club of Ulverstone – Anzac Park tree planting ceremony to mark visit by Rotary International President–elect to Ulverstone
- . Rotary Club of Ulverstone – 60th anniversary celebration
- . Penguin RSL Sub–Branch – Anzac Day dawn service
- . Forth Valley Anzac Day commemoration service, with a formal wreathlaying
- . Ulverstone RSL Sub–Branch – Anzac Day commemoration service, with address and a formal wreathlaying
- . Community Safety Partnership Committee – meeting
- . Metro Tasmania – meeting with Chair and Chief Executive Officer (Ulverstone)
- . Cradle Coast Authority – interviews for Chair of Board of Directors (Burnie)
- . Cradle Coast Authority – strategic planning workshop (Burnie)
- . Cradle Coast Authority – strategic planning networking opportunity (Burnie)
- . Business visitation program – Simplot Australia (Ulverstone)
- . Central Coast Council and Central Coast Chamber of Commerce & Industry – strategic planning presentation at members’ breakfast
- . Ulverstone Senior Citizens Club – birthday social
- . Central Coast Community Shed – refurbishment opening and morning tea
- . Eliza Purton Home for the Aged – volunteers’ morning tea

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- . Cradle Coast Mayors – tour of Devonport
 - . TasWater – General Meeting (Launceston)
 - . Local Government Association of Tasmania – Special General Meeting (Launceston)
 - . Ulverstone District Girl Guides – annual general meeting
 - . Government House Tasmania – Investiture for recipients of Australia Day Honours (Hobart)
 - . Ulverstone Surf Life Saving Club – annual dinner
 - . Australian Labor Party – breakfast with the Deputy Leader of the Federal Opposition and Leader of the State Opposition (Devonport).”

Cr Downie reports as follows:

“I have attended the following events and functions on behalf of the Council:

- . Penguin RSL Sub-branch – Anzac Day commemoration service, with a formal wreathlaying
- . Country Women’s Association in Tasmania, Central Coast Branch – annual general meeting
- . Ulverstone District Girl Guides – Queen’s Guide presentation
- . Volunteers Week 2017 – Central Coast ‘Recognise your Volunteers’ event.”

Cr Howard reports as follows:

“I have attended the following events and functions on behalf of the Council:

- . North Motton Anzac Day commemoration service, with a formal wreathlaying
- . Penguin Surf Life Saving Club – annual dinner.”

The Executive Services Officer reports as follows:

“A suggested resolution is submitted for consideration.”

- “That the Mayor’s, Deputy Mayor’s and Cr Howard’s reports be received.”

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3.3 Declarations of interest

The Mayor reports as follows:

“Councillors are requested to indicate whether they have, or are likely to have, a pecuniary (or conflict of) interest in any item on the agenda.”

The Executive Services Officer reports as follows:

“The *Local Government Act 1993* provides that a councillor must not participate at any meeting of a council in any discussion, nor vote on any matter, in respect of which the councillor has an interest or is aware or ought to be aware that a close associate has an interest.

Councillors are invited at this time to declare any interest they have on matters to be discussed at this meeting. If a declaration is impractical at this time, it is to be noted that a councillor must declare any interest in a matter before any discussion on that matter commences.

All interests declared will be recorded in the minutes at the commencement of the matter to which they relate.”

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3.4 Public question time

The Mayor reports as follows:

“At 6.40pm or as soon as practicable thereafter, a period of not more than 30 minutes is to be set aside for public question time during which any member of the public may ask questions relating to the activities of the Council.

Public question time will be conducted as provided by the *Local Government (Meeting Procedures) Regulations 2015* and the supporting procedures adopted by the Council on 20 June 2005 (Minute No. 166/2005).”

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4 COUNCILLOR REPORTS

4.1 Councillor reports

The Executive Services Officer reports as follows:

“Councillors who have been appointed by the Council to community and other organisations are invited at this time to report on actions or provide information arising out of meetings of those organisations.

Any matters for decision by the Council which might arise out of these reports should be placed on a subsequent agenda and made the subject of a considered resolution.”

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5 APPLICATIONS FOR LEAVE OF ABSENCE

5.1 Leave of absence

The Executive Services Officer reports as follows:

“The *Local Government Act 1993* provides that the office of a councillor becomes vacant if the councillor is absent without leave from three consecutive ordinary meetings of the council.

The Act also provides that applications by councillors for leave of absence may be discussed in a meeting or part of a meeting that is closed to the public.

There are no applications for consideration at this meeting.”

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6 DEPUTATIONS

6.1 Deputations

The Executive Services Officer reports as follows:

“No requests for deputations to address the meeting or to make statements or deliver reports have been made.”

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7 PETITIONS

7.1 Petitions

The Executive Services Officer reports as follows:

“No petitions under the provisions of the *Local Government Act 1993* have been presented.”

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8 COUNCILLORS' QUESTIONS

8.1 Councillors' questions without notice

The Executive Services Officer reports as follows:

“The *Local Government (Meeting Procedures) Regulations 2015* provide as follows:

'29 (1) A councillor at a meeting may ask a question without notice –

-
- (a) of the chairperson; or
 - (b) through the chairperson, of –
 - (i) another councillor; or
 - (ii) the general manager.
- (2) In putting a question without notice at a meeting, a councillor must not –
- (a) offer an argument or opinion; or
 - (b) draw any inferences or make any imputations –
- except so far as may be necessary to explain the question.
- (3) The chairperson of a meeting must not permit any debate of a question without notice or its answer.
- (4) The chairperson, councillor or general manager who is asked a question without notice at a meeting may decline to answer the question.
- (5) The chairperson of a meeting may refuse to accept a question without notice if it does not relate to the activities of the council.
- (6) Questions without notice, and any answers to those questions, are not required to be recorded in the minutes of the meeting.
- (7) The chairperson may require a councillor to put a question without notice in writing.'

If a question gives rise to a proposed matter for discussion and that matter is not listed on the agenda, Councillors are reminded of the following requirements of the Regulations:

- '8 (5) Subject to subregulation (6), a matter may only be discussed at a meeting if it is specifically listed on the agenda of that meeting.
- (6) A council by absolute majority at an ordinary council meeting, ..., may decide to deal with a matter that is not on the agenda if –
 - (a) the general manager has reported the reason it was not possible to include the matter on the agenda; and

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8.2 Councillors’ questions on notice

The Executive Services Officer reports as follows:

“The *Local Government (Meeting Procedures) Regulations 2015* provide as follows:

- ‘30 (1) A councillor, at least 7 days before an ordinary council meeting or a council committee meeting, may give written notice to the general manager of a question in respect of which the councillor seeks an answer at that meeting.
- (2) An answer to a question on notice must be in writing.’

It is to be noted that any question on notice and the written answer to the question will be recorded in the minutes of the meeting as provided by the Regulations.

Any questions on notice are to be allocated to their appropriate Departmental Business section of the agenda.

No questions on notice have been received.”

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9 DEPARTMENTAL BUSINESS

GENERAL MANAGEMENT

9.1 Minutes and notes of committees of the Council and other organisations

The General Manager reports as follows:

“The following (non-confidential) minutes and notes of committees of the Council and other organisations on which the Council has representation have been received:

- Central Coast Youth Engaged Steering Committee - meeting held on 30 March 2017
- Central Coast Community Shed Management Committee - meeting held on 3 April 2017
- Development Support Special Committee - meeting held on 24 April 2017
- Community Safety Partnership Committee Meeting - meeting held on - 26 April 2017
- Central Coast Community Shed Management Committee - meeting held on 3 May 2017.

Copies of the minutes and notes having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the (non-confidential) minutes and notes of committees of the Council be received.”

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9.2 Acknowledgement of former Councillor Broad

The General Manager reports as follows:

“PURPOSE

The purpose of this report is to invite acknowledgement of the contribution made to the Council by former Councillor Shane Broad.

BACKGROUND

Former Councillor Shane Broad resigned from the Council on 7 April 2017 due to his recent election to the House of Assembly.

DISCUSSION

Cr Shane Broad served on the Central Coast Council for approximately seven and a half years, having initially been elected to the Council on 28 October 2011, following the Local Government elections, for a four-year term. Cr Broad was re-elected following the 2014 Local Government elections for a further four years.

It is customary that former Councillors are invited as guests to the Councillor's Christmas function to receive a Certificate of Service to the Council.

CONSULTATION

Consultation is not relevant to this report.

RESOURCE, FINANCIAL AND RISK IMPACTS

Should the Council adopt the recommendation in this report, minor expenses will be associated with Certificate of Service preparation and meal costs.

CORPORATE COMPLIANCE

Corporate compliance is not relevant to this report.

CONCLUSION

It is recommended that a 'minute of appreciation' be recorded in acknowledgement of the contribution of former Councillor Shane Broad and that he be invited as a guest to the Councillor's Christmas function to receive a Certificate of Service to the Council."

The Executive Services Officer reports as follows:

"A suggested resolution is submitted for consideration."

- "That a 'minute of appreciation' be recorded in acknowledgement of the contribution of former Councillor Shane Broad and that he be invited as a guest to the Councillor's Christmas function to receive a Certificate of Service to the Council."

9.3 Schedule of Appointments to Statutory Bodies, Groups and Organisations, Council and Special Committees, Community Advisory Groups and Working Groups (362/2011 – 21.11.2011)

The General Manager reports as follows:

“PURPOSE

The purpose of this report is to consider a review of the Schedule of Appointments to Statutory Bodies, Groups and Organisations, Council and Special Committees, Community Advisory Groups and Working Groups (but not including staff working groups and teams).

BACKGROUND

Following the vacancy created due to the resignation of Cr Shane Broad, a review of the Schedule of Appointments was undertaken to determine where vacancies now exist.

The following four committees/groups require review by the Council.

Appointments to Groups and Organisations

- . Central Coast Chamber of Commerce and Industry Inc. – Cr Shane Broad was the Council’s liaison person with Cr John Bloomfield appointed as proxy. A vacancy now exists for the appointment of a new liaison person to this organisation.
- . Ulverstone Surf Life Saving Club – Cr Philip Viney is the Council’s liaison person with Cr Shane Broad being appointed as proxy. A vacancy now exists for the appointment of a new proxy to represent the Council.

Appointments to Council and Special Committees

- . Development Support Committee (Special) – current committee exists of the Mayor, Cr Shane Broad, Cr Garry Carpenter, Cr Tony van Rooyen, Cr Philip Viney and the General Manager. Cr Kathleen Downie and

Cr Rowen Tongs being appointed as proxies. A vacancy now exists for the appointment of a new liaison person to this Committee.

Working Groups

- Central Coast Council Bursary Working Group – currently the Mayor, Cr Kathleen Downie, the General Manager, the Director Community Services and a Representative of the University of Tasmania are appointed to this Working Group with Cr Shane Broad appointed as proxy. A vacancy now exists for the appointment of a new proxy for this group.

DISCUSSION

The Council's practice of providing a governance/management structure based on a combination of Council meetings and delegations has proven to be substantially superior in efficiency and effectiveness as opposed to the management of business through a Committee-based system. Committees are extremely resource hungry and inefficient in terms of day-to-day decision making and should only be created when all other alternative considerations have been exhausted and there is a clear need to do so.

Review of existing committees and appointments is ongoing and, should changes be required or warranted prior to the next Local Government elections, they are dealt with as they arise.

CONSULTATION

Consultation is not relevant to this report.

RESOURCE, FINANCIAL AND RISK IMPACTS

This is a governance matter. The Estimates provide for the governance operations of the Council.

CORPORATE COMPLIANCE

The *Local Government Act 1993* provides for the establishment of council committees and special committees.

The Central Coast Strategic Plan 2009–2014 includes the following strategies and key actions:

Council Sustainability and Governance

- . Improve corporate governance
- . Effective communication and engagement.

CONCLUSION

That nominations be called for the four vacant positions created by the resignation of Cr Shane Broad from the Central Coast Council.”

The Executive Services Officer reports as follows:

“A suggested resolution is submitted for consideration.”

■ “That the Schedule of Appointments to Statutory Bodies, Groups and Organisations, Council and Special Committees, Community Advisory Groups and Working Groups be and is hereby amended as follows:

- . Cr replace Cr Shane Broad as the Council’s liaison person to the Central Coast Chamber of Commerce and Industry Inc.;
- . Cr replace Cr Shane Broad as a proxy representative to the Ulverstone Surf Life Saving Club organisation;
- . Cr replace Cr Shane Broad on the Development Support Special Committee; and
- . Cr replace Cr Shane Broad as proxy representative to the Central Coast Council Bursary Working Group.

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9.4 TasWater – State Government takeover

The General Manager reports as follows:

“PURPOSE

The purpose of this agenda item is for the Council to note the report and determine a policy position in relation to the State Governments decision that it will legislate to

take control of TasWater from 1 July 2018, making it a Government Business Enterprise.

BACKGROUND

On 7 March 2017, the Premier of Tasmania, the Hon. Will Hodgman MP and Minister for Local Government, the Hon. Peter Gutwein MP announced that the State Government would take over responsibility for, and control of TasWater and that the Government has a plan to fix the issues faster, while also being cheaper for consumers. A 'Taking Control of TasWater' document (attached) was issued by the Minister for Local Government at that time, which summarises the State Government's decision to intervene in Tasmania's water and sewerage infrastructure.

In outlining its proposal to take over TasWater, the State Government has highlighted a number of benefits. They are:

- . Councils will receive not one dollar less than the returns that they have been promised by TasWater up until 2024–25 after which, Councils will receive one half of the value of total returns from TasWater indefinitely;
- . The legislation for the takeover of TasWater will contain explicit provisions to prevent a future privatisation of TasWater;
- . No employees will lose their job as a result of the change in ownership. TasWater employees will be transferred to the new TasWater government business and their employment terms and conditions will be retained; and
- . Concessions to low income Tasmanians and pensioners remain as they are, firmly in place.

There have also been many media releases from the Local Government Association (LGAT), TasWater and the State Government, which Councillors have already received.

Local Government through LGAT, invited the Minister for Local Government to a General Meeting to seek clarification and further details to allow Councils to make an informed decision as to whether to support a takeover of TasWater by the State Government.

DISCUSSION

While some clarification was provided by the Minister for Local Government there is still missing detail. Councils currently understand the (current) funded TasWater Capital Plan, but at this stage, the same level of detail has not yet been provided by the State Government. Without this information the unknown factor is what returns

may be expected after 2024–2025. The other issue for council is that the value of the equity in TasWater is currently identified as a council asset. It is likely that the State Government has no intention of compensating Local Government for the value of this equity.

LGAT has identified the key facts in the dispute and these are outlined below:

‘Key Facts in Dispute

State Government	Councils/TasWater
<p>Local councils have sacrificed investment in our water and sewerage infrastructure for a long time in order to pay themselves dividends.</p>	<p>Councils have a range of infrastructure which must be provided and maintained for communities and have been trying to balance the competing needs as well as increasing demands for services for many years. Nationally it is well recognised that there is simply not enough funding for Local Government to fully maintain all their assets and this is why we have lobbied strongly, collectively for a fair share of taxation revenue starting with the resumption of indexation on the Financial Assistance Grants.</p> <p>That said, councils have actually sacrificed dividends to ensure TasWater removes all boil water alerts and do not consume alerts by August 2018; and addresses all key outstanding sewerage matters within 10 years.</p>
<p>Council will receive \$400M between 2009-10 and the end of the 10-year plan.</p> <p>The Government will fund their plan (service debt) by paying the distributions to 2025-26 from consolidated revenue and foregoing their tax equivalent and loan guarantee payments.</p>	<p>Note the word distribution. Council dividends will fall to \$3.2m by 2025-26 based on 10 year financial plan projections and agreement last year with the owners. The distribution is made up of the dividends, loan guarantee fees and tax equivalent payments. Government owned entities do not pay corporations/company tax.</p>

	<p>Equivalent funding from consolidated revenue could be injected into TasWater at any time. This does not require a change of ownership.</p>
<p>There is a crisis</p>	<p>The Chair of TasWater advises that</p> <p><i>“At no time has the DHHS or the EPA verbally or in writing advised us that a crisis exists, nor have the EPA issued any fines for environmental damage over the last 12 months.</i></p> <p><i>We have been working with the Regulators to ensure that our Plan meets their expectations and at no time have they advised that our approach is at odds with the outcomes they are seeking”.</i></p> <p><i>“Tasmania has water and sewerage challenges. This is why TasWater has developed a fully funded 10-year plan to address infrastructure upgrades which commenced in 2016”.</i></p> <p>Last year TasWater invested more per property than any similar sized utility in Australia.</p>
<p>Government will fix the boil water alerts faster.</p>	<p>Under council ownership, TasWater has reduced the number of customers who don't receive drinkable water from nearly 8000, down to about 1600.</p> <p>It is projected that the remaining customers will receive drinking water by August 2018, well before the Treasurer's plan could take effect.</p>

<p>Sewer overflows to the environment are seven times the national average.</p> <p>Only 1 of 78 sewerage treatment plants achieved full compliance with regulatory discharge limits.</p>	<p>The State Government’s supporting data does not compare like for like. For example, compared to other states the regulatory triggers for reporting sewage discharge are much lower in Tasmania than other States and so reports of non-compliance are far more likely.</p> <p>Furthermore, in the reporting period, major floods, bushfire and drought contributed to the extraordinary discharges.</p>
<p>Unplanned interruptions to water supply have increased.</p>	<p>TasWater has a significant capital program underway with hundreds of projects – spikes from rain, drought then issues with pipes breaking – periods of drought and floods can materially affect the number of unplanned interruptions.</p> <p>Spike in 2014-15 reflected a very dry period which typically drives and increase in the number of breaks.</p> <p>Key quotes section 5th dot point notes</p>
	<p>“TasWater lags well behind its mainland counterparts in relation to regulated discharge limits.” Note P25 of EPA report also notes “...of a similar size”, and then has a general note on Page 26 that the comparison is to utilities that are primarily serving metropolitan areas where as we are serving a mix of metro and regional areas. This point is equally applicable from the water comparisons made.</p>

<p>Councils can leverage from cash reserves.</p>	<p>Councils must (under legislation) fully fund the depreciation of their assets, this is not something required of State Government. They cannot be used as a consolidated fund.</p> <p>Councils reserves are aligned to their 10-year asset management and financial plans. Generally, there are clear rationales for the holding of funds linked to the long-term considerations of depreciation, maintenance, renewal and replacement of assets.</p> <p>The Government is well aware of the impact of the statutory requirements on cash reserves. When Bryan Green suggested use of council reserves in 2012 Rene Hidding commented “isn’t this your greedy money-grubbing letter an attack on council’s very existence”.</p> <p>The cash reserves figure remains fairly constant year on year.</p>
<p>The capital plan can be delivered in half the time (5 years)</p>	<p>The Government have recently clarified that the plan would be delivered in seven years, ie three years earlier rather than the 5 years originally announced. TasWater analysis suggests that even a three-year acceleration would significantly increase the debt levels and render TasWater unsustainable. In all likelihood, it puts the quality of planning and delivery at risk too.</p> <p>This has been modelled using the latest available information from the Government and still shows that debt levels would be increased to \$1.48B and that a further \$160M would need to be funded from other sources.</p>

	<p>If funded from consolidated revenue this means a likely impact on other Government services such as health and education.</p>
<p>The Government can borrow at a lower rate.</p>	<p>TasWater already borrow through TasCorp at the same rate as the Government.</p> <p>There is nothing to stop the State Government sourcing more money for water and sewerage under a Local Government ownership model if it chooses to do so.</p>
<p>1000 new jobs will be created</p>	<p>There is no data to back this assertion and it is unlikely there is enough specialist skill in Tasmania to support an accelerated program.</p>
<p>Councils will receive 50% of distributions after 2026.</p>	<p>The Treasurer intimated (at the 11 April Meeting) there would be no dividends with profit to be directed back into TasWater.</p> <p>Further he indicated the Government would likely continue to forgo their share of tax equivalent payments and would expect Local Government to do similar.</p>
<p>The Government will prevent privatisation through the legislation.</p>	<p>The current ownership model effectively prevents privatisation.</p>

<p>The Government will cap price increases at 2.5%</p>	<p>Pricing is currently set by the independent regulator and cannot be capped by owners.</p> <p>Such a move is at odds with the national water initiative and further escalates the risk to TasWater's viability. The latest national report states that when compared to like utilities TasWater charges per customer are the lowest despite having the highest level of capital investment.</p>
<p>TasWater will become a GBE which can be directed by the Minister.</p>	<p>This gives the Minister of the day considerable power without direct controls or scrutiny and is unlike other GBE's in this regard. The likelihood of 'pork barrelling' and/or bad policy from the 'Government of the day' is increased.</p> <p>The constraints on scrutiny and public provision of information are well illustrated by the recent committee hearings around Hydro.</p> <p>The new directorial powers would likely require amendment of the GBE Act and may have repercussions for all GBEs.</p>
<p>The detailed data needed for modelling has been embargoed by TasWater and is not available to the Treasurer.</p>	<p>On the 25 January 2017 Treasury was advised in writing by TasWater that they would be happy to provide details of the capital plan to all relevant parties including the Treasurer and sought contacts to arrange provision of the plan and an appropriate time for discussion of the detail.'</p>

CONSULTATION

There has been a number of media releases and information provided by the State Government, local Councils, TasWater and LGAT, in relation to updates on this issue.

RESOURCE, FINANCIAL AND RISK IMPACTS

While the Council is aware of TasWater’s 10-year capital program and the impact on our equity and dividend flows, there is no certainty for the Council at this stage outside of distributions until 2024–25 as this detail has not been released by the State Government.

In relation to Council’s interest in Taswater the following figures from the financial statements should be taken into account as these indicate the size of the stake that Council has in the organisation and must consider on behalf of its community.

‘Investment in water corporation	2016	2015
Opening Balance	73,237,239	72,653,935
Fair Value adjustments on available-for-sale assets	1,246,639	583,304
Total investment in water corporation	74,483,878	73,237,239

Council's investment in TasWater is valued at its fair value at balance date. Fair value was determined by using Council's ownership interest against the water corporation's net asset value at balance date. At 30 June 2016, Council held a 4.73% (2015:4.73%) ownership interest in TasWater which is based on Schedule 2 of the Corporation's Constitution which reflects the council's voting rights. Council has an ownership interest of 4.73% in the corporation.

Council has classified this asset as an Available-for-Sale financial asset as defined in AASB 139 Financial Instruments: Recognition and Measurement and has followed AASB 132 Financial Instruments: Presentation and AASB 7 Financial instruments: Disclosures to value and present the asset in the financial report.

Council receives a dividend from TasWater being 2016 - \$969,858 and 2015 - \$1,055,127.’

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

Council Sustainability and Governance

- . Improve service provision
- . Improve the Council’s financial capacity to sustainably meet community expectations
- . Effective communication and engagement.

CONCLUSION

It is recommended that the Council receive the report and advise that the Council cannot support a takeover of TasWater by the State Government based on the current information available.”

The Executive Services Officer reports as follows:

“A suggested resolution is submitted for consideration.”

- “That the Council receive the report and advise that the Council cannot support a takeover of TasWater by the State Government based on the current information available.”
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9.5 Central Coast Community Safety Plan 2017–2022 (438/2006 – 11.12.2006)

The General Manager reports as follows:

“PURPOSE

The purpose of this report is to consider the adoption by the Council of the Central Coast Community Safety Plan 2017–2022 (a copy is attached).

BACKGROUND

The Central Coast Strategic Plan 2014–2024, includes a platform for the future ‘liveability – encompasses notions such as quality of life, character of our place, ease of living, the health and well-being of our community who live here, and the sense of security afforded by living and working in each community.’

The aim of the Central Coast Community Safety Plan is to provide a framework through which issues of community safety can be addressed in a coordinated way. It is a tool to guide decision-making and to encourage community ownership and participation.

The Central Coast Community Safety Partnership Committee is a Community Advisory Group of the Council that is made up of representatives from

organisations as well as individuals representing their respective community, whom actively support the development of community safety initiatives. The committee proactively informs and endorses the Plan as a purposeful document, and as an important component in assisting the community to be vibrant and safe.

DISCUSSION

The Central Coast Community Safety Plan, under the guidance and responsibility of the Committee seeks to:

- . Inspire and strengthen community participation in aspects of safety;
- . Encourage a sense of connection, trust and confidence in community;
- . Promote community leadership through local initiative of community safety; and
- . Direct appropriate resources and programs to identified areas of need; and support the effectiveness of policing operations and emergency services.

As part of the development of any plan, we should be ensuring that we are working towards 'best practice' and to this end the Committee have developed this plan to ensure that our safety programs can be accredited against the Pan Pacific Safe Community framework. Accreditation requires an annual report reflecting on areas within the plan including collaboration and partnership, program reach, priority setting, data analysis and evaluation.

The Central Coast Community Safety Plan 2017–2022 identifies four key areas in which community organisations, individuals and services through a strengthened alliance can positively impact safety in our community. Closely aligned and at times overlapping, these areas identify critical goals for community safety as well as being opportunities where Council services can produce meaningful and significant safety outcomes.

These key areas have been identified through community consultation, data analysis and stakeholder input, and include consideration of some re-occurring issues raised in discussions at the Community Safety Partnership Committee meetings.

The key areas are:

- 1 Safe People – to be safe and to feel safe in Central Coast.

- 2 Safe Places – design, create and maintain places that provide for safe community activity.
- 3 Resilient Communities – a strong, supportive community able to adapt and recover from hazards, shocks and stresses.
- 4 Program development and partnerships – collaborate to share responsibility to ensure community safety.

The Plan also outlines a list of core actions under each key area for the Council and community to work towards achieving over the next five years.

CONSULTATION

Consultation was undertaken through a number of processes, including focus groups, surveys and the networks of the Community Safety Partnership Committee.

RESOURCE, FINANCIAL AND RISK IMPACTS

The main impact on resources will be staff time working with the community. Any projects requiring funding will be identified through the budgetary process.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

- Council Sustainability and Governance
 - Effective communication and engagement.

CONCLUSION

It is recommended that the Central Coast Community Safety Plan 2017–2022 be adopted.

The Executive Services Officer reports as follows:

“A copy of the Central Coast Community Safety Plan 2017–2022 having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the Central Coast Community Safety Plan 2017–2022 be adopted (a copy being appended to and forming part of the minutes).”

9.6 Place Marketing Plan and Coast to Canyon Brand Book and Style Guide

The General Manager reports as follows:

“The Strategy & Policy Officer has prepared the following report:

PURPOSE

The purpose of this report is to consider the adoption by the Council of a Place Marketing Plan (the Plan) and Coast to Canyon Brand Book and Style Guide (copies are attached).

BACKGROUND

The Plan is the roadmap to improve the way we compete as a destination in crowded global marketplaces, such as tourism. Reviewing and reinvesting in the ‘Coast to Canyon’ place brand provides an opportunity to differentiate the Central Coast through brand positioning and marketing. It is also important that local place marketing compliments national, State and regional strategies that the Plan outlines. All destinations need to stay in tune with consumer and travel trends.

The Coast to Canyon place brand was developed in 2006 and the Plan incorporates the Coast to Canyon Brand Review. The Review ensured the Central Coast’s distinct and appealing characteristics are still being reflected by the place brand. The Review enabled development of a Coast to Canyon Brand Book and Style Guide that reflects changes in community sentiment and improves leveraging from the brand.

Therefore, a Plan and Coast to Canyon Brand Book and Style Guide is needed to improve the way we market, promote and communicate the place brand across different industry sectors and community groups to attract, for example: shoppers, visitors, businesses, investors or families to relocate and live here.

DISCUSSION

The Plan is dynamic, allowing it to respond to new opportunities and needs. It is important for the Plan to be adaptive to allow for changes in local programs and initiatives. The collective approach and enduring view of the Plan will enhance place marketing outcomes for all stakeholders.

The Plan will involve working with stakeholders, representative associations, service providers, organisations and community groups around a shared vision. Fostering relationships, partnerships and collaborating on place marketing improves community capacity and our ability to respond to changes in the global economy.

A Coast to Canyon Brand Book and Style Guide have been developed that outlines how the place brand should be used and what it should look like. It provides examples of use as a 'capital brand' with messaging that is effective across different industry sectors and community groups to improve leveraging from the Coast to Canyon brand.

CONSULTATION

Consultation in relation to this Plan has been undertaken with 27 community members and stakeholders (excluding Council staff) who attended the 'Reinvigorating the Coast to Canyon Brand' Workshop. The brand and slogan was focus tested with 40 Council staff, community members and stakeholders. Broad community consultation was also undertaken that included static displays, information sessions and through social media and websites.

RESOURCE, FINANCIAL AND RISK IMPACTS

The primary resource associated with the Plan's Action Plan is the Council's staff collateral. Other costs would need to be included in budget estimates.

Risks associated with not implementing the Plan, Coast to Canyon Brand Book and Style Guide include missed opportunities in areas such as:

- . Improved promotions, marketing and communications of the Central Coast as a place to live, work and invest.
- . Engaging with stakeholders and the community to build capacity.
- . Further embedding the place brand in the community and enhancing place identity.
- . Improved leveraging from the place brand to improve destination awareness.

- Increasing visitor numbers to create economic benefits for local business and the broader community.
- Stakeholders and community members have been mobilised into action and wait for the Council to act in the place marketing space.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

Council Sustainability and Governance

- Effective communication and engagement
- Review the Coast to Canyon Brand

Community Capacity and Creativity:

- Community capacity building.

CONCLUSION

It is recommended that the Place Marketing Plan, Coast to Canyon Brand Book and Style Guide dated May 2017 be adopted.’

The report is supported.”

The Executive Services Officer reports as follows:

“A copy of the Place Marketing Plan, Coast to Canyon Brand Book and Style Guide dated May 2017 having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the Place Marketing Plan, Coast to Canyon Brand Book and Style Guide dated May 2017 be adopted (a copy being appended to and forming part of the minutes).”

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NOTES

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9.7 Statutory determinations

The Director Community Services reports as follows:

“A Schedule of Statutory Determinations made during the month of April 2017 is submitted to the Council for information. The information is reported in accordance with approved delegations and responsibilities.”

The Executive Services Officer reports as follows:

“A copy of the Schedule having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the Schedule of Statutory Determinations (a copy being appended to and forming part of the minutes) be received.”

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9.8 Council acting as a planning authority

The Mayor reports as follows:

“The *Local Government (Meeting Procedures) Regulations 2015* provide that if a council intends to act at a meeting as a planning authority under the *Land Use Planning and Approvals Act 1993*, the chairperson is to advise the meeting accordingly.

The Director Community Services has submitted the following report:

‘If any such actions arise out of Agenda Items 9.9, 9.10, 9.11, 9.12, 9.13, 9.14 and 9.15 they are to be dealt with by the Council acting as a planning authority under the *Land Use Planning and Approvals Act 1993*.’”

The Executive Services Officer reports as follows:

“Councillors are reminded that the *Local Government (Meeting Procedures) Regulations 2015* provide that the general manager is to ensure that the reasons for a decision by a council acting as a planning authority are recorded in the minutes.

A suggested resolution is submitted for consideration.”

- “That the Mayor’s report be received.”

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9.9 Residential (dwelling) and outbuilding (shed) – development exposed to a natural hazard (landslide) at 6 Davis Street, Leith – Application No. DA216167

The Director Community Services reports as follows:

“The Town Planner has prepared the following report:

<i>‘DEVELOPMENT APPLICATION NO.:</i>	DA216167
<i>PROPOSAL:</i>	Residential (dwelling) and outbuilding (shed) – development exposed to a natural hazard (landslide)
<i>APPLICANT:</i>	Yaxley Design & Drafting Pty Ltd
<i>LOCATION:</i>	6 Davis Street, Leith
<i>ZONE:</i>	Rural Living
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the Scheme)
<i>ADVERTISED:</i>	8 April 2017
<i>REPRESENTATIONS EXPIRY DATE:</i>	26 April 2017
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	12 May 2017 (extension of time granted until 15 May 2017)
<i>DECISION DUE:</i>	15 May 2017
<i>PURPOSE</i>	

The purpose of this report is to consider an application for a dwelling and shed at 6 Davis Street, Leith.

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs;
- . Annexure 5 – TasWater Submission to Planning Authority Notice TWDA 2017/00481-CC;
- . Annexure 6 – Statement of Compliance from Road Authority and Stormwater Authority.

BACKGROUND

Development description –

Application is made for a 352.22m² two-storey dwelling and 80m² shed on land that is zoned Rural Living. The total building area would be 436.22m². The dwelling would accommodate an internal double garage, four bedrooms, a rumpus room, open plan kitchen/living/dining area, a deck and covered alfresco entertainment area.

The residential building would be clad with a combination of cement sheet and polystyrene sheet cladding material and a “Colorbond” iron roof.

The shed would be clad with “Colorbond” material.

Development would include a 1.5m high area of fill for construction of the south-western portion of the building.

Site description and surrounding area –

The 7,984m² site forms part of a subdivision sealed in 2012. The site is an internal allotment with areas of steep slope, a portion of which has been cleared of native vegetation. The land has access to a reticulated water supply and would rely on on-site wastewater management.

Adjoining land to the north, south and west is also zoned Rural Living, with recently approved dwellings established or under construction. Adjoining land to the east is zoned Rural Resource.

The site is identified as an area of medium landslide risk and a restrictive building envelope is shown on the Title.

History -

No history relevant to this application.

DISCUSSION

The following table is an assessment of the relevant Scheme provisions:

13.0 Rural Living

CLAUSE	COMMENT
13.3 Use Standards	
13.3.1 Discretionary permit use	
<p>13.3.1-(P1) Discretionary permit use must:</p> <p>(a) be consistent with local area objectives;</p> <p>(b) be consistent with any applicable desired future character statement; and</p> <p>(c) minimise likelihood for adverse impact on amenity for residential use on adjacent land in the zone.</p>	<p>Not applicable.</p> <p>Residential use is Permitted.</p>
13.3.2 Impact of use	
<p>13.3.2-(A1) Permitted non-residential use must adjoin at least one residential use on the same sheet frontage.</p>	<p>Not applicable.</p> <p>Use is Residential.</p>

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<p>13.3.2-(A2) Permitted non-residential use must not generate more than 40 average daily vehicle movements.</p>	<p>Not applicable. Use is Residential.</p>
<p>13.3.2-(A3) Other than for emergency services, residential, and visitor accommodation, hours of operation must be between 6.00am and 9.00pm.</p>	<p>Not applicable. Use is Residential.</p>
<p>13.4 Development standards</p>	
<p>13.4.1 Suitability of a site or lot for use or development</p>	
<p>13.4.1-(A1) Each site or each lot on a plan of subdivision must:</p> <p>(a) have an area not less than:</p> <p style="padding-left: 20px;">(i) 1.0 hectares excluding any access strip; or</p> <p style="padding-left: 20px;">(ii) if in a locality shown in the Table to this Clause, not less than the site area shown for that locality; and</p> <p>(b) if intended for a building, contain a building area:</p> <p style="padding-left: 20px;">(i) of not more than 1,000m²;</p>	<p>(a)(i) Not applicable. Satisfied by (a)(i).</p> <p>(a)(ii) Compliant. Lot is located in Leith and has a land area of 7,984m².</p> <p>(b)(i) Compliant. Building area, incorporating the dwelling and shed, would be 436.22m².</p> <p>(b)(ii) Non-compliant. The shed would be setback 2m from the southern side boundary. The Scheme requires a setback of 5m from side boundaries in the Leith area. Refer to the “Issues” section of this report.</p>

<ul style="list-style-type: none"> (ii) clear of any applicable setback from a frontage, side or rear boundary; (iii) clear of any applicable setback from a zone boundary; (iv) clear of any registered easement; (v) clear of any registered right of way benefiting other land; (vi) clear of any restriction imposed by a utility; (vii) not including any access strip; (viii) clear of any area required for the on-site disposal of sewage or stormwater; and (ix) accessible from a frontage or access strip. 	<p>The proposed dwelling is compliant. The dwelling would be setback approximately 108m from the front boundary, 16.5m from the southern side boundary and 11.8m from the northern side boundary. The rear setback of dwelling and shed would be 78m.</p> <ul style="list-style-type: none"> (b)(iii) Not applicable. No applicable zone boundary. (b)(iv) Not applicable. No easement shown on the Title. (b)(v) Not applicable. No right of way benefiting other land. (b)(vi) Not applicable. No restriction imposed by a utility. (b)(vii) Compliant. Clear of access strip. (b)(viii) Compliant. Development would be clear of proposed wastewater disposal site. Stormwater would be directed to the Davis Street culvert. (b)(ix) Compliant. Access strip frontage to Davis Street.
<p>13.4.1-(A2) A site or each lot on a subdivision plan must have a separate access from a road:</p>	<ul style="list-style-type: none"> (a) Compliant. Frontage to Davis Street is 8.13m.

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<p>(a) across a frontage over which no other land has a right of access; and</p> <p>(b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or</p> <p>(c) by a right of way connecting to a road:</p> <p style="padding-left: 20px;">(i) over land not required as the means of access to any other land; and</p> <p style="padding-left: 20px;">(ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right-of-way of not less than 6.0m; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	<p>(b) Compliant. Site has a dedicated access strip connecting to the Davis Street frontage.</p> <p>(c)(i) Not applicable. Satisfied by (b).</p> <p>(c)(ii) Not applicable. Satisfied by (b).</p> <p>(d) Compliant. Access strip has a width of 8.13m.</p> <p>(e) Compliant. Development would need to be in accordance with the Statement of Compliance from the Stormwater Authority.</p>
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<p>13.4.1–(A3) A site or each lot on a plan of subdivision must be capable of connecting to a water supply:</p> <p>(a) from a connection to a water supply provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p> <p>(b) from a rechargeable drinking water system^{R6} with a storage capacity of not less than 10,000 litres if:</p> <p>(i) there is not a reticulated water supply; and</p> <p>(ii) development is for:</p> <p>a. a single dwelling; or</p> <p>b. a use with an equivalent population of not more than 10 people per day.</p>	<p>Compliant.</p> <p>The site is connected to the reticulated water system. The Council’s Planning Permit would require compliance with TasWater’s approval, included as an attachment to the Planning Permit.</p>
<p>13.4.1–(A4) A site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and trade waste:</p> <p>(a) to a reticulated sewer system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p> <p>(b) by on-site disposal if:</p>	<p>(a) Not applicable. The site is not connected to the reticulated sewerage system.</p> <p>(b)(i) Compliant. Land cannot drain to a reticulated sewer system.</p> <p>(b)(ii)a. Compliant. Development is for a single dwelling.</p> <p>(b)(ii)b. Not applicable. Satisfied by (b)(iii).</p>

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<p>(i) sewage or trade waste cannot be drained to a reticulated sewer system; and</p> <p>(ii) the development:</p> <p style="padding-left: 20px;">a. is for a single dwelling; or</p> <p style="padding-left: 20px;">b. provides for an equivalent population of not more than 10 people per day; or</p> <p style="padding-left: 20px;">c. creates a total sewage and waste water flow of not more than 1,000 litres per day; and</p> <p>(iii) the site has capacity for on-site disposal of domestic waste water in accordance with AS/NZS1547:2012 On-site domestic-wastewater management clear of any defined building area or access strip.</p>	<p>(b)(ii)c. Not applicable. Satisfied by (b)(iii).</p> <p>(b)(iii) Compliant. The application is accompanied by a Geotechnical Assessment report by Geo-Environmental Solutions Pty Ltd. The report examines landslide risk and includes assessment and design of an on-site wastewater system clear of any defined building area or access strip.</p>
<p>13.4.1-(A5) A site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater:</p> <p>(a) for discharge to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>; or</p> <p>(b) if stormwater cannot be drained to a stormwater system:</p> <p style="padding-left: 20px;">(i) for discharge to a natural drainage line, water</p>	<p>(a) Not applicable. Satisfied by (b)(ii)a.</p> <p>(b)(i) Compliant. Site to drain to the Davis Street culvert that empties into the Forth River.</p> <p>(b)(ii)a. Compliant. Site has a land area of 7,984m².</p> <p>(b)(ii)b. Compliant. Disposal would be clear of building area.</p>

<p>body, or watercourse; or</p> <p>(ii) for disposal within the site if:</p> <p>a. the site has an area of not less than 5,000m²;</p> <p>b. the disposal area is not within any defined building area;</p> <p>c. the disposal area is not within any area required for the disposal of sewage;</p> <p>d. the disposal area is not within any access strip; and</p> <p>e. not more than 50% of the site is impervious surface; and</p> <p>(iii) the development is for a single dwelling.</p>	<p>(b)(ii)c. Compliant. Disposal area is not within an area required for disposal of sewerage.</p> <p>(b)(ii)d. Compliant. Disposal area is not within an access strip.</p> <p>(b)(ii)e. Compliant. Not more than 50% of the site would be of an impervious surface.</p> <p>(b)(iii) Compliant. Development is for a single dwelling.</p>
<p>13.4.2 Dwelling density</p>	
<p>13.4.2-(A1) The site area per dwelling must:</p> <p>(a) be not less than 1.0 hectare; or</p>	<p>(a) Not applicable. Satisfied by (b).</p> <p>(b) Compliant. Site is located in Leith and has a land area of 7,984m².</p>

<p>(b) if the site is in a locality shown in the Table to this clause, the site area for that locality.</p>	
<p>13.4.3 Location and configuration of development</p>	
<p>13.4.3-(A1) A building, utility structure, garage or carport must be set back from a frontage –</p> <p>(a) not less than 20.0m;</p> <p>(b) not less than or not more than the setbacks for any existing building on each of the immediate adjoining sites;</p> <p>(c) not less than for any building retained on the site;</p> <p>(d) in accordance with any building area shown on a sealed plan of subdivision; or</p> <p>(e) if the site abuts a road shown in the Table to this Clause, the setback specified for that road; or</p> <p>(f) if the site is in a locality shown in the Table to this Clause, the setback for that locality.</p>	<p>(a) Compliant. Proposed dwelling would be setback approximately 110m from the frontage to Davis Street.</p> <p>(b) Not applicable. Satisfied by (a).</p> <p>(c) Not applicable. No building retained on the site. Satisfied by (a).</p> <p>(d) Non-compliant. Sealed Plan shows a restrictive building area on the Title. Development would, partially, not be inside the restrictive building area.</p> <p>Refer to the “Issues” section of this report.</p> <p>(e) Not applicable. Site does not abut the Bass Highway.</p> <p>(f) Compliant. Development satisfies the frontage setback, including the setback shown in the Table to this Clause.</p>

<p>13.4.3-(A2) All buildings must be contained within a building envelope determined by:</p> <ul style="list-style-type: none"> (a) the applicable frontage setback; (b) a setback of not less than 10.0m from each side boundary; (c) a setback of not less than 10.0m from the rear boundary; (d) a setback of not less than 20.0m from any designated building area on each adjacent site; or (e) if the site is in a locality shown in the Table to this Clause, the setback for that locality; or (f) any building area shown on a sealed plan; and (g) building height of not more than 8.5m. 	<ul style="list-style-type: none"> (a) Compliant. Proposed dwelling would be setback 110m from the Davis Street frontage. (b) Non-compliant. Shed would be setback 2m from the southern side boundary. The dwelling would be compliant, setback 16.5m from the southern side boundary and 11.8m from the northern side boundary. Refer to the "Issues" section of this report. (c) Compliant. Dwelling and shed would be setback 78m from the rear boundary. (d) Compliant. Development would be clear of building areas on adjacent lots. (e) Non-compliant. Development does not meet side setback as shown in the Table to this Clause. Refer to the "Issues" section of this report. (f) Non-compliant. Development is outside the restrictive building envelope that is shown on the Sealed Plan.
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	<p>Refer to the “Issues” section of this report.</p> <p>(g) Compliant. Maximum building height would be approximately 7.5m.</p>
<p>13.4.3–(A3) Site coverage must:</p> <p>(a) be not more than 500m²; and</p> <p>(b) not include any part of a site required for the disposal and drainage of sewage or stormwater; or</p> <p>(c) be not more than any building area shown on a sealed plan.</p>	<p>(a) Compliant. Site coverage would be 436.22m².</p> <p>(b) Compliant. Separate sewerage disposal area is shown on the drainage plan. Stormwater would drain to the Davis Street culvert.</p> <p>(c) Not applicable. Satisfied by (b).</p>
<p>13.4.3–(A4)</p> <p>(a) A utility structure must be a power pole, antenna or a single domestic-scale turbine to a maximum of 10m in height which is:</p> <p>(i) not part of a wind farm;</p> <p>(ii) not sited on a skyline; and</p> <p>(iii) if a wind turbine, not located within 60m of a dwelling in other ownership nor within 30m of</p>	<p>(a)(i) Not applicable. Not a utility structure.</p> <p>(a)(ii) Not applicable. Not a utility structure.</p> <p>(a)(iii) Not applicable. Not a utility structure.</p> <p>(b)(i) Compliant. Dwelling would be located approximately 34m below adjoining ridgeline.</p> <p>(b)(ii) Compliant. Development would be 358m from the Forth River.</p>

<p>a public road.</p> <p>(b) A building, except a utility structure must be -</p> <p>(i) located not less than 15m below the level of any adjoining ridgeline; and</p> <p>(ii) not less than 30m from any shoreline to a marine or aquatic water body, water course, or wetland.</p> <p>(iii) Clad and roofed with materials with a light reflectance value of less than 40%.</p>	<p>(b)(iii) Compliant. Shed would be in “Deep Ocean Colorbond”.</p>
<p>13.4.3-(A5) Area for the display, handling of good, storage or waste must not be located in front of the building line.</p>	<p>Compliant.</p> <p>No area for waste and storage would be located in front of the building line.</p>
<p>13.4.4 Acoustic and visual privacy for residential development</p>	
<p>13.4.4-(A1) A door or window to a habitable room or any part of a balcony, deck, roof garden, parking space or carport of a building must:</p> <p>(a) be not less than 10.0m from a side boundary and 10.0m from a rear boundary to adjoining land in any zone for residential purposes; or</p>	<p>(a) Compliant. Doors and windows to habitable rooms would not be less than 10m from rear and side boundaries.</p> <p>(b) Not applicable. Satisfied by (a).</p>

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<p>(b) be not less than 10.0m from a door or window to a habitable room or any part of a balcony, deck, or roof garden in an adjacent dwelling.</p>	
<p>13.4.4-(A2) An access strip or shared driveway, including any pedestrian pathway and parking area, must be separated by a distance of not less than 5.0m horizontally from the door or window to a dwelling or any balcony, deck, or roof garden in a dwelling.</p>	<p>Compliant.</p> <p>Access strip is greater than 5m from any adjoining dwelling. The access strip would be approximately 26m to the adjoining dwelling to the north (10 Davis Street) and 27m to the dwelling located to the south (4 Davis Street).</p>
<p>13.4.5 Private open space for multiple dwelling residential use</p>	
<p>13.4.5-(A1) Each dwelling in a multiple dwelling must have external private open space that:</p> <p>(a) is accessible from the dwelling;</p> <p>(b) comprises an area of not less than 50.0m²;</p> <p>(c) has a minimum dimension of 5.0m; and</p> <p>(d) has a gradient of not more than 1 in 10.</p>	<p>Not applicable.</p> <p>No multiple dwelling development proposed.</p>

<p>13.4.5-(A2) The required minimum private open space area must be capable of receiving at least three hours of sunlight between 9.00am and 3.00pm on 21 June.</p>	<p>Not applicable. No multiple dwelling development proposed.</p>
<p>13.4.6 Setback of development for sensitive use</p>	
<p>13.4.6-(A1) A building containing a sensitive use must be contained within a building envelope determined by:</p> <p>(a) the setback distance from the zone boundary as shown on the Table to this clause; and</p> <p>(b) projecting upward and away from the zone boundary at an angle of 45 degrees above the horizontal from a wall height of 3.0m at the setback distance from the zone boundary.</p>	<p>(a) Compliant. Site adjoins a Rural Resource zone allotment to the east. The development setback required is 10m. The proposed development would be setback 78m from the zone boundary.</p> <p>(b) Compliant. Site adjoins a Rural Resource zone allotment to the east. Development would project upward and away from the zone boundary at a setback distance of 78m.</p>
<p>13.4.6-(A2) Development for a sensitive use must be not less than 50.0m from:</p> <p>(a) a major road identified in the Table to this clause;</p> <p>(b) a railway;</p> <p>(c) land designated in the planning scheme for future road or rail purposes; or</p>	<p>(a) Compliant. Dwelling is approximately 593m from the Bass Highway.</p> <p>(b) Compliant. Dwelling is over 653m from the Western Rail Line.</p> <p>(c) Not applicable. There is no land designated in the Scheme for future road or rail purposes.</p>

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(d) a proclaimed wharf area.	(d) Compliant. Closest proclaimed wharf area is in Devonport, approximately 15km to the east.
13.4.7 Subdivision	
<p>13.4.7-(A1) Each new lot on a plan of subdivision must be -</p> <p>(a) intended for residential use;</p> <p>(b) a lot required for public use by the State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a statutory authority.</p>	<p>Not applicable.</p> <p>Not a subdivision.</p>
<p>13.4.7-(A2) A lot, other than a lot to which A1(b) applies, must not be an internal lot.</p>	<p>Not applicable.</p> <p>Not a subdivision.</p>
13.4.8 Reticulation of an electricity supply to new lots on a plan of subdivision	
<p>13.4.8-(A1) Electricity reticulation and site connections must be installed underground.</p>	<p>Not applicable.</p> <p>Not a subdivision.</p>

CODES	
E1 Bushfire-Prone Areas Code	Not applicable. Not a subdivision, hazardous or vulnerable use.
E2 Airport Impact Management Code	Not applicable. No Airport Impact Management Code in the Scheme.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing or conversion of vegetation proposed.
E4 Change in Ground Level Code	Not applicable. No change in ground level greater than 1m.
E5 Local Heritage Code	Not applicable. No Heritage listings in this Scheme.
E6 Hazard Management Code	
E6.2 Application of the Code	Applicable. Site identified as subject to medium landslide risk.
E6.4 Use or Development Exempt from this Code	Not exempt. Site identified as subject to medium landslide risk.

E6.5 Use Standards	
E6.5.1 Use on potentially contaminated land	
<p>E6.5.1-(A1) Use must not occur on land potentially contaminated by a previous use for an activity listed in Table E6.1 unless:</p> <p>(a) soil disturbance and development is carried out in accordance with requirements in a hazard risk assessment for contamination;</p> <p>(b) a hazard risk assessment for potential contamination establishes the site can be remediated to provide a tolerable level of risk for the use; or</p> <p>(c) a hazard risk assessment establishes the site has been remediated to provide a tolerable level of risk.</p>	<p>Not applicable.</p> <p>Not identified as a contaminated site.</p>
E6.5.2 Use likely to be exposed to a natural hazard	
<p>E6.5.2-(A1) If a use is on land within an area of risk from exposure to a natural hazard as shown on a map forming part of this planning scheme:</p> <p>(a) use must not be for a critical use, a hazardous use, or a vulnerable use;</p>	<p>(a) Not applicable. Not a critical, hazardous or vulnerable use.</p> <p>(b) Non-compliant. Development is Residential use in an area where the level of risk is low-medium.</p>

<p>(b) use must not be residential use if the level of risk is medium or higher; and</p> <p>(c) a hazard risk assessment must demonstrate a tolerable level of risk can be achieved and maintained for the nature and duration of the use.</p>	<p>Refer to the “Issues” section of this report.</p> <p>(c) Compliant. The application is accompanied by a Geotechnical Assessment report by Geo-Environmental Solutions Pty Ltd dated March 2017. The report examines site drainage, geomorphology, geological conditions, slope angles and laboratory testing of drill hole samples from the site.</p> <p>The report concludes that the level of risk to residential use on the site is low-medium and that development within the proposed building envelopes would not increase the risk of landslide, provided best practice for construction on slopes and soil and water management practices are followed as discussed in the report. Furthermore, the development would not adversely impact on the stability of the site and/or immediate surrounds.</p>
<p>E6.6 Development Standards</p>	
<p>E6.6.1 Development on potentially contaminated land</p>	
<p>E6.6.1-(A1) Development must not occur on land potentially contaminated by a previous use for an activity listed in the Table</p>	<p>Not applicable.</p>

<p>E6.1 to this clause unless:</p> <p>(a) soil disturbance and development is carried out in accordance with the requirements of a hazard risk assessment for contamination;</p> <p>(b) a hazard risk assessment establishes the site can be remediated to provide a tolerable level of risk from the development; or</p> <p>(c) a hazard risk assessment establishes the site has been remediated to provide a tolerable level of risk from the development; and</p> <p>(d) if a hazard risk assessment establishes need to involve land on another title to manage risk consistent with the objective, the consent in writing of the owner of that land must be provided to enter into a Part 5 agreement to be registered on the title of the land and providing for the affected land to be managed in accordance with recommendations for contamination management.</p>	<p>Not identified as a contaminated site.</p>
<p>E6.6.2 Development on land exposed to a natural hazard</p>	
<p>E6.6.2-(A1) If the site is within an area of risk shown on a natural hazard map forming part of this planning scheme:</p>	<p>(a)(i) Not applicable. Satisfied by (a)(ii).</p>

<p>(a) a hazard risk assessment must determine:</p> <ul style="list-style-type: none"> (i) there is an insufficient increase in risk to warrant any specific hazard reduction or protection measure; or (ii) a tolerable level of risk can be achieved for the type, form, scale and duration of the development; and <p>(b) if a hazard risk assessment established need to involve land on another title for hazard management consistent with the objective, the consent in writing of the owner of that land must be provided to enter into a Part 5 agreement to be registered on the title of the land and providing for the affected land to be managed in accordance with recommendations for hazard management.</p>	<p>(a)(ii) Compliant. The application is accompanied by a Geotechnical Assessment report by Geo-Environmental Solutions Pty Ltd dated March 2017. The report examines site drainage, geomorphology, geological conditions, slope angles and laboratory testing of drill hole samples from the site.</p> <p>The report concludes that the level of risk to residential use on the site is low-medium and that development within the proposed building envelopes would not increase the risk of landslide, provided best practice for construction on slopes and soil and water management practices are followed as discussed in the report. Furthermore, the development would not adversely impact on the stability of the site and/or immediate surrounds.</p> <p>(b) Not applicable. No hazard management works required on another title.</p>
<p>E7 Sign Code</p>	<p>Not applicable. No signage proposed.</p>
<p>E8 Telecommunication Code</p>	<p>Not applicable. No telecommunication facilities proposed.</p>

E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	Applicable. Applies to all use and development.
E9.4 Use or development exempt from this Code	Not exempt. No Local Area Parking Scheme.
E9.5 Use Standards	
E9.5.1 Provision for parking	
E9.5.1-(A1) Provision for parking must be: (a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code.	(a) Compliant. The Scheme requires that two car parking spaces per dwelling be made available. Development includes an internal double garage and three bay shed.
E9.5.2 Provision for loading and unloading of vehicles	
E9.5.2-(A1) There must be provision within a site for: (a) on-site loading area in accordance with the requirement in the Table to this Code; and (b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.	(a) Not applicable. On-site loading not required in the Rural Living zone. (b) Not applicable. Passenger pick-up and set-down facilities not required for Residential use.

E9.6 Development Standards	
E9.6.2 Design of vehicle parking and loading areas	
E9.6.2 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and	<p>Compliant.</p> <p>Development would be required to collect, store and dispose of stormwater to the Davis Street culvert.</p>
<p>E9.6.2 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –</p> <p>(a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking;</p> <p>(b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles;</p> <p>(c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities;</p> <p>(d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities;</p> <p>(e) Each parking space must be separately accessed from the</p>	<p>(a) Compliant. Development is capable of complying with AS/NZS 2890.1–(2004) – Parking Facilities – Off-Street Car Parking.</p> <p>(b) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(c) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(d) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(e) Compliant. The site is able to accommodate this Standard.</p>

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<p>internal circulation aisle within the site;</p> <p>(f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and</p> <p>(g) Be formed and constructed with compacted sub-base and an all-weather surface.</p>	<p>(f) Compliant. The site is able to accommodate this Standard.</p> <p>(g) Compliant. Condition to be applied to any Permit issued.</p>
<p>E9.6.2-(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.</p>	<p>Compliant.</p> <p>Condition to be applied to any Permit issued.</p>
<p>E10 Water and Waterways Code</p>	<p>Not applicable. The site is approximately 350m from the Forth River.</p>
<p>Specific Area Plans</p>	<p>Not applicable. No Specific Area Plans apply to this location.</p>

*Issues –**1 Development on a site exposed to a natural hazard (landslide) and development partially outside the restrictive building envelope as shown on Title –*

The site is identified on the Council's landslide overlay map as being subject to medium landslide risk. The Sealed Plan has a restrictive building envelope applied to the land in response to a geotechnical assessment and recommendations made at the time of subdivision of the land in 2012. The proposed development would be approximately 8m outside a section of the required building envelope.

Due to the location of the land in a medium landslide risk area, any development application, including on-site wastewater management design, must be accompanied by a geotechnical assessment by a qualified geotechnical engineer.

The application for a single dwelling and shed is accompanied by a Geotechnical Assessment report by Geo-Environmental Solutions Pty Ltd dated March 2017. The report examines site drainage, geomorphology, geological conditions, slope angles and responds to laboratory testing of various drill holes across the site. The report concludes that the level of risk to development on-site is low-medium; that development would not adversely impact on the stability of the site and/or immediate surrounds and that a tolerable level of risk can be achieved for the type, form, scale and duration of the development, as proposed.

Furthermore, the report concludes that development of the dwelling and shed, partially outside the proposed building envelope shown on the Title, would not increase the risk of landslide provided best practice for construction on slopes and the implementation of soil and water management practices are adhered to, as discussed in the report.

The Geotechnical Assessment report recommendations are summarised as follows:

- (a) Adequate site drainage be installed capable of reticulating the landslide trigger value of 200mm per day and delivering the water to stormwater outlets.
- (b) All stormwater should be immediately directed to mains outlets upon the construction of hard surfaces to minimise

any possible water accumulation and excess flows onto the steep slopes below.

- (c) Recommendations of the Australian Geomechanics “Practice Note Guidelines for Landslide Risk Management 2007 Appendix G – Some Guidelines for Hillside Construction” be followed.
- (d) Site cutting/filling should be avoided.
- (e) Careful attention should be paid to foundation design and drainage design to further eliminate the potential for foundation movement. This should occur after individual soil tests, compliant with AS2870–2011, to be commissioned at the building approval stage.
- (f) All earthworks on-site must comply with AS3798–2007 and sediment and an erosion control plan should be implemented on-site during and after construction.

2 *Variation to side boundary setback –*

The Scheme’s Acceptable Solution 13.4.3–(A2) requires that development in Leith be setback 5m from a side boundary in the Rural Living zone.

The proposed shed would be setback 2m from the southern side boundary. A discretion must be exercised to allow the development to proceed as proposed.

The Scheme’s Performance Criteria 13.4.3–(P2) states the following:–

Building height and location of a building in relation to site boundaries must –

- (a) Minimise likelihood for overshadowing of a habitable room in an adjacent dwelling on the site;
- (b) Take account of the relationship between appearance and design characteristics of the buildings and any buildings on adjacent land;
- (c) Minimise the apparent scale, bulk, massing and proportion relative to any adjacent building;

- (d) Be consistent with the rural setting and the streetscape;
- (e) Respond to the effect of the slope and orientation of the site to attenuate impact on adjacent land.

The Performance Criteria is addressed accordingly.

Overshadowing of habitable rooms of an adjacent dwelling –

The land to the south of the subject allotment is vacant. The proposed shed would not overshadow any habitable rooms of an adjacent dwelling.

Design character and materials of adjacent dwellings –

Adjacent dwellings are of brick construction with ancillary “Colorbond” outbuildings. The proposed shed would be of “Deep Ocean Colorbond” construction. This is consistent with the use of material in this area for the construction of outbuildings.

Minimise scale, bulk, massing and proportion relative to adjacent buildings –

An 80m² shed is proposed. The scale and bulk of the proposed shed would be consistent with development of adjacent properties. The size of the shed would be considered an average size residential shed for the Rural Living zone, where the lot sizes are generally in excess of 4,000m² and are able to accommodate larger residential shed development.

Consistency with the rural setting –

The subject allotment is an internal parcel of land. Development would be well screened from Davis Street by vegetation. The proposed development of a dwelling and shed would be consistent with the rural setting and streetscape of the Leith area that exhibits single dwelling development with associated outbuildings.

Respond to the effect of the slope and orientation of the site –

The land has areas of steep slope and is identified as land of Medium landslide hazard. A restrictive building envelope is shown on the Title and this has determined the location of the proposed dwelling and shed. The development, as proposed, is a response to the restrictions

of the site and in response to geo-technical advice that accompanies the proposal.

Referral advice -

Referral advice from the various Departments of the Council and other service providers is as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	No conditions.
Infrastructure Services	Refer to the Statement of Compliance from the Road Authority and Stormwater Authority at Annexure 6.
TasWater	No conditions required. Refer to the Submission to Planning Authority Notice TWDA 2017/00481-CC at Annexure 5.
Department of State Growth	Referral was not required.
Environment Protection Authority	Referral was not required.
TasRail	Referral was not required.
Heritage Tasmania	Referral was not required.
Crown Land Services	Referral was not required.
Other	Referral was not required.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- . a site notice was posted;
- . letters to adjoining owners were sent; and
- . an advertisement was placed in the Public Notices section of The Advocate.

Representation -

One representation was received within the prescribed time, a copy of which is provided at Annexure 3.

The representation is summarised and responded to as follows:

MATTER RAISED	RESPONSE
<p>1 Given the upslope location of the proposed development, it overlooks two existing occupied dwellings (4 Davis Street and 10 Davis Street). The documentation does not provide details of the nature and breadth of overlooking and does not allow for determination of line of sight from the proposed development to other dwellings.</p> <p>Line of sight from the ingress (access strip) is also of interest as it results in a loss of privacy. The new (recently approved) development at 8 Davis Street will have a line of sight into the bedroom of our dwelling and the proposed development may potentially add to the loss of privacy.</p>	<p>The side boundaries of the access strip of 6 Davis Street would be setback approximately 26m to the adjoining dwelling to the north (10 Davis Street) and 27m to the dwelling located to the south (4 Davis Street).</p> <p>The Scheme's Acceptable Solution 13.4.4-(A2) requires that access strips or shared driveways be separated by a distance of not less than 5m horizontally from the door or window to a dwelling or any balcony, deck, or roof garden of an adjoining dwelling.</p> <p>The proposed development meets this requirement.</p> <p>The Scheme also requires that doors and windows of habitable rooms be setback 10m from the rear and side boundaries of adjoining land. The proposed development meets this standard. The proposed dwelling for 6 Davis Street would be approximately 50m from the existing dwelling at 4 Davis Street and approximately 60m from the existing dwelling at 10 Davis Street. This distance provides ample land area for screen planting on both the subject property, and on adjoining</p>

	land to ameliorate any privacy issues.
2 Request that sufficient stormwater drainage be installed to ensure no diversion of water flowing down the steep driveway onto adjoining land.	<p>It would be a requirement of any Permit issued that stormwater from the dwelling, shed and roadway be collected and disposed of to an approved stormwater system. In this case, to the stormwater culvert in Davis Street.</p> <p>Refer to the Statement of Compliance at Annexure 6.</p>
3 Request that due consideration be given for a sealed driveway from Davis Street to the internal development, to ensure minimisation of dust.	<p>The Scheme also requires that, in the Rural Living zone, access strips, driveways and car parking areas be designed and constructed in accordance with the principles and requirements of the current edition of “Unsealed Roads Manual – Guideline for Good Practice ARRB”. This means that roads are to be constructed with a compacted sub-base and an all-weather gravel surface. In the Rural Living zone, the subject development is not required to seal the access road with concrete or asphalt, but must, at a minimum, rely on a properly constructed gravel road.</p> <p>The Council would require, as a condition on the Permit, that the internal roadway be constructed with a compacted sub-base and all-weather surface, in accordance with the “Unsealed Road Manual – Guideline for Good Practice ARRB”.</p>
4 Given that both 8 Davis Street and 6 Davis Street require access via an access strip (both are	The two internal allotments, identified as 8 Davis Street and 6 Davis Street, each have, on a

<p>internal allotments), it is unclear whether two separate driveways will be constructed or a single, dual driveway (for use by both). Please clarify.</p>	<p>Certificate of Title, a lawful, separate, dedicated access and frontage to Davis Street. The property at 6 Davis Street will need to construct a separate cross-over from Davis Street, and each property will need to develop a separate access road to their respective internal parcels of land. Each property owner may fence their own boundary, if so inclined.</p>
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RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council’s determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The proposed development is a response to a rural living site that has restrictive elements, including that it is an internal allotment, has a restrictive building envelope and is identified as subject to a landslide hazard. It is considered that the proposed development satisfies the Scheme’s Performance Criteria and that issue of a conditional Permit is justified.

The matters raised in the representation relating to road construction, the site access road and stormwater management, are to be addressed by conditions to the Planning Permit, including the inclusion of requirements in a Statement of Compliance from the Road Authority and Stormwater Authority.

Recommendation –

It is recommended that the application for Residential (dwelling) and outbuilding (shed) – development exposed to a natural hazard (landslide) at

6 Davis Street, Leith be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by Yaxley Design and Drafting, Drawing Nos. 216212-1 to 216212-7 dated March 2017 and plans by Fair Dinkum Sheds, Job No. DEVN13737, Sheet Nos. 1, 2, 3 and 6 dated 16 March 2017, unless modified by a condition of this Permit.
- 2 The development, including on-site disposal of domestic wastewater, must be in accordance with the recommendations contained in the Geotechnical Assessment report by Geo-Environmental Solutions, Investigation Geo-Probe540UD dated March 2017.
- 3 All internal access driveways and vehicle parking and manoeuvring areas must be constructed with a compacted sub-base and all-weather surface in accordance with the Unsealed Road Manual – Guideline for Good Practice ARRB.
- 4 Stormwater from vehicle access, parking and manoeuvring areas must be collected, drained and disposed of to an approved stormwater system.
- 5 The development must be in accordance with the conditions of the TasWater Submission to Planning Authority Notice TWDA 2017/00481-CC dated 12 April 2017 (copy attached).
- 6 The development must be in accordance with the Bushfire Risk Assessment Report & Certificates by Micheal Wells of EnviroPlan Australia, Accreditation No. BFP-128 dated 21 February 2017.
- 7 The development must be in accordance with the conditions of the Statement of Compliance for Vehicular Access and Drainage Access dated 1 May 2017, issued by the Council acting in its capacity as the Road Authority and the Stormwater Authority (copy attached).

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period an extension may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.

- 2 "Substantial commencement" is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site, or an arrangement of a Private Works Authority or bank guarantee to undertake such works.
- 3 Building and Plumbing Permits are required for the proposed development. A copy of this Planning Permit must be given to your building surveyor.'

The report is supported.”

The Executive Services Officer reports as follows:

“A copy of the Annexures referred to in the Town Planner’s report having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

■ “That the application for Residential (dwelling) and outbuilding (shed) – development exposed to a natural hazard (landslide) at 6 Davis Street, Leith be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by Yaxley Design and Drafting, Drawing Nos. 216212–1 to 216212–7 dated March 2017 and plans by Fair Dinkum Sheds, Job No. DEVN13737, Sheet Nos. 1, 2, 3 and 6 dated 16 March 2017, unless modified by a condition of this Permit.
- 2 The development, including on–site disposal of domestic wastewater, must be in accordance with the recommendations contained in the Geotechnical Assessment report by Geo–Environmental Solutions, Investigation Geo–Probe540UD dated March 2017.
- 3 All internal access driveways and vehicle parking and manoeuvring areas must be constructed with a compacted sub–base and all–weather surface in accordance with the Unsealed Road Manual – Guideline for Good Practice ARRB.
- 4 Stormwater from vehicle access, parking and manoeuvring areas must be collected, drained and disposed of to an approved stormwater system.
- 5 The development must be in accordance with the conditions of the TasWater Submission to Planning Authority Notice TWDA 2017/00481–CC dated 12 April 2017 (copy attached) (a copy being appended to and forming part of the minutes).

- 6 The development must be in accordance with the Bushfire Risk Assessment Report & Certificates by Micheal Wells of EnviroPlan Australia, Accreditation No. BFP-128 dated 21 February 2017.
- 7 The development must be in accordance with the conditions of the Statement of Compliance for Vehicular Access and Drainage Access dated 1 May 2017, issued by the Council acting in its capacity as the Road Authority and the Stormwater Authority (copy attached) (a copy being appended to and forming part of the minutes).

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period an extension may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 ‘Substantial commencement’ is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site, or an arrangement of a Private Works Authority or bank guarantee to undertake such works.
- 3 Building and Plumbing Permits are required for the proposed development. A copy of this Planning Permit must be given to your building surveyor.”

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9.10 Residential (outbuilding – garage and verandah) – variation to side boundary setback standard at 34 Jermyn Street, Ulverstone – Application No. DA216181

The Director Community Services reports as follows:

“The Town Planner has prepared the following report:

<i>‘DEVELOPMENT APPLICATION No.:</i>	DA216181
<i>PROPOSAL:</i>	Residential (outbuilding – garage and verandah) – variation to side boundary setback standard
<i>APPLICANT:</i>	JDR Homes
<i>LOCATION:</i>	34 Jermyn Street, Ulverstone

<i>ZONE:</i>	General Residential
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the Scheme)
<i>ADVERTISED:</i>	8 April 2017
<i>REPRESENTATIONS EXPIRY DATE:</i>	26 April 2017
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	15 May 2017
<i>DECISION DUE:</i>	15 May 2017

PURPOSE

The purpose of this report is to consider an application to demolish existing joined outbuildings (carport and shed) that are located on the northern boundary of the subject property and construct a new outbuilding on the southern boundary at 34 Jermyn Street, Ulverstone.

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs.

BACKGROUND

Development description –

Application is made to demolish an existing 13m x 3.8m (49.4m²) carport and shed and construct a new 7.5m x 6m (41.4m²) shed and a 32.24m² verandah addition to the existing dwelling.

Site description and surrounding area –

The subject site is a 1,034m² residential allotment that is in a suburban residential area of Ulverstone. The land is flat and is surrounded by other residential allotments developed, primarily, as single-storey, single dwellings.

History –

The original dwelling on the site was constructed in 1910.

In 2012 a Permit was issued for an 85m² extension to the dwelling and a shed extension to the existing carport. The dwelling extension was approved with

a 750mm setback from the southern boundary. A representation in relation to overshadowing was received at that time.

DISCUSSION

The following table is an assessment of the relevant Scheme provisions:

General Residential

CLAUSE	COMMENT
10.3.1 Discretionary Permit Use	
<p>10.3.1-(P1) Discretionary permit use must:</p> <p>(a) be consistent with local area objectives;</p> <p>(b) be consistent with any applicable desired future character statement; and</p> <p>(c) minimise likelihood for adverse impact on amenity for use on adjacent land in the zone.</p>	<p>Not applicable.</p> <p>Residential use is Permitted.</p>
10.3.2 Impact of Use	
<p>10.3.2-(A1) Permitted non-residential use must adjoin at least one residential use on the same street frontage.</p>	<p>Not applicable.</p> <p>Use is contained within a dwelling.</p>
<p>10.3.2-(A2) Permitted non-residential use must not generate more than 40 average daily vehicle movements.</p>	<p>Not applicable.</p> <p>Use is contained within a dwelling.</p>

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<p>10.3.2–(A3) Other than for emergency services, residential, and visitor accommodation, hours of operation must be between 6.00am and 9.00pm.</p>	<p>Not applicable. Use is residential.</p>
<p>10.4.1 Residential density for multiple dwellings</p>	
<p>10.4.1–(A1) Multiple dwellings must have a site area per dwelling of not less than:</p> <p>(a) 325m²; or</p> <p>(b) if within a density area specified in Table 10.4.1 below and shown on the planning scheme maps, that specified for the density area.</p>	<p>Not applicable. Not an application for multiple dwellings.</p>
<p>10.4.2 Setbacks and building envelope for all dwellings</p>	
<p>10.4.2–(A1) Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, at least 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or</p>	<p>(a) Compliant. Setback of the verandah from the primary frontage would be 25m.</p> <p>(b) Not applicable. Satisfied by (a).</p> <p>(c) Not applicable. Satisfied by (a).</p> <p>(d) Not applicable. Land does not abut the Bass Highway.</p>

<p>(b) if the frontage is not a primary frontage, at least 3.0m, or, if the setback from the frontage is less than 3.0m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>(d) if the development is on land that abuts a road specified in Table 10.4.2, at least that specified for the road.</p>	
<p>10.4.2-(A2) A garage or carport must have a setback from a primary frontage of at least:</p> <p>(a) 5.5m, or alternatively 1.0m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1.0m, if the natural ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10.0m from the frontage.</p>	<p>(a) Compliant. Garage would be setback 40m from the primary frontage.</p> <p>(b) Not applicable. Satisfied by (a).</p> <p>(c) Not applicable. Site is relatively flat.</p>

<p>10.4.2–(A3) A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> <ul style="list-style-type: none"> (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3.0m above natural ground level at the side boundaries and a distance of 4.0m from the rear boundary to a building height of not more than 8.5m above natural ground level; and <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <ul style="list-style-type: none"> (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or (ii) does not exceed a total length of 9.0m or one-third the length of the side boundary (whichever is the lesser). 	<p>(a)(i) Compliant. Dwelling would be contained in building envelope 10.4.2A. Dwelling would be setback 9.25m from the rear boundary.</p> <p>(a)(ii) Compliant. Dwelling (excluding eaves and awnings not more than 600mm) would project at a line of 45° at a height of 3m above natural ground level with dwelling setback 9.25m from rear boundary.</p> <p>(b)(i) Non-compliant. Development would extend beyond development on the adjoining lot.</p> <p>(b)(ii) Non-compliant. Garage would be 750mm from the southern side boundary for a combined length of 37.5m (combined length of existing dwelling and proposed garage).</p> <p>Refer to “Issues” section of this report.</p>
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10.4.3 Site coverage and private open space for all dwellings	
<p>10.4.3-(A1) Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and</p> <p>(b) for multiple dwellings, a total area of private open space of not less than 60.0m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) a site area of which at least 25% of the site area is free from impervious surfaces.</p>	<p>(a) Compliant. Site coverage would be 38%.</p> <p>(b) Not applicable. No multiple dwelling development proposed.</p> <p>(c) Compliant. Area free from impervious surfaces would be 62%.</p>

<p>10.4.3-(A2) A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24.0m²; or</p> <p>(ii) 12.0m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4.0m; or</p> <p>(ii) 2.0m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least three hours of</p>	<p>(a)(i) Compliant. Existing dwelling would have ample open space area, including additional north facing open space created by the carport and shed demolition.</p> <p>(a)(ii) Not applicable. Not a multiple dwelling.</p> <p>(b)(i) Compliant. Site would retain a private open space area with a dimension greater than 15m.</p> <p>(b)(ii) Not applicable. Satisfied by (b)(i).</p> <p>(c) Compliant. Private open space is directly accessible from habitable rooms.</p> <p>(d) Compliant. Private open space is to the north and west of the dwelling.</p> <p>(e) Compliant. Private open space is not located between the dwelling and the primary frontage.</p> <p>(f) Compliant. Land is flat.</p> <p>(g) Compliant. Dwelling would have private open space area clear of vehicle access and parking areas.</p>
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<p>sunlight to 50% of the area between 9.00am and 3.00pm on 21 June; and</p> <p>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p> <p>(g) is not used for vehicle access or parking.</p>	
<p>10.4.4 Sunlight and overshadowing for all dwellings</p>	
<p>10.4.4-(A1) A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north (see Diagram 10.4.4A).</p>	<p>Compliant.</p> <p>Habitable room windows face north.</p>
<p>10.4.4-(A2) A multiple dwelling that is to the north of a window of a habitable room (other than a bedroom) of another dwelling on the same site, which window faces between 30 degrees west of north and 30 degrees east of north (see Diagram 10.4.4A), must be in accordance with (a) or (b), unless excluded by (c):</p>	<p>Not applicable.</p> <p>Not multiple dwelling development.</p>

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<p>(a) The multiple dwelling is contained within a line projecting (see Diagram 10.4.4B):</p> <ul style="list-style-type: none"> (i) at a distance of 3.0m from the window; and (ii) vertically to a height of 3.0m above natural ground level and then at an angle of 45 degrees from the horizontal. <p>(b) The multiple dwelling does not cause the habitable room to receive less than three hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <ul style="list-style-type: none"> (i) an outbuilding with a building height no more than 2.4m; or (ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6m horizontally from the multiple dwelling. 	
<p>10.4.4-(A3) A multiple dwelling, that is to the north of the private open space, of another dwelling on the same site, required in accordance with A2 or P2 of subclause 10.4.3, must be in accordance with (a) or (b), unless excluded by (c):</p>	<p>Not applicable.</p> <p>Not multiple dwelling development.</p>

<p>(a) The multiple dwelling is contained within a line projecting (see Diagram 10.4.4C):</p> <ul style="list-style-type: none"> (i) at a distance of 3.0m from the northern edge of the private open space; and (ii) vertically to a height of 3.0m above natural ground level and then at an angle of 45 degrees from the horizontal. <p>(b) The multiple dwelling does not cause 50% of the private open space to receive less than three hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <ul style="list-style-type: none"> (i) an outbuilding with a building height no more than 2.4m; or (ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6m from the multiple dwelling. 	
<p>10.4.5 Width of openings for garages and carports for all dwellings</p>	
<p>10.4.5-(A1) A garage or carport within 12.0m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary</p>	<p>Compliant.</p> <p>Garage would be setback 40m from Jermyn Street.</p>

<p>frontage of not more than 6.0m or half the width of the frontage (whichever is the lesser).</p>	
<p>10.4.6 Privacy for all dwellings</p>	
<p>10.4.6-(A1) A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1.0m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3.0m from the side boundary; and</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4.0m from the rear boundary; and</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6.0m:</p> <p style="padding-left: 20px;">(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p>	<p>Not applicable.</p> <p>No finished surface or floor level more than 1m above natural ground level.</p>

<p>(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p>	
<p>10.4.6-(A2) A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1.0m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <p>(i) is to have a setback of at least 3.0m from a side boundary; and</p> <p>(ii) is to have a setback of at least 4.0m from a rear boundary; and</p> <p>(iii) if the dwelling is a multiple dwelling, is to be at least 6.0m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be at least 6.0m from the private open space of another dwelling on the same site.</p> <p>(b) The window or glazed door:</p>	<p>Not applicable.</p> <p>No window or glazed door to a habitable room more than 1m above the natural ground level.</p>

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<ul style="list-style-type: none"> (i) is to be offset, in the horizontal plane, at least 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; or (ii) is to have a sill height of at least 1.7m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7m above floor level, with a uniform transparency of not more than 25%. 	
<p>10.4.6–(A3) A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of at least:</p> <ul style="list-style-type: none"> (a) 2.5m; or (b) 1.0m if: <ul style="list-style-type: none"> (i) it is separated by a screen of at least 1.7m in height; or 	<p>Not applicable.</p> <p>No shared driveway or parking spaces.</p>

<p>(ii) the window, or glazed door, to a habitable room has a sill height of at least 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of at least 1.7m above the floor level.</p>	
<p>10.4.7 Frontage fences for all dwellings</p>	
<p>10.4.7-(A1) A fence (including a free-standing wall) within 4.5m of a frontage must have a height above natural ground level of not more than:</p> <p>(a) 1.2m if the fence is solid; or</p> <p>(b) 1.8m, if any part of the fence that is within 4.5m of a primary frontage has openings above a height of 1.2m which provide a uniform transparency of not less than 30% (excluding any posts or uprights).</p>	<p>Not applicable.</p> <p>No front fence proposed.</p>
<p>10.4.8 Waste storage for multiple dwellings</p>	
<p>10.4.8-(A1) A multiple dwelling must have a storage area, for waste and recycling bins, that is an area of at least 1.5m² per dwelling and is within one of the following locations:</p> <p>(a) in an area for the exclusive use of each dwelling, excluding</p>	<p>Not applicable.</p> <p>Not multiple dwelling development.</p>

<p>the area in front of the dwelling; or</p> <p>(b) in a communal storage area with an impervious surface that:</p> <p>(i) has a setback of at least 4.5m from a frontage; and</p> <p>(ii) is at least 5.5m from any dwelling; and</p> <p>(iii) is screened from the frontage and any dwelling by a wall to a height of at least 1.2m above the finished surface level of the storage area.</p>	
<p>10.4.9 Suitability of a site or lot for use or development</p>	
<p>10.4.9-(A1) A site or each lot on a plan of subdivision must:</p> <p>(a) have an area of not less than 330m² excluding any access strip; and</p> <p>(b) if intended for a building, contain a building area of not less than 10.0m x 15.0m:</p> <p>(i) clear of any applicable setback from a frontage, side or rear boundary;</p> <p>(ii) clear of any applicable setback from a zone boundary;</p>	<p>(a) Compliant. Site area is 1,032m².</p> <p>(b)(i) Non-compliant. Building area of proposed garage would not be clear of southern side boundaries.</p> <p>Refer to “Issues” section of this report.</p> <p>(b)(ii) Not applicable. No zone boundary.</p> <p>(b)(iii) Not applicable. No registered easement.</p> <p>(b)(iv) Not applicable. No registered right of way.</p>

<ul style="list-style-type: none"> (iii) clear of any registered easement; (iv) clear of any registered right of way benefiting other land; (v) clear of any restriction imposed by a Utility; (vi) not including an access strip; (vii) accessible from a frontage or access strip; and (viii) if a new residential lot, with a long axis within the range 30 degrees east of north and 20 degrees west of north. 	<ul style="list-style-type: none"> (b)(v) Not applicable. No restriction imposed by a Utility. (b)(vi) Not applicable. No access strip. (b)(vii) Compliant. Land is accessible from Jermyn Street. (b)(viii) Not applicable. Not a new residential lot.
<p>10.4.9–(A2) A site or each lot on a subdivision plan must have a separate access from a road –</p> <ul style="list-style-type: none"> (a) across a frontage over which no other land has a right of access; and (b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or (c) by a right of way connecting to a road – 	<ul style="list-style-type: none"> (a) Compliant. Frontage to Jermyn Street. (b) Not applicable. Not an internal lot. (c)(i) Not applicable. Satisfied by (a). (c)(ii) Not applicable. Satisfied by (a). (d)(i) Compliant. Site has 17.06m wide frontage to Jermyn Street.

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<p>(i) over land not required as the means of access to any other land; and</p> <p>(ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right of way of not less than –</p> <p>(i) 3.6m for a single dwelling development; or</p> <p>(ii) 6.0m for multiple dwelling development or development for a non-residential use; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	<p>(d)(ii) Not applicable. Not multiple dwelling or non-residential development.</p> <p>(e) Compliant. Site has existing legal access to Jermyn Street in accordance with the <i>Local Government (Highways) Act 1982</i>.</p>
<p>10.4.9-(A3) A site or each lot on a plan of subdivision must be capable of connecting to a water supply provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>.</p>	<p>Compliant.</p> <p>The site is connected to the reticulated water system.</p>

<p>10.4.9–(A4) A site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and wastewater to a sewage system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>.</p>	<p>Compliant. The site is connected to the reticulated sewerage system.</p>
<p>10.4.9–(A5) A site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>.</p>	<p>Compliant. The site is connected to the reticulated stormwater system.</p>
<p>10.4.10 Dwelling density for single dwelling development</p>	
<p>10.4.10–(A1)</p> <p>(a) The site area per dwelling for a single dwelling must –</p> <p style="padding-left: 20px;">(i) be not less than 325m²; and</p> <p style="padding-left: 20px;">(ii) be not more than 830m²; or</p> <p>(b) The site is approved for residential use on a plan sealed before this planning scheme came into effect.</p>	<p>(a)(i) Compliant. Site area is 1,032m².</p> <p>(a)(ii) Not applicable. Satisfied by (b).</p> <p>(b) Compliant. Plan sealed in 1970.</p>

<p>10.4.11 Development other than a single or multiple dwelling.</p>	
<p>10.4.11.1 Location and configuration of development</p>	
<p>10.4.11.1-(A1) The wall of a building must be set back from a frontage –</p> <ul style="list-style-type: none"> (a) not less than 4.5m from a primary frontage; and (b) not less than 3.0m from any secondary frontage; or (c) not less than and not more than the setbacks for any existing building on adjoining sites; (d) not less than for any building retained on the site; (e) in accordance with any building area shown on a sealed plan; or (f) not less than 50.0m if the site abuts the Bass Highway. 	<p>Not applicable.</p> <p>Proposed development is residential.</p>
<p>10.4.11.1-(A2) All buildings must be contained within a building envelope determined by –</p> <ul style="list-style-type: none"> (a) the applicable frontage setback; 	<p>Not applicable.</p> <p>Proposed development is residential.</p>

<p>(b) a distance of not less than 4.0m from the rear boundary or if an internal lot, a distance of 4.5m from the boundary abutting the rear boundary of the adjoining frontage site;</p> <p>(c) projecting a line at an angle of 45 degrees from the horizontal at a height of 3.0m above natural ground level at each side boundary and at a distance of 4.0m from the rear boundary to a building height of not more than 8.5m above natural ground level if walls are setback –</p> <p>(i) not less than 1.5m from each side boundary; or</p> <p>(ii) less than 1.5m from a side boundary if –</p> <p>a. built against an existing wall of an adjoining building; or</p> <p>b. the wall or walls –</p> <p>i. have the lesser of a total length of 9.0m or one-third of the boundary with the adjoining land;</p> <p>ii. there is no door or window in the wall of the building; and</p>	
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<p>iii. overshadowing does not result in 50% of the private open space of an adjoining dwelling receiving less than 3 hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(d) in accordance with any building envelope shown on a sealed plan of subdivision.</p>	
<p>10.4.11.1-(A3) Site coverage must:</p> <p>(a) not be more than 50%; or</p> <p>(b) not be more than any building area shown on a sealed plan.</p>	<p>Not applicable.</p> <p>Proposed development is residential.</p>
<p>10.4.11.1-(A4) A garage, carport or external parking area and any area for the display, handling, or storage of goods, materials or waste, must be located behind the primary frontage of a building.</p>	<p>Not applicable.</p> <p>Proposed development is residential.</p>
<p>10.4.11.1-(A5) Other than for a dwelling, the total width of openings in the frontage elevation of a garage or carport (whether freestanding or part of any other building) must be the lesser of:</p> <p>(a) 6.0m; or</p> <p>(b) half the width of the frontage.</p>	<p>Not applicable.</p> <p>Proposed development is residential.</p>

10.4.11.2 Visual and acoustic privacy for residential development	
<p>10.4.11.2-(A1) A door or window to a habitable room or any part of a balcony, deck, roof garden, parking space or carport of a building must:</p> <p>(a) if the finished floor level is more than 1.0m above natural ground level:</p> <ul style="list-style-type: none"> (i) be not less than 6.0m from any door, window, balcony, deck, or roof garden in a dwelling on the same site; (ii) be not less than 3.0m from a side boundary; (iii) be not less than 4.0m from a rear boundary; and (iv) if an internal lot, be not less than 4.5m from the boundary abutting a rear boundary of an adjacent frontage site; or <p>(b) if less than the setbacks in clause A1(a):</p> <ul style="list-style-type: none"> (i) be off-set by not less than 1.5m from the edge of any door or window of another dwelling; 	<p>Not applicable.</p> <p>Proposed development is residential.</p>

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<ul style="list-style-type: none"> (ii) have a window sill height of not less than 1.8m above floor level; (iii) have fixed glazing or screening with a uniform transparency of not more than 25% in that part of a door or window less than 1.7m above floor level; or (iv) have a fixed and durable external screen other than vegetation of not less than 1.8m height above the floor level with a uniform transparency of not more than 25% for the full width of the door, window, balcony, deck, roof garden, parking space, or carport. 	
<p>10.4.11.2–(A2) An access strip or shared driveway, including any pedestrian pathway and parking area, must be separated by a distance of not less than 1.5m horizontally and 1.5m vertically from the door or window to a dwelling or any balcony, deck, or roof garden in a dwelling.</p>	<p>Not applicable. Proposed development is residential.</p>
<p>10.4.11.3 Frontage fences</p>	
<p>10.4.11.3–(A1) The height of a fence, including any supporting retaining wall, on or within a frontage setback must be:</p> <ul style="list-style-type: none"> (a) not more than 1.2m if the fence is solid; or 	<p>Not applicable. Proposed development is residential.</p>

<p>(b) not more than 1.8m provided that part of the fence above 1.2m has openings that provide a uniform transparency of not less than 30%.</p>	
<p>10.4.12 Setback of development for sensitive use</p>	
<p>10.4.12-(A1) A building containing a sensitive use must be contained within a building envelope determined by:</p> <p>(a) the setback distance from the zone boundary as shown in the Table to this clause; and</p> <p>(b) projecting upward and away from the zone boundary at an angle of 45 degrees above the horizontal from a wall height of 3.0m at the required setback distance from the zone boundary.</p>	<p>(a) Not applicable. No zone boundary.</p> <p>(b) Not applicable. No zone boundary.</p>
<p>10.4.12-(A2) Development for a sensitive use must be not less than 50.0m from:</p> <p>(a) Bass Highway;</p> <p>(b) a railway;</p> <p>(c) land designated in the planning scheme for future road or rail purposes; or</p>	<p>(a) Compliant. Development would be greater than 328m from the Bass Highway.</p> <p>(b) Compliant. Development would be 378m from a railway line.</p> <p>(c) Not applicable. No land designated for future road or rail.</p>

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(d) a proclaimed wharf area.	(d) Not applicable. The nearest proclaimed wharf area is in Devonport approximately 15km to the east.
10.4.13 Subdivision	
<p>10.4.13-(A1) Each new lot on a plan of subdivision must be -</p> <p>(a) intended for residential use;</p> <p>(b) a lot required for public use by the State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a Statutory authority.</p>	<p>Not applicable.</p> <p>No subdivision proposed.</p>
<p>10.4.13-(A2) A lot, other than a lot to which A1(b) applies, must not be an internal lot</p>	<p>Not applicable.</p> <p>No subdivision proposed.</p>
10.4.14 Reticulation of an electricity supply to new lots on a plan of subdivision	
<p>10.4.14-(A1) Electricity reticulation and site connections must be installed underground.</p>	<p>Not applicable.</p> <p>No subdivision proposed.</p>

CODES	
E1 Bushfire-Prone Areas Code	Not applicable. Site is not in a bushfire-prone area.
E2 Airport Impact Management Code	Not applicable. No Code in the Scheme.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing or conversion of vegetation.
E4 Change in Ground Level Code	Not applicable. No change in ground level greater than 1 m.
E5 Local Heritage Code	Not applicable. No Local Heritage Code in the Scheme.
E6 Hazard Management Code	Not applicable. Not within a hazard mapped area.
E7 Sign Code	Not applicable. No signage proposed.
E8 Telecommunication Code	Not applicable. No telecommunications proposed.
E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	Code applies to all development.
E9.4 Use or development exempt from this Code	Not exempt. No local Area Parking Scheme applies to the site.

E9.5 Use Standards	
E9.5.1 Provision for parking	
E9.5.1-(A1) Provision for parking must be: (a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;	(a) Compliant. Development proposes a two car garage.
E9.5.2 Provision for loading and unloading of vehicles	
E9.5.2-(A1) There must be provision within a site for: (a) on-site loading area in accordance with the requirement in the Table to this Code; and (b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.	Not applicable for residential development.
E9.6 Development Standards	
E9.6.2 Design of vehicle parking and loading areas	
E9.6.2 A1.1 All development must provide for the collection, drainage	Compliant by a Condition to be placed on the Permit.

<p>and disposal of stormwater; and</p>	
<p>E9.6.2 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –</p> <ul style="list-style-type: none"> (a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking; (b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles; (c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities; (d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities; (e) Each parking space must be separately accessed from the internal circulation aisle within the site; (f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and (g) Be formed and constructed with compacted sub-base and an all-weather surface. 	<p>Not applicable for residential development.</p>

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<p>E9.6.2-(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual - Guideline for Good Practice ARRB.</p>	<p>Not applicable. Land is zoned General Residential.</p>
<p>E10 Water and Waterways Code</p>	<p>Not applicable. Site is not within 564m of the Leven River.</p>
<p>Specific Area Plans</p>	<p>No Specific Area Plans apply to this location.</p>

*Issues –*1 *Setback from southern side boundary –*

The Scheme's Acceptable Solution 10.4.2 – (A3) "Setbacks and building envelope for all dwellings" requires that development be setback 1.5m from a side boundary, or may be developed to the side boundary for a length of 9m.

The proposed 7.5m x 6m garage would be developed to within 750mm of the southern side boundary. A dwelling extension, approved in 2012, has also been developed to within 750mm of the southern side boundary. Collectively, development on-site within 750m of the boundary would constitute a total length of 37.5m. An exercise of discretion is required to allow for the outbuilding to be constructed as proposed.

The Performance Criteria require that there must:

- (a) not cause unreasonable loss of amenity by:
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or
 - (ii) overshadowing the private open space of a dwelling on an adjoining lot; or
 - (iii) overshadowing of an adjoining vacant lot; or
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and
- (b) provide separation between dwellings on adjoining lots that is compatible with the prevailing in the surrounding area.

The Performance Criteria have been addressed below:

Reduction of sunlight to habitable rooms –

The proposed garage would not result in the loss of sunlight to habitable rooms, as the shadow effect of the garage would not extend to the adjoining dwelling. It is worth noting, the existing dwelling extension has resulted in a

loss of sunlight to some habitable rooms. However, this matter is not for consideration in relation to the current application for a garage.

Overshadowing of private open space –

The dwelling extension (approved in 2012) has resulted in an existing impact on the adjoining southern property, with a total length of building wall 35.58m. The dwelling currently loses direct sunlight to habitable rooms in the morning and afternoon. The proposed garage would be located further to the west of the subject and adjoining dwelling and it would not result in any material increase in shading, over and above existing levels.

Visual Impact –

The form of the proposed garage and the type of construction materials are standard for residential outbuildings. On this basis, the development of the garage is consistent with other outbuildings in the vicinity. The existing and proposed development would both be in view from adjoining land. However, the buildings are of single-storey construction and the visual impact would not be significantly different if all development was setback 1.5m, rather than 750mm.

Separation between dwellings –

The proposed development would not alter existing separation distance between dwellings, as no alterations to existing dwellings is proposed.

Referral advice –

Referral advice from the various Departments of the Council and other service providers is as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	No conditions.
Infrastructure Services	No conditions.
TasWater	Referral was not required.
Department of State Growth	Referral was not required.
Environment Protection Authority	Referral was not required.

TasRail	Referral was not required.
Heritage Tasmania	Referral was not required.
Crown Land Services	Referral was not required.
Other	Referral was not required.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- . a site notice was posted;
- . letters to adjoining owners were sent; and
- . an advertisement was placed in the Public Notices section of The Advocate.

Representations -

One representation was received within the prescribed time, a copy of which is provided at Annexure 3.

The representations are summarised and responded to as follows:

MATTER RAISED	RESPONSE
1 The garage will increase the extensive length of continuous building development and result in overshadowing. The plan shows a space of approximately 2.5m to the north of the proposed garage which could be used to extend the distance between the fence and the garage from 750mm to 1.5m.	Refer to the "Issues" section of this report.

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council's determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The proposal is deemed to satisfy the Scheme's Performance Criteria in relation to the likelihood of unreasonable overshadowing and visual impact. There is no cause to require the relocation of the subject garage, as proposed by the representor, and the exercise of discretion to allow a conditional Permit, is considered to be appropriate.

Recommendation –

It is recommended that the application for Residential (outbuilding – garage and verandah) – variation to side boundary setback standard at 34 Jermyn Street, Ulverstone be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by Yaxley Design and Drafting, Drawing Nos. 217031–1 to 217031–10 and 217031–14 dated February 2017, unless modified by a condition of this Permit.
- 2 Stormwater must be collected, drained and disposed of to an approved stormwater system.

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period, an extension of time may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.

- 2 “Substantial commencement” is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site or bank guarantee to undertake such works.
- 3 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is defined using the Determinations issued under the *Building Act 2016* by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work.’

The report is supported.”

The Executive Services Officer reports as follows:

“A copy of the Annexures referred to in the Town Planner’s report having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- a) ■ “That the application for Residential (outbuilding – garage and verandah) – variation to side boundary setback standard at 34 Jermyn Street, Ulverstone be approved subject to the following conditions and notes:
 - 1 The development must be substantially in accordance with the plans by Yaxley Design and Drafting, Drawing Nos. 217031–1 to 217031–10 and 217031–14 dated February 2017, unless modified by a condition of this Permit.
 - 2 Stormwater must be collected, drained and disposed of to an approved stormwater system.

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period, an extension of time may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 ‘Substantial commencement’ is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site or bank guarantee to undertake such works.
- 3 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is defined using the Determinations issued under the *Building Act 2016* by the Director of Building

Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work.”

9.11 Demolition of a building and General retail and hire (pharmacy) – variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards at 24 & 24A King Edward Street, Ulverstone – Application No. DA216200

The Director Community Services reports as follows:

“The Town Planner has prepared the following report:

<i>‘DEVELOPMENT APPLICATION NO.:</i>	DA216200
<i>PROPOSAL:</i>	Demolition of a building and General retail and hire (pharmacy) – variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards
<i>APPLICANT:</i>	Weeda Drafting and Building Consultants Pty Ltd
<i>LOCATION:</i>	24 & 24A King Edward Street, Ulverstone
<i>ZONE:</i>	General Business
<i>PLANNING INSTRUMENT:</i>	Central Coast Interim Planning Scheme 2013 (the Scheme)
<i>ADVERTISED:</i>	8 April 2017
<i>REPRESENTATIONS EXPIRY DATE:</i>	26 April 2017
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	18 May 2017
<i>DECISION DUE:</i>	15 May 2017

PURPOSE

The purpose of this report is to consider an application for the demolition of an existing building and the construction of a new pharmacy on land located on the corner of 24 & 24A King Edward Street and Clarkes Lane, Ulverstone.

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs;
- . Annexure 5 – TasWater’s Submission to Planning Authority Notice TWDA 2017/00546-CC;
- . Annexure 6 – Statement of Compliance from the Road Authority and the Stormwater Authority.

*BACKGROUND**Development description –*

Application is made to demolish an existing building located at 24 King Edward Street, Ulverstone and construct a new single-storey pharmacy, franchised under the “Full Life” brand. The proposal would result in the construction of a new building over two existing strata titles that make up the land area, identified as 24 and 24A King Edward Street, Ulverstone.

The building, which includes an awning over the public footpath, would have a floor area of 413.30m². Two pedestrian entrances to the building are proposed, one off King Edward Street and a second off Clarkes Lane. It is likely that the Clarkes Lane entrance would become the primary access linking patients of the Patrick Street Medical Centre to the pharmacy.

The building would be constructed with frontages on both King Edward Street and Clarkes Lane. The building would be setback 3.4m from the western rear boundary and would accommodate a single car parking space and room for a small delivery truck. A section of the northern wall would be setback 1m, for a distance of 7.7m, to allow for adequate ‘line of sight’ for pedestrians exiting the rear of the building onto Clarkes Lane.

Site description and surrounding area –

The 446m² parcel of land forms part of Ulverstone’s central business area, located on the corner of King Edward Street and Clarkes Lane. The land

currently accommodates a small cottage that accommodates a Business and Professional Services use class (physiotherapy).

The land subject to development comprises two strata titles that form part of a three title Strata Plan (Plan 150031). The adjoining property to the south is part of the Strata arrangement, identified as 24B King Edward Street, accommodating the “Kings Feast” butcher. It is proposed the two subject strata titles at 24 and 24A King Edward Street will be consolidated under the *Strata Titles Act 1998*, following the construction of the building.

The land has the benefit of a right-of-way at the rear of the building that also forms part of, and provides access to, 24B King Edward Street.

History -

The subject and adjoining land was divided into three separate strata parcels under the *Strata Titles Act 1998* in 2007.

An application for the proposal was deemed to be valid on 8 March 2017 and the application was placed on public exhibition. Issues relating to the location of an adjoining property’s stormwater infrastructure in Common Ground became apparent during the exhibition period. The application was withdrawn and the current, revised application, addressing the infrastructure issues was submitted for public exhibition and assessment.

DISCUSSION

The following table is an assessment of the relevant Scheme provisions:

21.0 General Business Zone

CLAUSE	COMMENT
21.3.1 Discretionary Permit Use	
<p>21.3.1-(P1) Discretionary permit use must:</p> <ul style="list-style-type: none"> (a) be consistent with local area objectives; (b) be consistent with any applicable desired future character statement for the zone; and (c) be required to service requirements of the local and district resident and visitor population; (d) minimise potential to: <ul style="list-style-type: none"> (i) service a population beyond the local, district, or municipal community; (ii) have immediate, incremental or cumulative adverse effect on the regional pattern of retail and service provision; and 	<p>Not applicable.</p> <p>Retail and hire use class is “Permitted”.</p>

(iii) displace retail, business, and professional use.	
21.4.1 Suitability of a site for use or development	
<p>21.4.1-(A1) Each use or development site or each lot on a plan of subdivision must:</p> <p>(a) have a site area of not less than 45m²; and</p> <p>(b) if intended for a building, contain a building area of not less than 45m²:</p> <p>(i) clear of any applicable setback from a frontage, side or rear boundary;</p> <p>(ii) clear of any applicable setback from a zone boundary;</p> <p>(iii) clear of any registered easement;</p> <p>(iv) clear of any registered right-of-way benefiting other land;</p> <p>(v) not including land required as part of access to the site;</p> <p>(vi) accessible from a frontage or access strip; and</p>	<p>(a) Compliant. Consolidated land area would be 446m².</p> <p>(b)(i) Non-compliant. A 3m x 5.4m cantilevered awning would be constructed over the front boundary line. Otherwise, the development is compliant. The building wall would be constructed to the southern side boundary and would be part constructed to the northern side boundary before the wall would be setback 1m for a length of 7.7m to allow for line-of-sight for pedestrians exiting the building onto Clarkes Lane. The building would be setback 3.37m from the rear western boundary.</p> <p>Refer to “Issues” section of this report.</p> <p>(b)(ii) Not applicable. No zone boundary to this site.</p> <p>(b)(iii) Not applicable. No registered easement.</p> <p>(b)(iv) Compliant. Building would be clear of right-of-way.</p>

<p>(vii) clear of any area required for the on-site disposal of sewage or stormwater.</p>	<p>(b)(v) Compliant. Development would allow for vehicular and pedestrian access to the site.</p> <p>(b)(vi) Compliant. Building would be accessible from King Edward Street and Clarkes Lane.</p> <p>(b)(vii) Compliant. Area available for required on-site stormwater detention.</p>
<p>21.4.1-(A2) A site or each lot on a plan of subdivision must have a separate access from a road:</p> <p>(a) across a frontage over which no other land has a right of access; and</p> <p>(b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or</p> <p>(c) by a right of way connecting to a road:</p> <p>(i) over land not required as the means of access to any other land; and</p>	<p>(a) Compliant. Development has frontage to King Edward Street (pedestrian access) and Clarkes Lane (pedestrian and vehicular access).</p> <p>(b) Not applicable. Not an internal lot.</p> <p>(c) Not applicable. Satisfied by (a).</p> <p>(d) Compliant. Primary frontage to King Edward Street is 13.58m wide and secondary frontage to Clarkes Lane is 32.89m wide.</p> <p>(e) Compliant. The Road Authority has advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the site.</p>

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<p>(ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right-of-way of not less than 3.6m; and</p> <p>(e) the relevant road authority in accordance with the Local Government (Highways) Act 1982 or the Roads and Jetties Act 1935 must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right-of-way to the site or each lot on a proposed subdivision plan.</p>	
<p>21.4.1-(A3) A site or each lot on a plan of subdivision must have a water supply provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>.</p>	<p>Compliant.</p> <p>The site is connected to the reticulated water system. The Council's Planning Permit would require compliance with TasWater's approval, included as an attachment to the Planning Permit.</p>
<p>21.4.1-(A4) A site or each lot on a plan of subdivision must drain sewage and waste water to a sewerage system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>.</p>	<p>Compliant.</p> <p>The site is connected to the reticulated sewerage system. The Council's Planning Permit would require compliance</p>

	with TasWater’s approval, included as an attachment to the Planning Permit.
21.4.1–(A5) A site or each lot on a plan of subdivision must drain stormwater to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i> .	Compliant. The site is connected to the reticulated stormwater system. The Council’s Planning Permit would require compliance with its approval as a Stormwater Authority issued as a Statement of Compliance.
21.4.2 Location and configuration of development	
21.4.2–(A1) Building height must not be more than 10.0m.	Compliant. Building would be 6m high.
21.4.2–(A2) An external car parking and loading area, and any area for the display, handling, or storage of goods, materials or waste, must be located behind the primary frontage elevation of a building.	Compliant. The car park and unloading area are located behind the primary frontage elevation of the proposed building.
21.4.2–(A3) Buildings in Reibey Street must have zero set back from the frontage.	Not applicable. Development not in Reibey Street.

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<p>21.4.2-(A4) Buildings in Victoria Street between Wongi Lane and Patrick Street and in King Edward Street between Grove and Patrick Streets must have zero set back from the frontage.</p>	<p>Compliant. Development has zero setback from King Edward Street.</p>
<p>21.4.2-(A5) Buildings in Victoria Street between Wongi Place and Patrick Street and in King Edward Street between Grove and Patrick Streets must have the main pedestrian entrance located onto the frontage.</p>	<p>Compliant. Development has two pedestrian entrances; one off King Edward Street and one off Clarkes Lane.</p>
<p>21.4.2-(A6) A building constructed to the street frontage must have an awning of not less than 3.0m width cantilevered or suspended over the adjoining footway within a road or car park for the full width of the frontage of the building.</p>	<p>Non-compliant. The full width of the frontage of the building to King Edward Street would be 13.4m. The development proposes an awning to King Edward Street 3m wide and 6m long. Refer to "Issues" section of this report.</p>
<p>21.4.2-(A7) A building must not have a continuous wall of more than 20.0 metres measured parallel to the boundaries.</p>	<p>Non-compliant. The southern wall of the building would be 29.3m long. Refer to "Issues" section of this report. The northern wall is compliant and would be 19.5m long before the wall would be setback 1m for a length of 7.7m.</p>

21.4.3 Acoustic and Visual privacy for residential development	
<p>21.4.3-(A1) A door or window to a habitable room, or any part of a balcony, deck, roof garden, parking space or carport must:</p> <p>(a) be not less than 3.0m from a side boundary and 4.0 m from a rear boundary to land in a zone for residential purposes</p> <p>(b) be not less than 6.0m from any door, window, balcony deck or roof garden in an adjacent dwelling;</p> <p>(c) be off-set by not less than 1.5m from the edge of any door or window in an adjacent dwelling;</p> <p>(d) have a window sill height of not less than 1.8m above finished floor level;</p> <p>(e) have fixed and durable glazing or screening with a uniform transparency of not more than 25% in that part of a door or window less than 1.8m above finished floor level; or</p> <p>(f) have fixed and durable external screen other than vegetation of not less than 1.8m height above the finished floor level with a uniform transparency of not more than 25% for the full width of the door, window, balcony, deck, roof garden, parking space, or carport.</p>	<p>(a) Not applicable. No boundary to land zoned for residential purpose.</p> <p>(b) Not applicable. No adjacent dwelling.</p> <p>(c) Not applicable. No adjacent dwelling.</p> <p>(d) Not applicable. No residential development proposed.</p> <p>(e) Not applicable. No residential development proposed.</p> <p>(f) Not applicable. No residential development proposed.</p>

21.4.4 Private open space for residential use	
<p>21.4.4-(A1) Each dwelling must provide:</p> <p>(a) external private open space that:</p> <ul style="list-style-type: none"> (i) is accessible from the dwelling; (ii) comprises an area of not less than 25m² for each dwelling; (iii) has a gradient of not more than 1 in 10; and (iv) has a minimum dimension of 4.0m; or <p>(b) private open space provided as a private balcony, deck or terrace:</p> <ul style="list-style-type: none"> (i) of area not less than 25m² (ii) minimum dimension of 2.0m; and (iii) accessible from the dwelling. 	<p>Not applicable. No residential development proposed.</p>

21.4.5 Setback from zone boundaries	
<p>21.4.5-(A1) Development of land with a boundary to a zone must:</p> <ul style="list-style-type: none"> (a) be set back from the boundary of land in an adjoining zone by not less than the distance for that zone shown in the Table to this Clause; (b) not include within the setback area required from a boundary to land in a zone shown in the Table to this Clause: <ul style="list-style-type: none"> (i) a building or work; (ii) vehicular or pedestrian access from a road if the boundary is not a frontage; (iii) vehicle loading or parking area; (iv) an area for the display, handling, operation, manufacturing, processing, servicing, repair, or storage of any animal, equipment, goods, plant, materials, vehicle, or waste; (v) an area for the gathering of people, including for entertainment, community event, performance, sport or for a spectator facility; 	<p>Not applicable. Development does not adjoin a zone boundary.</p>

<ul style="list-style-type: none">(vi) a sign orientated to view from land in another zone; or(vii) external lighting for operational or security purposes; and <p>(c) a building with an elevation to a zone boundary to which this clause applies must be contained within a building envelope determined by:</p> <ul style="list-style-type: none">(i) the setback distance from the zone boundary as shown in the Table to this Clause; and(ii) projecting upward and away from the zone boundary at an angle of 45° above the horizontal from a wall height of 3.0m at the setback distance from the zone boundary; and <p>(d) the elevation of a building to a zone boundary must not contain an external opening other than an emergency exit, including a door, window to a habitable room, loading bay, or vehicle entry.</p>	
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21.4.6 Subdivision	
21.4.6-(A1) Each new lot on a plan of subdivision must be – (a) a lot required for public use by the State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a statutory authority.	Not applicable. Not a subdivision.
21.4.6-(P1) Each new lot on a plan of subdivision must be – (a) for a purpose permissible in the zone.	Not applicable. Not a subdivision.
21.4.7 Reticulation of an electricity supply	
21.4.7-(A1) Electricity reticulation and site connections must be installed underground.	Compliant. Electrical connections would be underground.
CODES	
E1 Bushfire-Prone Areas Code	Not applicable. Site is not in a bushfire-prone area.
E2 Airport Impact Management Code	Not applicable. No Code in the Scheme.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing or conversion of vegetation.

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E4 Change in Ground Level Code	Not applicable. No change in ground level greater than 1 m.
E5 Local Heritage Code	Not applicable. No Local Heritage Code in the Scheme.
E6 Hazard Management Code	Not applicable. Not within a hazard mapped area.
E7 Sign Code	
E7.2 Application of the Code	Applies in the General Business zone where signage area exceeds 10m ² .
E7.4 Use or development exempt from this Code	Not exempt. Signage area exceeds 10m ² .
E7.6 Development Standards	
<p>E7.6-(A1) Signs must:</p> <p>(a) identify an activity, product, or service provided on the site;</p> <p>(b) if on a site in a General Residential, Low Density Residential, Rural Living, or Environmental Living zone, must:</p> <p>(i) comprise not more than two display panels;</p> <p>(ii) be fixed flat to the surface of a building below the eave line; and</p>	<p>(a) Compliant. Signs identify activity and service provided on site.</p> <p>(b)(i) Not applicable. Land is zone General Business.</p> <p>(b)(ii) Not applicable. Land is zone General Business.</p> <p>(b)(iii) Not applicable. Land is zone General Business.</p> <p>(c)(i) Non-compliant development would comprise six display panels.</p>

<p>(iii) have a total combined area of not more than 5.0m² ;</p> <p>(c) if on a site in any other zone, must:</p> <p>(i) comprise not more than five display panels;</p> <p>(ii) have a total combined area of not more than 50.0m²;</p> <p>(iii) be separated from any other freestanding or projecting sign by not less than 10.0m;</p> <p>(iv) be fully contained within the applicable building envelope and:</p> <p style="padding-left: 20px;">a. not extend above the parapet or the ridge of a roof; or</p> <p style="padding-left: 20px;">b. if a free-standing sign, have a height above natural ground level of not more than 5.0m;</p> <p>(v) not involve a corporate livery, colour scheme, insignia, or logo applied to more than 25% of the external wall surface of each elevation of a building;</p> <p>(vi) not be located in an access strip, loading area, or car park;</p>	<p>Refer to “Issues” section of this report.</p> <p>(c)(ii) Compliant. Display signs would have an area of approximately 43.25m².</p> <p>(c)(iii) Compliant. No free-standing signs proposed.</p> <p>(c)(iv)a. Compliant. Signs would be contained within an approved building envelope and not extend above the parapet or the ridge of a roof.</p> <p>(c)(iv)b. Not applicable. No free-standing signs proposed.</p> <p>(c)(v) Compliant. Not more than 25% of external wall surfaces of each elevation would involve signage.</p> <p>(c)(vi) Compliant. Signs would be clear of access and loading areas.</p> <p>(c)(vii) Compliant. Signs would not be animated, scrolling or otherwise continuously or intermittently changing, flashing or rotating.</p>
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<p>(vii) not be animated, scrolling or otherwise continuously or intermittently changing, flashing or rotating as part of the operation of the sign unless providing advisory or safety information;</p> <p>(viii) not resemble any air or marine navigation device, or a railway or road traffic control or directional device or sign;</p> <p>(ix) not visually obscure any sign or device required for the convenience and safety of air or marine navigation or for use of a railway or a road; and</p> <p>(x) not cause illumination that overfills the boundaries of the site; and</p> <p>(d) not be on land for which a Local Heritage Code forming part of this planning scheme applies.</p>	<p>(c)(viii) Compliant. Signs would not resemble any air or marine navigation device, or a railway or road traffic control or directional device or sign.</p> <p>(c)(ix) Compliant. Signs would not visually obscure any sign or device required for the convenience and safety of air or marine navigation or for use of a railway or a road.</p> <p>(c)(x) Compliant. Sign would not cause illumination that overfills the boundaries of the sight.</p> <p>(d) Not applicable. No Local Heritage Code in the Scheme.</p>
<p>E8 Telecommunication Code</p>	<p>Not applicable. No telecommunications proposed.</p>

E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	
E9.4 Use or development exempt from this Code	Not exempt. Applies to all use and development.
E9.5 Use Standards	
E9.5.1 Provision for parking	
<p>E9.5.1-(A1) Provision for parking must be:</p> <p>(a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;</p>	<p>(a) Non-compliant. The Code requires one car parking space for every 30m² of floor area. The proposed floor area of the building would be 413.3m². This means there is a requirement for 13 car parking spaces to be provided on the site.</p> <p>The development proposal shows space for one car parking space.</p> <p>Refer to "Issues" section of this report.</p>
E9.5.2 Provision for loading and unloading of vehicles	
<p>E9.5.2-(A1) There must be provision within a site for:</p> <p>(a) on-site loading area in accordance with the requirement in</p>	<p>(a) Compliant. The Code requires space for one small rigid delivery truck. Provision is made for one small truck space to access the site.</p>

<p>the Table to this Code; and</p> <p>(b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.</p>	<p>(b) Non-compliant.</p> <p>No provision is made for passenger pick-up and set-down.</p> <p>Refer to "Issues" section of this report.</p>
<p>E9.6 Development Standards</p>	
<p>E9.6.2 Design of vehicle parking and loading areas</p>	
<p>E9.6.2 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and</p>	<p>Compliant by a condition to a Permit.</p>
<p>E9.6.2 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must -</p> <p>(a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking;</p> <p>(b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles;</p> <p>(c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities;</p>	<p>(a) Non-compliant. All vehicles must egress the site by reversing onto the road network or by reversing into the site off Clarkes Lane.</p> <p>Refer to "Issues" section of this report.</p> <p>(b) Not applicable. Required where 20 or more spaces are required or proposed.</p> <p>(c) Not applicable. Required where 20 or more spaces are required or proposed.</p>

<p>(d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities;</p> <p>(e) Each parking space must be separately accessed from the internal circulation aisle within the site;</p> <p>(f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and</p> <p>(g) Be formed and constructed with compacted sub-base and an all-weather surface.</p>	<p>(d) Not applicable. Required where 20 or more spaces are required or proposed.</p> <p>(e) Non-compliant. No internal circulation aisle. All vehicles must egress the site by reversing onto the road network or by reversing into the site off Clarkes Lane.</p> <p>(f) Non-compliant. Inadequate internal circulation aisle. All vehicles must egress the site by reversing onto the road network or by reversing into the site off Clarkes Lane.</p> <p>Refer to “Issues” section of this report.</p> <p>(g) Compliant by a condition to a Permit.</p>
<p>E9.6.2-(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.</p>	<p>Not applicable.</p> <p>Development is in the General Business Zone.</p>

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E10 Water and Waterways Code	Not applicable. Not within 30m of a waterway or water body.
Specific Area Plans	Not applicable. No Specific Area Plans apply to this area.

*Issues –**1 Main pedestrian entrance would likely to be off Clarkes Lane –*

The Scheme's Acceptable Solution 21.4.2–(A5) requires that the main pedestrian entry be off the primary frontage of a building, which in this case would be King Edward Street.

Two pedestrian entrances to the building are proposed, one off King Edward Street and a second off Clarkes Lane. It is likely that the Clarkes Lane entrance would become the primary access, linking patients of the Patrick Street Medical Centre to the proposed pharmacy.

The inclusion of a rear entrance is the preferred design of the developer. A report on the impact of pedestrians utilising Clarkes Lane as a primary entrance has been undertaken by a qualified traffic engineer who has concluded the proposal is satisfactory. Refer to Traffic Impact Assessment (TIA) by Midson Traffic Pty Ltd at Annexure 2.

The Scheme's Performance Criteria 21.4.2–(P5) gives no direction in relation to streetscape amenity or the minimum detail required in a building's façade, stating only that "a building must have active frontage". The proposal satisfies this requirement.

2 Cantilevered awning length –

The Scheme's Acceptable Solution standard 21.4.2–(A6) "Location and configuration of development" requires that a, "building constructed to the street frontage must have an awning of not less than 3m width cantilevered or suspended over the adjoining footway within a road or car park for the full width of the frontage of the building".

The proposed building would be built to the boundary of the primary frontage to King Edward Street for length of 13.4m. A cantilevered street awning forms part of the design of the building and is proposed to be 3m in width for a length of 6m across the most southern section of the building, over a pedestrian entrance to the building. The awning would be reduced to a width of 500mm for an additional length of 6.4m, with no awning to be erected at the far, northern end of the building, to reduce the risk of trucks hitting a protruding awning as they enter Clarkes Lane.

The variance in length is a cost consideration and the developers preferred design outcome for the building. Ideally, a full width cantilevered awning would benefit the King Edward Street streetscape, creating a more urban presentation in the central area of Ulverstone and provide greater weather protection for pedestrians. The awning, as proposed, would be an improvement on the current lack of a cantilevered street awning on this site and is reasonably consistent with other awning designs in the street. The Scheme's Performance Criteria 21.4.2-(P6) states "a building must provide adequate weather protection". The proposal satisfies the Scheme's requirement in this regard.

3 *Side boundary wall length –*

The Scheme's Acceptable Solution standard 21.4.2-(A7) "Location and configuration of development" requires that a, "building must not have a continuous wall of more than 20m, measured parallel to the boundaries".

The proposal is to construct the southern side boundary wall 29.3m long. The proposal does not meet the Scheme's 20m length standard. It is considered that this is acceptable development and that the excess wall length will have a minimal impact on adjoining use and development and is a requirement for fire safe wall construction on a boundary line.

The northern side boundary wall to Clarke Street satisfies the Scheme's requirement. The northern wall would be 19.5m long before the wall would be setback 1m for a length of 7.7m.

4 *Car parking requirements –*

The Scheme's E9 Traffic Generating Use and Parking Code requires that the development demonstrate the allocation of one car parking space for every 30m² of floor area. This equates to a requirement for 13 on-site car parking spaces. The site plan shows allocation of one car parking space. The site is not able to provide additional car parking on-site. Customers visiting the pharmacy would be able to park in the municipal car park at the rear of the building or in King Edward Street. It is fair to state that a more satisfactory solution to required car parking requirements within the CBD needs to be investigated.

The Scheme further requires one on-site parking area for every 50 car parking spaces allocated, for passenger pick-up and set-down, and a separate space for one small rigid delivery truck. Provision is made for one small truck space on-site loading area.

The proposal makes no provision for passenger pick up and set-down and would rely on existing King Edward Street loading bays and car parking areas in this regard.

Given the site is located within the CBD of Ulverstone, and that on-site provision is constrained by the development that is proposed, the variations to the Scheme's requirements for on-site car parking allocation, provision of a loading bay and passenger pick-up space are considered to be acceptable.

5 *Traffic movements and vehicular access to the development site –*

The application is supported by a Traffic Impact Assessment (TIA) by Midson Traffic Pty Ltd dated March 2017. The TIA examines existing road and traffic characteristics in the vicinity of King Edward Street and Clarkes Lane; the entry and egress of vehicles to and from the public car park at the rear of the development; the necessity for delivery trucks to the proposed development, and to 24B King Edwards Street, to reverse onto the site via Clarkes Lane; and likely pedestrian movements. The report evaluates the impacts of expected vehicular and pedestrian traffic movements and makes an assessment and recommendations in relation to access, traffic and road capability. Refer to Traffic Impact Assessment at Annexure 2.

In summary, the Traffic Impact Assessment report draws the following conclusions:

- . The traffic generated by the development will not adversely impact upon the surrounding road network in terms of traffic efficiency and road safety.
- . Based on the likely low parking demands associated with the development, the provision of one car parking space and one loading area and the principles of "shared parking" the development satisfies the Performance Criteria of E6.6.1 of the Scheme.
- . The loading area requires service vehicles to reverse into the site. This was assessed and found to be acceptable and safe on

the basis that adequate sight distance is available and the traffic volume and speeds are relatively low in Clarkes Lane.

- . The single car parking space is unmarked and can only be accessed with a reversing manoeuvre into and out of the site. This was assessed and considered safe and acceptable on the basis that it is to be used as a staff parking space and therefore will have infrequent use and will be utilised by familiar users.
- . A zebra crossing in Clarkes Lane may be installed.

Note: The body of the TIA report states that a zebra crossing is not warranted. The Road Authority in its Statement of Compliance for Vehicular Access has stated that a crossing is not appropriate at this location.

6 *Signs -*

The Scheme’s E7 Sign Code Acceptable Solution E7.6–(A1)(c) requires that a maximum of five signs, with a total of 50m² of signage be erected on-site. The development proposes six signs with an area of approximately 43.25m². In approving an additional sign, the Planning Authority is to take into consideration whether the sign is related to the activity on site and if it would visually dominate or intrude on the appearance of the streetscape.

The sign proposed is deemed to be reasonable. The total area of signage meets Scheme requirements while the visual impact of six signs, as opposed to five, would be minor and unlikely to result in a negative visual impact on the streetscape or obscure the visibility of other signs. The signs relate to the proposed development on-site. It is considered the signage, as proposed, satisfies the Scheme’s Performance Criteria E7.6–(P1).

Referral advice from the various Departments of the Council and other service providers is as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	No comment.
Infrastructure Services	Conditions required. Refer to the Statement of Compliance from the

	Road Authority and Stormwater Authority at Annexure 6.
TasWater	Refer to TasWater’s Submission to Planning Authority Notice TWDA 2017/00546-CC at Annexure 5.
Department of State Growth	Referral was not required.
Environment Protection Authority	Referral was not required.
TasRail	Referral was not required.
Heritage Tasmania	Referral was not required.
Crown Land Services	Referral was not required.
Other	Referral was not required.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- . a site notice was posted;
- . letters to adjoining owners were sent; and
- . an advertisement was placed in the Public Notices section of The Advocate.

Representations –

One representation was received within the prescribed time, a copy of which is provided at Annexure 3.

The representation is summarised and responded to as follows:

MATTER RAISED	RESPONSE
1 Whilst the proposal will interfere with the Common Ground of the Strata Plan, after a meeting with the developer, we are satisfied that due consideration has been	Common Ground on the subject Lot 2 (24 King Edward Street) accommodates above-ground and underground stormwater infrastructure critical to Lot 3

<p>given to the drainage infrastructure utilised by Lot 3 (that is underground over Lot 2) and that its integrity will be maintained throughout the demolition, clearing and building processes.</p>	<p>(24B King Edward Street). Lot 3's existing stormwater disposal system would be demolished during the construction and development of the proposed new building. All parties to the Strata Plan must agree on the rearrangement of such infrastructure, where it is located in Common Ground.</p> <p>The development design incorporates stormwater disposal infrastructure, for Lot 3, into the southern wall of the proposed pharmacy building. This appears to be to the satisfaction of the owners of Lot 3.</p>
<p>2 Do not agree with parts of Protection Work Notice (Form 6) as it proposes a security fence to be erected from the front footpath to the canopy of the "Kings Feast" building and will interfere with access to their retail premises.</p>	<p>This is noted. This is not a matter for consideration by the Planning Authority. It is a matter between both parties, unless the security fence also needs to incorporate a part of the public footpath, whereby Council's Infrastructure Services will need to consider what it is willing to permit in this regard, during the construction of the building.</p> <p>This matter would also relate to a need for security fencing to occupy part of Clarkes Lane during construction, as the proposed building would be built to property boundaries.</p> <p>Appropriate security measures will be considered as a part of the Building Permit process.</p>
<p>3 Concern that the proposal includes a customer access doorway at the rear of the</p>	<p>The proposed rear pedestrian access would most likely be the primary entrance to the building.</p>

<p>building. The access would be adjacent to the driveway to 24B King Edward Street which is used for the delivery of goods. Trucks and delivery vehicles reverse in and out of the driveway and with the addition of pedestrian traffic, raises safety concerns.</p>	<p>This is a matter that was initially of concern to the Road Authority and Planning staff, given that clients of the medical centre would be likely to want to access the site and that pedestrian access and egress from the building would flow immediately onto Clarkes Lane, where there is not a public footpath on the southern side, and where there is competing vehicular traffic.</p> <p>The applicant was required to submit a Traffic Impact Assessment by a qualified traffic engineer. Midson Traffic undertook an assessment of the site and surrounding area, examining existing and proposed pedestrian and vehicle traffic volumes.</p> <p>Refer to the Midson Traffic Report included at Annexure 2.</p> <p>It remains, as with all traffic navigating Clarkes Lane, the “Nuthouse” supermarket, the Patrick Street Medical Centre, “Harcourts” real estate agency, and the Council car park in general, that the safety of pedestrians in this area is the responsibility of all those using the road network.</p>
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RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council’s determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- . Develop and manage sustainable built infrastructure.

CONCLUSION

The proposed use and development of land, for the demolition of an existing building and development of a new pharmacy building, satisfies the relevant Acceptable Solutions and Performance Criteria of the Scheme.

Recommendation –

It is recommended that the application for Demolition of a building and General retail and hire (pharmacy) – variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards at 24 & 24A King Edward Street, Ulverstone be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by Weeda Drafting & Building Consultants Pty Ltd, Project No. 1217, Drawing Nos. 1A to 4A, 5 and 6A, dated 4 April 2017, unless modified by a condition of this Permit.
- 2 The development must be in accordance with the conditions of the Submission to Planning Authority Notice from TasWater, Reference No. TWDA 2017/00546–CC, dated 26 April 2017 (copy attached).
- 3 The development must be in accordance with the conditions of the Statement of Compliance for Vehicular Access and Drainage Access dated 12 April 2017 issued by the Council acting in its capacity as the Road Authority and the Stormwater Authority (copy attached).
- 4 Driveways and vehicle parking and manoeuvring areas must be formed and constructed with a compacted sub-base and an all-weather surface.
- 5 Stormwater from vehicle parking and manoeuvring areas must be collected, drained and disposed of to an approved stormwater system.

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period, an extension of time may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 “Substantial commencement” is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site or bank guarantee to undertake such works.
- 3 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is defined using the Determinations issued under the *Building Act 2016* by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work.’

The report is supported.”

The Executive Services Officer reports as follows:

“A copy of the Annexures referred to in the Town Planner’s report having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

■ “That the application for Demolition of a building and General retail and hire (pharmacy) – variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards at 24 & 24A King Edward Street, Ulverstone be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by Weeda Drafting & Building Consultants Pty Ltd, Project No. 1217, Drawing Nos. 1A to 4A, 5 and 6A, dated 4 April 2017, unless modified by a condition of this Permit.
- 2 The development must be in accordance with the conditions of the Submission to Planning Authority Notice from TasWater, Reference No. TWDA 2017/00546–CC dated 26 April 2017 (copy attached) (a copy being appended to and forming part of the Minutes).
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the Council acting in its capacity as the Road Authority and the Stormwater Authority (copy attached) (a copy being appended to and forming part of the Minutes).

- 4 Driveways and vehicle parking and manoeuvring areas must be formed and constructed with a compacted sub-base and an all-weather surface.
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Please note:

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- 2 ‘Substantial commencement’ is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site or bank guarantee to undertake such works.
- 3 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is defined using the Determinations issued under the *Building Act 2016* by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work.”

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9.12 Residential (multiple dwellings X four) – variation to front and rear boundary setbacks; open space; proximity to a rail line; and car parking standards at 22 & 22A Alexandra Road, Ulverstone – Application No. DA216180

The Director Community Services reports as follows:

“The Land Use Planning Group Leader has prepared the following report:

<i>‘DEVELOPMENT APPLICATION NO.:</i>	DA216180
<i>PROPOSAL:</i>	Residential (multiple dwellings X four) – variation to front and rear boundary setbacks; open space; proximity to a rail line; and car parking standards
<i>APPLICANT:</i>	RFS Projects P/L
<i>LOCATION:</i>	22 & 22A Alexandra Road, Ulverstone
<i>ZONE:</i>	General Residential Zone
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the Scheme)
<i>ADVERTISED:</i>	8 April 2017
<i>REPRESENTATIONS EXPIRY DATE:</i>	26 April 2017
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	24 May 2017
<i>DECISION DUE:</i>	15 May 2017

PURPOSE

The purpose of this report is to consider an application for Residential (multiple dwellings X four) involving variations to front and rear boundary setbacks, private open space, proximity to a rail line and car parking standards, at 22 & 22A Alexandra Road, Ulverstone.

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs;
- . Annexure 5 – TasWater submission to Planning Authority;
- . Annexure 6 – Statement of Compliance.

BACKGROUND

Development description –

Application is made for approval of the prior demolition of a dwelling at 22 Alexandra Road, demolition of a small fibro-cement cottage at 22A Alexandra Road, Ulverstone and construction of four single storey two bedroom dwellings on the two lots. The buildings would be of brick and ‘Colorbond’ construction.

The two front units (Units 1 and 2) would be accessed from Alexandra Road with their own individual (existing) driveways and crossings.

Units 3 and 4 would be located behind Units 1 and 2 and would have their vehicle access by a central shared driveway.

A total of eight on-site car parking spaces would be provided (two per unit).

Each unit would be provided with an area of private open space and a covered alfresco dining area.

Site description and surrounding area -

The development site is located within the suburban residential area of Ulverstone. Surrounding properties are generally larger size lots with established single dwellings.

The site is the combination of two existing residential allotments, which jointly total a 1,684m² parcel. Ultimately the lots would be joined through the creation of lots under the Strata Title process.

A sewer main transects the lots: it is proposed to relocate the sewer line around the units.

History -

A previous proposal for four dwellings (DA216121) was withdrawn due to mandatory privacy requirements not being met in relation to Unit 3.

The current application includes privacy screening for the unit affected.

Demolition of a former single dwelling at 22A Alexandra Road occurred without the necessary Planning, Plumbing or Building Permits being issued (date unknown).

DISCUSSION

The following table is an assessment of the relevant Scheme provisions:

10.0 General Residential Zone

CLAUSE	COMMENT
10.3.1 Discretionary Permit Use	
<p>10.3.1-(P1) Discretionary permit use must:</p> <p>(a) be consistent with local area objectives;</p> <p>(b) be consistent with any applicable desired future character statement; and</p> <p>(c) minimise likelihood for adverse impact on amenity for use on adjacent land in the zone.</p>	<p>Not applicable.</p> <p>Residential use is a Permitted use class.</p>
10.3.2 Impact of Use	
<p>10.3.2-(A1) Permitted non-residential use must adjoin at least one residential use on the same street frontage.</p>	<p>Not applicable.</p> <p>Use is contained within a dwelling.</p>
<p>10.3.2-(A2) Permitted non-residential use must not generate more than 40 average daily vehicle movements.</p>	<p>Not applicable.</p> <p>Use is contained within a dwelling.</p>

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<p>10.3.2-(A3) Other than for emergency services, residential, and visitor accommodation, hours of operation must be between 6.00am and 9.00pm.</p>	<p>Not applicable. Use is residential.</p>
<p>10.4.1 Residential density for multiple dwellings</p>	
<p>10.4.1-(A1) Multiple dwellings must have a site area per dwelling of not less than:</p> <p>(a) 325m²; or</p> <p>(b) if within a density area specified in Table 10.4.1 below and shown on the planning scheme maps, that specified for the density area.</p>	<p>(a) Compliant. The total area of the development site would be 1,684m². The site area per dwelling would be 421m².</p> <p>(b) Not applicable. Satisfied by (a).</p>
<p>10.4.2 Setbacks and building envelope for all dwellings</p>	
<p>10.4.2-(A1) Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, at least 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less</p>	<p>(a) Non-compliant. Dwelling 1 would be setback 3.5m from the primary frontage to Alexandra Road. Dwelling 2 would be compliant with a setback of 5.5m and Dwellings 3 and 4 are internal development on the allotment.</p> <p>See "Issue 1" section of this report.</p>

<p>than the setback, from the primary frontage, of any existing dwelling on the site; or</p> <p>(b) if the frontage is not a primary frontage, at least 3.0m, or, if the setback from the frontage is less than 3.0m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>(d) if the development is on land that abuts a road specified in Table 10.4.2, at least that specified for the road.</p>	<p>(b) Not applicable. Alexandra Road is the primary frontage – no secondary frontage applies.</p> <p>(c) Not applicable. The land is not vacant.</p> <p>(d) Not applicable. The development is not on land that abuts the Bass Highway.</p>
<p>10.4.2–(A2) A garage or carport must have a setback from a primary frontage of at least:</p> <p>(a) 5.5m, or alternatively 1.0m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport; or</p>	<p>(a) Compliant. Garage for Dwelling 1 is setback 6m from the primary frontage and the garage for Dwelling 2 is setback 5.5m from the primary frontage. Dwellings 3 and 4 are internal development on the allotment.</p> <p>(b) Not applicable. Satisfied by (a).</p> <p>(c) Not applicable. Satisfied by (a).</p>

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<p>(c) 1.0m, if the natural ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10.0m from the frontage.</p>	
<p>10.4.2-(A3) A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3.0m above natural ground level at the side boundaries and a distance of 4.0m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or</p>	<p>(a)(i) Non-compliant. The proposed development would not be contained within building envelope 10.4.2A. Development would be setback 3.5m from the frontage and 3m from the rear boundary of 22A Alexandra Road and 3.06m from the rear of 22 Alexandra Road.</p> <p>See “Issues 1 and 2” section of this report.</p> <p>(a)(ii) Non-compliant. The proposal would be outside the applicable building envelope.</p> <p>See “Issues 1 and 2” section of this report.</p> <p>(b)(i) Not applicable. Satisfied by (b)(ii).</p> <p>(b)(ii) Compliant. A portion of Dwelling 2 would have a zero setback from the eastern side boundary for a length of 7m and Unit 1 would be less than 1.5m from the eastern side boundary for a length of approximately 9m (building angles away from the side boundary). Dwellings 3 and 4 meet Scheme</p>

<p>within 0.2m of the boundary or the adjoining lot; or</p> <p>(ii) does not exceed a total length of 9.0m or one-third the length of the side boundary (whichever is the lesser).</p>	<p>standards for side boundary setback.</p>
<p>10.4.3 Site coverage and private open space for all dwellings</p>	
<p>10.4.3-(A1) Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and</p> <p>(b) for multiple dwellings, a total area of private open space of not less than 60.0m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) a site area of which at least 25% of the site area is free from impervious surfaces.</p>	<p>(a) Compliant. Dwelling site coverage would be 38.3%.</p> <p>(b) Non-compliant. Dwelling 1 would have 53m² of private open space and Dwelling 3 would have 58m² of private open space. Dwelling 2 would be compliant with 64m² of private open space and Dwelling 4 would be compliant with 60m² of private open space.</p> <p>See "Issue 3" section of this report.</p> <p>(c) Compliant. The development site would have an area of approximately 32.8% free from impervious surfaces.</p>
<p>10.4.3-(A2) A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p>	<p>(a)(i) Compliant.</p> <p>Unit 1 would have a private open space area of 64m² in one location.</p>

<p>(i) 24.0m²; or</p> <p>(ii) 12.0m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4.0m; or</p> <p>(ii) 2.0m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least three hours of sunlight to 50% of the area between 9.00am and 3.00pm on 21 June; and</p> <p>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and</p>	<p>Unit 2 would have a private open space area of 57m² in one location.</p> <p>Unit 3 would have a private open space area of 55m² in one location.</p> <p>Unit 4 would have a private open space area of 60m² in one location.</p> <p>(a)(ii) Not applicable. Satisfied by (a)(i).</p> <p>(b)(i) Compliant.</p> <p>Unit 1 private open space has a north/south horizontal dimension of 7m.</p> <p>Unit 2 private open space has a north/south horizontal dimension of 5m.</p> <p>Unit 3 private open space has an east/west horizontal dimension of 8m.</p> <p>Unit 4 private open space has an east/west horizontal dimension of 10m.</p>
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<p>30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p> <p>(g) is not used for vehicle access or parking.</p>	<p>(b)(ii) Not applicable. All multiple dwellings are single-storey.</p> <p>(c) Compliant. All dwellings would have direct access to private open space areas from a dining/living room.</p> <p>(d) Compliant: Unit 1 with private open space located to the west.</p> <p>Compliant: Unit 2 with private open space located to the east.</p> <p>Compliant: Unit 3 with private open space located to the north.</p> <p>Non-Compliant: Unit 4 with private open space located to the south and south-west.</p> <p>See "Issue 4" section of this report.</p> <p>(e) Compliant. Private open space areas are not located between proposed dwellings and the frontage to Alexandra Road.</p> <p>(f) Compliant. The site is flat.</p>
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	(g) Compliant. Areas designated on the plan for private open space are not areas used for vehicle access or parking.
10.4.4 Sunlight and overshadowing for all dwellings	
10.4.4-(A1) A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north (see Diagram 10.4.4A).	<p>Non-compliant.</p> <p>Units 1, 2 and 3 have windows to at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north. However, Unit 4 does not meet this standard, with all habitable rooms facing south and south-west.</p> <p>See "Issue 4" section of this report.</p>
<p>10.4.4-(A2) A multiple dwelling that is to the north of a window of a habitable room (other than a bedroom) of another dwelling on the same site, which window faces between 30 degrees west of north and 30 degrees east of north (see Diagram 10.4.4A), must be in accordance with (a) or (b), unless excluded by (c):</p> <p>(a) The multiple dwelling is contained within a line projecting (see Diagram 10.4.4B):</p>	<p>(a)(i) Compliant. Unit 1 is north of Unit 3 and the dwellings are separated by 7m.</p> <p>Unit 2 is north of Unit 4 and the dwellings are separated by 5.5m.</p> <p>(a)(ii) Compliant. All units have a vertical wall height of 2.45m and then angle at 45°.</p> <p>(b) Not applicable. Satisfied by (a).</p>

<p>(i) at a distance of 3.0m from the window; and</p> <p>(ii) vertically to a height of 3.0m above natural ground level and then at an angle of 45 degrees from the horizontal.</p> <p>(b) The multiple dwelling does not cause the habitable room to receive less than three hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <p>(i) an outbuilding with a building height no more than 2.4m; or</p> <p>(ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6m horizontally from the multiple dwelling.</p>	<p>(c)(i) Not applicable. Satisfied by (a).</p> <p>(c)(ii) Not applicable. Satisfied by (a).</p>
<p>10.4.4-(A3) A multiple dwelling, that is to the north of the private open space, of another dwelling on the same site, required in accordance with A2 or P2 of subclause 10.4.3, must be in accordance with (a) or (b), unless excluded by (c):</p> <p>(a) The multiple dwelling is contained within a line projecting (see Diagram 10.4.4C):</p>	<p>(a)(i) Compliant. The private open space for Unit 3 is setback approximately 4m from Unit 1. The private open space of Unit 4 is located to the south of the dwelling and would not be overshadowed by Unit 2.</p> <p>(a)(ii) Compliant. All dwellings have a vertical wall height of 2.45m and then angle at 45°.</p>

<p>(i) at a distance of 3.0m from the northern edge of the private open space; and</p> <p>(ii) vertically to a height of 3.0m above natural ground level and then at an angle of 45 degrees from the horizontal.</p> <p>(b) The multiple dwelling does not cause 50% of the private open space to receive less than three hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <p>(i) an outbuilding with a building height no more than 2.4m; or</p> <p>(ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6m from the multiple dwelling.</p>	<p>(b) Compliant. No dwelling would cause more than 50% of another unit's private open space to receive less than three hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(c)(i) Not applicable. No outbuildings proposed.</p> <p>(c)(ii) Compliant. No protrusions more than 0.6m from multiple dwellings.</p>
<p>10.4.5 Width of openings for garages and carports for all dwellings</p>	
<p>10.4.5-(A1) A garage or carport within 12.0m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage of not more than 6.0m or half the width of the frontage (whichever is the lesser).</p>	<p>Compliant.</p> <p>The garages of Units 1 and 2 are located within 12m of the primary frontage. The garages of Units 1 and 2 would have 3.9m openings.</p>

<p>10.4.6 Privacy for all dwellings</p>	
<p>10.4.6–(A1) A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1.0m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <ul style="list-style-type: none"> (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3.0m from the side boundary; and (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4.0m from the rear boundary; and (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6.0m: <ul style="list-style-type: none"> (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or (ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site. 	<p>Not applicable.</p> <p>The proposed dwellings do not have a balcony, deck, roof terrace, parking space or carport with a finished floor level of 1.0m above natural ground level.</p>

<p>10.4.6-(A2) A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1.0m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <ul style="list-style-type: none"> (i) is to have a setback of at least 3.0m from a side boundary; and (ii) is to have a setback of at least 4.0m from a rear boundary; and (iii) if the dwelling is a multiple dwelling, is to be at least 6.0m from a window or glazed door, to a habitable room, of another dwelling on the same site; and (iv) if the dwelling is a multiple dwelling, is to be at least 6.0m from the private open space of another dwelling on the same site. <p>(b) The window or glazed door:</p> <ul style="list-style-type: none"> (i) is to be offset, in the horizontal plane, at least 1.5m from the edge of a window or glazed door, to a 	<p>Not applicable.</p> <p>The proposed dwellings do not have a window or glazed door to a habitable room with a floor level more than 1.0m above natural ground level.</p>
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<p>habitable room of another dwelling; or</p> <p>(ii) is to have a sill height of at least 1.7m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7m above floor level, with a uniform transparency of not more than 25%.</p>	
<p>10.4.6–(A3) A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of at least:</p> <p>(a) 2.5m; or</p> <p>(b) 1.0m if:</p> <p>(i) it is separated by a screen of at least 1.7m in height; or</p> <p>(ii) the window, or glazed door, to a habitable room has a sill height of at least 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to</p>	<p>(a) Compliant</p> <p>Unit 1: Windows and glazed doors to habitable rooms would be setback a minimum of 4m from the shared driveway.</p> <p>Unit 2: Windows and glazed doors to habitable rooms would be setback a minimum of 4m from the shared driveway and another’s parking space.</p> <p>Unit 3: Windows to Lounge and Bedroom 1 (habitable rooms) would be setback less than 2m (approximately 1.5m) from the shared driveway but are proposed to be screened to a height of 1.7m and not more than 25% transparency.</p>

<p>a height of at least 1.7m above the floor level.</p>	<p>Unit 4: Windows and glazed doors to habitable rooms would be setback a minimum of 2.5m from the shared driveway.</p> <p>(b)(i) Compliant. In relation to Unit 3, a privacy screen to the shared driveway is proposed.</p> <p>(b)(ii) Compliant. In relation to Unit 3, 1.7m high screens are proposed.</p> <p>See "Issue 6" section of this report.</p>
<p>10.4.7 Frontage fences for all dwellings</p>	
<p>10.4.7-(A1) A fence (including a free-standing wall) within 4.5m of a frontage must have a height above natural ground level of not more than:</p> <p>(a) 1.2m if the fence is solid; or</p> <p>(b) 1.8m, if any part of the fence that is within 4.5m of a primary frontage has openings above a height of 1.2m which provide a uniform transparency of not less than 30% (excluding any posts or uprights).</p>	<p>Not applicable.</p> <p>No frontage fence proposed.</p>

10.4.8 Waste storage for multiple dwellings	
<p>10.4.8-(A1) A multiple dwelling must have a storage area, for waste and recycling bins, that is an area of at least 1.5m² per dwelling and is within one of the following locations:</p> <p>(a) in an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or</p> <p>(b) in a communal storage area with an impervious surface that:</p> <p>(i) has a setback of at least 4.5m from a frontage; and</p> <p>(ii) is at least 5.5m from any dwelling; and</p> <p>(iii) is screened from the frontage and any dwelling by a wall to a height of at least 1.2m above the finished surface level of the storage area.</p>	<p>(a) Compliant. Each dwelling demonstrates an area for storage of waste bins that is located behind the dwelling.</p> <p>(b) Not applicable. Satisfied by (a).</p>
10.4.9 Suitability of a site or lot for use or development	
<p>10.4.9-(A1) A site or each lot on a plan of subdivision must:</p> <p>(a) have an area of not less than 330m² excluding any access strip; and</p>	<p>(a) Compliant. Development site would be 1,684m².</p> <p>(b)(i) Non-compliant. The development would not be clear of front and rear setbacks.</p> <p>See "Issues 1 and 2" section of this report.</p>

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<p>(b) if intended for a building, contain a building area of not less than 10.0m x 15.0m:</p> <ul style="list-style-type: none"> (i) clear of any applicable setback from a frontage, side or rear boundary; (ii) clear of any applicable setback from a zone boundary; (iii) clear of any registered easement; (iv) clear of any registered right of way benefiting other land; (v) clear of any restriction imposed by a utility; (vi) not including an access strip; (vii) accessible from a frontage or access strip; and (viii) if a new residential lot, with a long axis within the range 30 degrees east of north and 20 degrees west of north. 	<ul style="list-style-type: none"> (b)(ii) Not applicable. No zone boundary. (b)(iii) Compliant. The proposal is clear of registered easements. (b)(iv) Compliant. There is no right of way benefiting other land. (b)(v) Compliant. The proposal is not clear of sewerage infrastructure, however, the proposal includes works to relocate the existing sewer line clear of building areas. (b)(vi) Compliant. The site does not include an access strip. (b)(vii) Compliant. The site is accessible from a frontage to Alexandra Road. (b)(viii) Not applicable. Not a new residential lot.
<p>10.4.9-(A2) A site or each lot on a subdivision plan must have a separate access from a road –</p> <p>(a) across a frontage over which no other land has a right of</p>	<p>(a) Compliant. Site has access from Alexandra Road over which no other land has a right of access.</p>

<p>access; and</p> <p>(b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or</p> <p>(c) by a right of way connecting to a road –</p> <p style="padding-left: 20px;">(i) over land not required as the means of access to any other land; and</p> <p style="padding-left: 20px;">(ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right of way of not less than –</p> <p style="padding-left: 20px;">(i) 3.6m for a single dwelling development; or</p> <p style="padding-left: 20px;">(ii) 6.0m for multiple dwelling development or development for a non-residential use; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements can be made to provide vehicular access</p>	<p>(b) Not applicable. Not an internal allotment.</p> <p>(c)(i) Not applicable. Satisfied by (a).</p> <p>(c)(ii) Not applicable. Satisfied by (a).</p> <p>(d)(i) Compliant. Development site has a 30m wide frontage to Alexandra Road.</p> <p>(d)(ii) Not applicable. Satisfied by (d)(i).</p> <p>(e) Compliant. Refer to Statement of Compliance issued by Road Authority – Annexure 6.</p>
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<p>between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	
<p>10.4.9–(A3) A site or each lot on a plan of subdivision must be capable of connecting to a water supply provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>.</p>	<p>Compliant. The site is connected to the reticulated water system.</p>
<p>10.4.9–(A4) A site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and wastewater to a sewage system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>.</p>	<p>Compliant. The site is connected to the reticulated sewerage system.</p>
<p>10.4.9–(A5) A site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>.</p>	<p>Compliant. The site is connected to the reticulated stormwater system.</p>
<p>10.4.10 Dwelling density for single dwelling development</p>	
<p>10.4.10–(A1)</p> <p>(a) The site area per dwelling for a single dwelling must –</p> <p style="padding-left: 20px;">(i) be not less than 325m²; and</p> <p style="padding-left: 20px;">(ii) be not more than 830m²; or</p>	<p>Not applicable. Not a single dwelling development.</p>

(b) The site is approved for residential use on a plan sealed before this planning scheme came into effect.	
10.4.11 Development other than a single or multiple dwelling	
10.4.11.1 Location and configuration of development	
<p>10.4.11.1-(A1) The wall of a building must be set back from a frontage –</p> <p>(a) not less than 4.5m from a primary frontage; and</p> <p>(b) not less than 3.0m from any secondary frontage; or</p> <p>(c) not less than and not more than the setbacks for any existing building on adjoining sites;</p> <p>(d) not less than for any building retained on the site;</p> <p>(e) in accordance with any building area shown on a sealed plan; or</p> <p>(f) not less than 50.0m if the site abuts the Bass Highway.</p>	<p>Not applicable.</p> <p>Proposed development is for multiple dwellings.</p>
10.4.11.1-(A2) All buildings must be contained within a building envelope determined by –	Not applicable.

<p>(a) the applicable frontage setback;</p> <p>(b) a distance of not less than 4.0m from the rear boundary or if an internal lot, a distance of 4.5m from the boundary abutting the rear boundary of the adjoining frontage site;</p> <p>(c) projecting a line at an angle of 45 degrees from the horizontal at a height of 3.0m above natural ground level at each side boundary and at a distance of 4.0m from the rear boundary to a building height of not more than 8.5m above natural ground level if walls are setback –</p> <p>(i) not less than 1.5m from each side boundary; or</p> <p>(ii) less than 1.5m from a side boundary if –</p> <p style="padding-left: 20px;">a. built against an existing wall of an adjoining building; or</p> <p style="padding-left: 20px;">b. the wall or walls –</p> <p style="padding-left: 40px;">i. have the lesser of a total length of 9.0m or one-third of the boundary with the adjoining land;</p>	<p>Proposed development is for multiple dwellings.</p>
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<p>ii. there is no door or window in the wall of the building; and</p> <p>iii. overshadowing does not result in 50% of the private open space of an adjoining dwelling receiving less than 3 hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(d) in accordance with any building envelope shown on a sealed plan of subdivision.</p>	
<p>10.4.11.1-(A3) Site coverage must:</p> <p>(a) not be more than 50%; or</p> <p>(b) not be more than any building area shown on a sealed plan.</p>	<p>Not applicable.</p> <p>Proposed development is for multiple dwellings.</p>
<p>10.4.11.1-(A4) A garage, carport or external parking area and any area for the display, handling, or storage of goods, materials or waste, must be located behind the primary frontage of a building.</p>	<p>Not applicable.</p> <p>Proposed development is for multiple dwellings.</p>
<p>10.4.11.1-(A5) Other than for a dwelling, the total width of openings in the frontage elevation of a garage or carport (whether freestanding or part of any other building) must be the lesser of:</p>	<p>Not applicable.</p> <p>Proposed development is for multiple dwellings.</p>

<p>(a) 6.0m; or</p> <p>(b) half the width of the frontage.</p>	
<p>10.4.11.2 Visual and acoustic privacy for residential development</p>	
<p>10.4.11.2-(A1) A door or window to a habitable room or any part of a balcony, deck, roof garden, parking space or carport of a building must:</p> <p>(a) if the finished floor level is more than 1.0m above natural ground level:</p> <p style="padding-left: 20px;">(i) be not less than 6.0m from any door, window, balcony, deck, or roof garden in a dwelling on the same site;</p> <p style="padding-left: 20px;">(ii) be not less than 3.0m from a side boundary;</p> <p style="padding-left: 20px;">(iii) be not less than 4.0m from a rear boundary; and</p> <p style="padding-left: 20px;">(iv) if an internal lot, be not less than 4.5m from the boundary abutting a rear boundary of an adjacent frontage site; or</p> <p>(b) if less than the setbacks in clause A1(a):</p>	<p>Not applicable.</p> <p>Proposed development is for multiple dwellings.</p>

<ul style="list-style-type: none"> (i) be off-set by not less than 1.5m from the edge of any door or window of another dwelling; (ii) have a window sill height of not less than 1.8m above floor level; (iii) have fixed glazing or screening with a uniform transparency of not more than 25% in that part of a door or window less than 1.7m above floor level; or (iv) have a fixed and durable external screen other than vegetation of not less than 1.8m height above the floor level with a uniform transparency of not more than 25% for the full width of the door, window, balcony, deck, roof garden, parking space, or carport. 	
<p>10.4.11.2-(A2) An access strip or shared driveway, including any pedestrian pathway and parking area, must be separated by a distance of not less than 1.5m horizontally and 1.5m vertically from the door or window to a dwelling or any balcony, deck, or roof garden in a dwelling.</p>	<p>Not applicable.</p> <p>Proposed development is for multiple dwellings.</p>

10.4.11.3 Frontage fences	
<p>10.4.11.3-(A1) The height of a fence, including any supporting retaining wall, on or within a frontage setback must be:</p> <p>(a) not more than 1.2m if the fence is solid; or</p> <p>(b) not more than 1.8m provided that part of the fence above 1.2m has openings that provide a uniform transparency of not less than 30%.</p>	<p>Not applicable.</p> <p>Proposed development is for multiple dwellings.</p>
10.4.12 Setback of development for sensitive use	
<p>10.4.12-(A1) A building containing a sensitive use must be contained within a building envelope determined by:</p> <p>(a) the setback distance from the zone boundary as shown in the Table to this clause; and</p> <p>(b) projecting upward and away from the zone boundary at an angle of 45 degrees above the horizontal from a wall height of 3.0m at the required setback distance from the zone boundary.</p>	<p>(a) Compliant. Setback to Utilities zone boundary would be approximately 38m.</p> <p>(b) Compliant. Setback to Utilities zone boundary would be approximately 38m.</p>

<p>10.4.12–(A2) Development for a sensitive use must be not less than 50.0m from:</p> <p>(a) Bass Highway;</p> <p>(b) a railway;</p> <p>(c) land designated in the planning scheme for future road or rail purposes; or</p> <p>(d) a proclaimed wharf area.</p>	<p>(a) Compliant. The Bass Highway is located approximately 708m from the development site.</p> <p>(b) Non-compliant. A railway line is located approximately 44m from the development site.</p> <p>See “Issue 7” section of this report.</p> <p>(c) Compliant. Land is not designated for future road or rail purposes.</p> <p>(d) Compliant. Nearest proclaimed wharf area is located at Devonport approximately 15km to the east.</p>
<p>10.4.13 Subdivision</p>	
<p>10.4.13–(A1) Each new lot on a plan of subdivision must be –</p> <p>(a) intended for residential use;</p> <p>(b) a lot required for public use by the State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a Statutory authority.</p>	<p>Not applicable.</p> <p>No subdivision proposed.</p>

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10.4.13–(A2) A lot, other than a lot to which A1(b) applies, must not be an internal lot.	Not applicable. No subdivision proposed.
10.4.14 Reticulation of an electricity supply to new lots on a plan of subdivision	
10.4.14–(A1) Electricity reticulation and site connections must be installed underground.	Not applicable. No subdivision proposed.
CODES	
E1 Bushfire-Prone Areas Code	Not applicable. Not a subdivision, hazardous or vulnerable use or development.
E2 Airport Impact Management Code	Not applicable. No Airport Impact Management Code in the Scheme.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing proposed.
E4 Change in Ground Level Code	Not applicable. No change in ground level greater than 1m.
E5 Local Heritage Code	Not applicable. No local heritage listings in this Scheme.
E6 Hazard Management Code	Not applicable. Site not included in a mapped hazard area.

E7 Sign Code	Not applicable. No signs proposed.
E8 Telecommunication Code	Not applicable. No telecommunications proposed.
E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	Applicable. Code applies to all use and development.
E9.4 Use or development exempt from this Code	Not exempt. No Local Area Parking Scheme applies.
E9.5 Use Standards	
E9.5.1 Provision for parking	
<p>E9.5.1-(A1) Provision for parking must be:</p> <p>(a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;</p>	<p>(a) Non-compliant. The Scheme requires two on-site car parking spaces for each dwelling and one visitor space for every three dwellings. This equates to a Scheme requirement for 10 car parking spaces on site, two for each dwelling and two visitor car parking spaces.</p> <p>The application makes provision for nine parking spaces. The development proposes one internal garage space and one external car park for each</p>

	<p>dwelling, with provision for a single visitor car parking space on-site.</p> <p>Further, for multiple dwellings, car parking spaces located directly one behind the other is not considered to be a “legitimate” parking space for the purposes of meeting the Code requirements.</p> <p>See “Issue 8” section of this report.</p>
<p>E9.5.2 Provision for loading and unloading of vehicles</p>	
<p>E9.5.2-(A1) There must be provision within a site for:</p> <p>(a) on-site loading area in accordance with the requirement in the Table to this Code; and</p> <p>(b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.</p>	<p>(a) Not applicable. On-site loading not required in the General Residential zone.</p> <p>(b) Not applicable. Passenger pick-up and set-down facilities not required for residential use.</p>

E9.6 Development Standards	
E9.6.1 Design of vehicle parking and loading areas	
E9.6.1 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and	Compliant by a condition to a Permit. Development would be required to connect to a reticulated stormwater system.
<p>E9.6.1 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –</p> <p>(a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking;</p> <p>(b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles;</p> <p>(c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities;</p> <p>(d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities;</p> <p>(e) Each parking space must be separately accessed from the internal circulation aisle within the site;</p>	<p>(a) Compliant. Circulation aisles, parking areas and vehicle manoeuvring areas would be in accordance with AS/NZ 2890.1 (2004).</p> <p>(b) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(c) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(d) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(e) Non-compliant. In relation to Units 1 and 2, parking spaces are shown to be one behind another.</p> <p>See “Issue 8” section of this report.</p>

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<p>(f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and</p> <p>(g) Be formed and constructed with compacted sub-base and an all-weather surface.</p>	<p>(f) Non-compliant. Vehicles associated with Units 1 and 2 would need to reverse onto Alexandra Road.</p> <p>See "Issue 8" section of this report.</p> <p>(g) Compliant by a condition to a permit. All vehicle parking and manoeuvring areas to be formed and constructed with a compacted sub-base and an all-weather surface.</p>
<p>E9.6.2-(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.</p>	<p>Not applicable.</p> <p>Site is zoned General Residential.</p>
<p>E10 Water and Waterways Code</p>	<p>Not applicable. Site is more than 30m from Bass Strait and the Leven River.</p>
<p>Specific Area Plans</p>	<p>Not applicable. No Specific Area Plans apply to this location.</p>

Issues –

1 Primary frontage setback –

The Scheme's Acceptable Solution standard 10.4.2 (A1) "Setbacks and building envelope for all dwellings" requires development to be setback 4.5m from a primary frontage, or to that equivalent of dwellings on adjoining sites.

A 4m section of Unit 1 would be setback 3.5m from the Alexandra Road frontage: the other 6.5m would comply.

Performance Criteria 10.4.2 (P1) states that a dwelling must have a setback from a primary frontage that is compatible with the existing dwellings in the street.

Setbacks to the street in the surrounding area of the subject site vary between 1.5m and 18m. Multiple dwellings across the street have a setback of 4m from Alexandra Road.

The proposed setback of Unit 1 would fit within the range of surrounding setbacks, though likely to be identifiable as being closer than immediately adjacent dwellings. Nevertheless, the 3.5m setback would be sufficient for the purposes of respecting the general dwelling setback character of the street.

2 Rear boundary setback –

The Scheme's Acceptable Solution standard 10.4.2– (A3) "Setbacks and building envelope for all dwellings" requires that development be setback 4m from a rear boundary.

Unit 3 would be setback 3m from the rear boundary of the 22A Alexandra Road lot. Unit 4 would be setback 3.06m from the rear boundary of the 22 Alexandra Road lot.

Performance Criteria 10.4.2–(P3) requires the siting and scale of a dwelling must:

- (a) not cause unreasonable loss of amenity by:
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or

- (ii) overshadowing the private open space of a dwelling on an adjoining lot; or
 - (iii) overshadowing an adjoining vacant lot; or
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and
- (b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

In summary, the Performance Criteria requires that there is no unreasonable loss of amenity by overshadowing or visual impact and, that separation between buildings is compatible with those prevailing in the surrounding area. These matters are addressed as follows:

Overshadowing –

The subject site is orientated north/south, with proposed Units 3 and 4 located on the southern portion of the land.

The adjoining property to the south-west (20A Alexandra Road) is a large internal allotment (1,793m²) which accommodates a single dwelling. The property is accessed from Alexandra Road by a 6m wide access strip.

Shading diagrams indicate that proposed Unit 4 would not overshadow the private open space area of the dwelling at 20A Alexandra Road for more than three hours per day. Shading caused would primarily fall across the access strip and car parking area.

Other adjoining land to the south (6 Walker Street) is a long, vacant east-west orientated allotment (751m²). Proposed Units 3 and 4, in combination, would overshadow the rear portion of this land from 9.00am to approximately 11.00am and again from 1.00pm to 3.00pm.

Less than three quarters of the lot would be affected by shading. The amount and location of unaffected land should be adequate to design a dwelling and private open space to receive sufficient winter sunshine. In any event the degree of additional sunshine received by the lot if the required 4m setback were complied with is likely to be comparatively small.

It is considered the shading impact of the lesser rear setback of the proposed unit development, on the two rear adjoining properties, would not be unreasonable. It is considered the Performance Criteria 10.4.2–(P3) (a)(i), (ii) and (iii) are satisfied by the proposed development.

The Scheme incorporates other standards relating to sunlight, requiring that private open space areas, receive not less than three hours of sunlight between 9.00am and 3.00pm on 21 June. These standards are discussed at “Issue 4” below.

Visual impact –

The Scheme requires that buildings constructed within 4m of the rear boundary not result in adverse visual impacts when viewed from an adjoining lot.

The proposed four units would be single-storey. The surrounding area is developed at a typical suburban residential density, where single-storey, single dwelling buildings are setback from rear and front boundaries. Given the proposal is for single-storey dwellings in the General Residential zone, the visual presence of the proposed development would not be overly noticeable from adjoining land. The visual impact would be as expected of multiple dwelling development and on this basis, is considered acceptable.

3 *Allocation of private open space –*

The Acceptable Solution 10.4.3 (A1) “Site coverage and private open space for all dwellings” requires provision of an area of private open space for each dwelling of not less than 60m².

Units 2 and 4 would each have the required 60m² minimum area of private open space. However, Unit 1 would have 53m² of private open space and Unit 3 would have 58m².

Assessments against the performance criteria, involving exercises of discretion, are required in relation to Units 1 and 3.

The associated performance criteria require that:

- (a) The size and dimension of private open space are appropriate for the size of dwelling and able to accommodate the open space and operational needs of occupants; and

- (b) Reasonable space is provided for the planting of gardens and landscaping.

The shortfall of space required is 7m² (Unit 1) and 2m² (Unit 3), which is a relatively small reduction on the 60m² requirement. The proposed areas are still likely to be sufficient for the needs of residents and for the planting of gardens. For this reason, it is considered that the performance criteria have been satisfied. An exercise of discretion on the standard is considered appropriate.

4 *Sunlight to private open space-*

The Acceptable Solution 10.4.3-(A2) "Site coverage and private open space for all dwellings" requires that multiple dwellings must have a private open space area that is not located to the south, south-east or south-west of the dwelling, unless the area receives at least three hours of sunlight between 9.00am and 3.00pm on 21 June.

The Scheme's Performance Criteria 10.4.3-(P2) requires that a private open space be conveniently located in relation to a living area and orientated to take advantage of sunlight.

The only unit where the orientation of private open space is an issue is Unit 4. While the proposed living area of Unit 4 would be directly accessible to the private open space area, the private open space would be situated to the south and west of the dwelling.

The designer has been required to place the garage at the northern end of the unit in order to gain access from the central driveway. Due to the longer form of the 22 Alexandra Road lot there is insufficient space to provide vehicle access, preventing what would be a more energy efficient layout whereby the location of garage and private open space would be reversed.

The private open space area for Unit 4 would be quite private and in a practical sense there has been a "trade-off" for privacy over energy efficiency. However, the performance criteria require that oriented to take advantage of sunlight.

The area of private open space on the western side of the dwelling would be in partial or full sunshine from 11.00am to 3.00pm. Given the design constraints provided by the lot shape, the response is probably a reasonable one. On this basis, it is considered that the requirement to take advantage of sunlight has been satisfied.

5 *Sunlight and overshadowing –*

The Acceptable Solution 10.4.4–(A1) requires that a dwelling must have one habitable room (other than a bedroom) with a window that faces between 30 degrees west of north and 30 degrees east of north. This is to ensure that habitable rooms receive sunlight during the winter months.

Each unit except Unit 4 satisfies this standard. The east and west facing windows of the lounge/dining area, kitchen and bedrooms of Unit 4 would be oriented at approximately 45° east or west of north. The greater angle of orientation would still allow a reasonable amount of sun penetration, albeit at a more oblique (and less efficient) angle.

The reason why the orientation standard is not met is the position of the garage at the northern end of the building. As outlined above the situation is a consequence of the deeper and narrower shape of the 22 Alexandra Road lot preventing car access to the southern end of the unit.

The Performance Criteria 10.4.4 (P1) requires that the dwelling be sited and designed to allow sunlight into at least one habitable room, not a bedroom. In this case sunshine could enter both the lounge and dining rooms of Unit 4, but on an angle greater than 30°. There is no stipulation in the performance criteria which prevents a greater angle than 30°.

In this respect it is considered that the Performance Criteria have been satisfied.

6 *Privacy for dwellings –*

Acceptable Solution 10.4.6 (A3) requires that a shared driveway must be separated from a window or glazed door to a habitable room of a multiple dwelling by a horizontal distance of a least 2.5m, or 1m if separated by a screen that is 1.7m in height.

A “habitable room” is defined under the Scheme as, “any room of a dwelling other than a bathroom, laundry, toilet, pantry, walk-in-wardrobe, corridor, stair, hallway, lobby, clothes drying room ... occupied neither frequently nor for extended periods”.

Privacy standards in relation to all Units are compliant with the Scheme standard. However, the living/lounge area and primary bedroom of

Unit 3 are marginally closer to the central driveway than 2.5m. The designers have opted to erect a screen of 1.7m height in front of the two windows in order to provide the required level of privacy within the unit.

The proposed solution is not a particularly sophisticated solution and it might be that a future owner would want to remove them at some stage.

The Performance Criteria identifies general ways that the required level of privacy could be achieved. It does not stipulate a specific form. In this case, the proposed screens achieve the required privacy – this is all the Scheme requires. On this basis, it must be accepted as a legitimate means of satisfying the Performance Criteria.

7 *Proximity to a rail line –*

Clause 10.4.12(A1) requires sensitive development be setback 50m from a railway line. In this case, the separation distance would be 44m. Consequently, an assessment against the Performance Criteria is required involving an exercise of discretion.

Performance Criteria 10.4.12 (P2) states:

Development for a sensitive use must–

- (a) have minimal impact for safety and efficient operation of the transport infrastructure; and
- (b) incorporate appropriate measures to mitigate likely impact of light, noise, odour, particulate, radiation or vibration emissions; or
- (c) be temporary use or development for which arrangements have been made with the relevant transport infrastructure entity for removal without compensation within 3 years.

The application was referred to TasRail who made no comment.

In summary, the Performance Criteria require that development not adversely impact on the safety and efficiency of the rail line and incorporate mitigation measures to reduce potential conflict and interference of residential development with the operations of the rail line.

It would be appropriate that the development include the use of noise and vibration mitigation measures for Units 1 and 2 which are inside the 50m setback standard – methods such as double glazed windows and sound insulation batts. This should be made a condition of the Permit.

8 *Traffic and car parking –*

The E9 Traffic Generating Use and Parking Code of the Scheme requires two on-site car parking spaces be provided for each dwelling and two visitor spaces. The application proposes nine on-site parking spaces, one visitor space short of the standard. However, the second spaces for Units 1 and 2 (the front units) are placed on the driveway immediately behind the garage space. The legitimate number of spaces under the Code is seven spaces.

The Code also requires provision for the forward movement of all vehicles on the site. Parking arrangements for Units 1 and 2 of the proposed spaces are likely to involve a reversing movement on to or from Alexandra Road.

Consequently, the application does not meet Code standards for the total number of on-site car parking spaces and on-site turning and an assessment against the performance criteria is required, involving an exercise of discretion.

Performance Criteria E9.5.1(P1) requires that the Council be satisfied that:

- “(a) It must be unnecessary or unreasonable to require arrangements for the provision of vehicle parking; or
- (b) Adequate and appropriate provision must be made for vehicle parking to meet –
 - (i) anticipated requirement for the type, scale, and intensity of the use;
 - (ii) likely needs and requirements of site users; and
 - (iii) likely type, number, frequency, and duration of vehicle parking demand.”

The application is accompanied by a Traffic Impact Assessment (TIA) which dealt with three main points – the number of access driveways, the number of on-site car parking spaces and vehicle manoeuvring space.

In relation to these matters the TIA concluded the following:

Number of access driveways –

The development would use two existing driveways and construct a third to serve the two rear units. Interestingly, the TIA does not give an opinion on whether vehicle access to the site should involve one vehicle access.

Traffic manoeuvring –

Traffic volumes on Alexandra Road are low and would allow sufficient gaps for traffic associated with the site to turn safely. The area is flat with adequate sight distances available and the three driveways are separated adequate distances apart.

Internal traffic circulation and parking –

Jockey parking provision is adequate and should be allowed in planning schemes. The new driveway would provide adequate on-site turning area. No passing areas are required. The report's author opines that the parking requirement is satisfied.

The TIA is interesting on two counts – its absence of whether there should be one or three vehicle accesses to/from the site, and its view that the on-site car parking provision complies with the Code.

It can be accepted that provision of three driveways in the manner proposed is not likely to cause a traffic safety problem. There is no discussion of what the best solution would be.

The author of the TIA may not be aware that 10 on-site car parking spaces are required – they are clearly a requirement of the Code. Nevertheless, Alexandra Road in the vicinity of the proposed development, has a significant area of available on-street parking most of the time. It is considered that the one on-site visitor parking space short could easily be accommodated on Alexandra Road. On this basis, the proposal would satisfy the performance criteria that an adequate and appropriate provision for vehicle parking is provided. An exercise

of discretion on the number of on-site car parking spaces is considered appropriate.

Referral advice -

Advice from the various departments of Council and other service providers was provided as follows:

SERVICE	ADVICE PROVIDED
Environmental Health	No required conditions
Infrastructure Services	Certificate of Compliance provided.
TasWater	Submission to Planning Authority provided
Department of State Growth	No referral required
Environment Protection Authority	No referral required
TasRail	No conditions required
Heritage Tasmania	No referral required
Crown Land Services	No referral required
Other	Not applicable

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- . a site notice was posted;
- . letters to adjoining owners were sent; and
- . an advertisement was placed in the Public Notices section of The Advocate.

Representations -

One representation was received within the prescribed time, a copy of which is provided at Annexure 3.

The representation is summarised and responded to as follows:

MATTERS RAISED	RESPONSE
<p>1 The proposed 3m setback of Unit 3 from the rear boundary would create more over-shadowing of the neighbouring property (6 Walker Street) than a 4m setback. Situation more significant because neighbouring lot is only 12m wide</p>	<p>Obviously shading would be greater the closer the unit is positioned in relation to the rear boundary. The issue of shading is discussed under Issues section of this report.</p>
<p>2 Unit 1 setback from fence-line between units 1 and 3 is greater than setback of Unit 3 to the (rear) boundary setback to their property. Greater significance given to the development than neighbouring property</p>	<p>The point is factually correct. However, the test is whether any consequent overshadowing is reasonable or not.</p> <p>The issue is discussed under the Issues section of this report</p>

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council’s determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The residential use of the property and the four-dwelling format of the development are consistent with the purpose of the General Residential zone and with the use table for the zone. This is reflected in the Permitted status of the use.

There are several matters where an assessment under the Performance Criteria has been required and upon which exercises of discretion are required to

approve the development. These matters are – a lesser front setback for Unit 1; a lesser rear setback for Units 3 and 4; a slightly lesser sized area of private open space for Units 1 and 3; southerly siting of private open space for Unit 4; easterly and westerly orientation of habitable room windows on Unit 4; proximity to a rail line; and the lesser number of on-site car parks.

The assessment shows that some of the discretionary matters are relatively minor while others (including orientation of windows and private open space, and on-site car parking) are more significant. However, all matters satisfy the associated Performance Criteria and on each matter an exercise of discretion in favour of the development is considered reasonable and appropriate.

Recommendation –

That the application for demolition of two houses and their replacement with Residential (multiple dwellings x four) at 22 & 22A Alexandra Road, Ulverstone, be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the application for this Permit, unless modified by a condition of this Permit.
- 2 The development must be in accordance with the conditions of the 'Statement of Compliance for Vehicular Access and Drainage Access' dated 26 April 2017 (copy attached), issued by the Council acting in its capacity as the Road Authority and the Stormwater Authority.
- 3 Units 1 and 2 must incorporate the use of suitable construction measures to mitigate the noise and vibration impacts of trains, such as double glazed windows and sound insulation batts.
- 4 The development must be in accordance with the conditions of the Submission to Planning Authority Notice from TasWater, Reference No. TWDA 2017/00545-CC (copy attached).

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period an extension may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is

defined using the Determinations issued under the *Building Act 2016* by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work.’

The report is supported.”

The Executive Services Officer reports as follows:

“A copy of the Annexures referred to in the Land Use Planning Group Leader’s report having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

■ “That the application for Residential (multiple dwellings x four) at 22 & 22A Alexandra Road, Ulverstone, be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the application for this Permit, unless modified by a condition of this Permit.
- 2 The development must be in accordance with the conditions of the ‘Statement of Compliance for Vehicular Access and Drainage Access’ dated 26 April 2017 (copy attached) (a copy being appended to and forming part of the minutes), issued by the Council acting in its capacity as the Road Authority and the Stormwater Authority.
- 3 Units 1 and 2 must incorporate the use of suitable construction measures to mitigate the noise and vibration impacts of trains, such as double glazed windows and sound insulation batts.
- 4 The development must be in accordance with the conditions of the Submission to Planning Authority Notice from TasWater, Reference No. TWDA 2017/00545-CC (copy attached) (a copy being appended to and forming part of the minutes).

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period an extension may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is defined using the Determinations issued under the *Building Act 2016* by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work.”

9.13 Subdivision (three lots) – discretionary use and development in the Rural Resource zone at 405 Penguin Road & CT35699/1 Penguin Road, West Ulverstone – Application No. DA216107

The Director Community Services reports as follows:

“The Town Planner has prepared the following report:

<i>‘DEVELOPMENT APPLICATION NO.:</i>	DA216107
<i>PROPOSAL:</i>	Subdivision (three lots) – discretionary use and development in the Rural Resource zone
<i>APPLICANT:</i>	PDA Surveyors
<i>LOCATION:</i>	405 Penguin Road & CT35699/1 Penguin Road, West Ulverstone
<i>ZONE:</i>	Rural Resource and Rural Living
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the Scheme)
<i>ADVERTISED:</i>	8 April 2017
<i>REPRESENTATIONS EXPIRY DATE:</i>	26 April 2017
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	17 April 2017 (extension of time until 15 May 2017)
<i>DECISION DUE:</i>	15 May 2017
<i>PURPOSE</i>	

The purpose of this report is to consider an application for the subdivision of land to form two new lots and a balance parcel. The application involves two titles over two different land use zones. The land is identified as 405 Penguin Road and CT35699/1 Penguin Road, West Ulverstone.

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs
- . Annexure 5 – GHD Landslide Risk Assessment.

BACKGROUND

Development description -

The subject application proposes the division of land across two zones, the Rural Resource zone and the Rural Living zone, and encompasses two Certificates of Title, CT103560/1 and CT35699/1.

A two lot subdivision with a parcel of balance land is proposed with both Lot 1 and Lot 2 to be for residential purposes.

The proposed division of land would result in the following allotments:

- . Lot 1, comprising 1.33ha, would be formed by the subdivision of a 37.46ha property zoned Rural Resource, leaving a balance parcel of 35.16ha (described in the application as Lot 3). A new access from Penguin Road (northern approach near the lookout area) would be required to access the new parcel of land. Both the new lot and the balance parcel would be vacant land zoned Rural Resource.
- . Lot 2, comprising 2.18ha, would be formed by consolidating a 6,856m² portion of land that is zoned Rural Resource to an existing 1.497ha parcel of land that is zoned Rural Living. The new Rural Living allotment would accommodate an existing dwelling that is listed by the Tasmanian Heritage Register, and an associated wastewater management system. The Rural Resource portion of the land accommodates the wastewater management system for the dwelling on the adjoining Rural Living allotment. The lot has existing, legal frontage and access to Penguin Road via a right of way on adjoining land. The application is accompanied by a Certificate of Exemption from the Tasmanian Heritage Council, relative to the proposal to expand the boundaries of Lot 2.

Site description and surrounding area -

The two subject parcels of land are described as follows:

- . 405 Penguin Road, West Ulverstone (CT103560/1) comprising 1.497ha is zoned Rural Living. This parcel of land currently accommodates a two-storey historic dwelling known as "Lonah". The dwelling and its grounds are listed on the Tasmanian Heritage Register. "Lonah" was constructed in 1874 and is of rendered brick materials with a slate roof. An 8,478m² adjoining allotment to the south, identified at 399 Penguin Road, is also zoned Rural Living and accommodates a single dwelling

known as “Little Lonah”. No other land in this area is zoned Rural Living. The property is accessed via a 4.57m wide benefiting right of way over adjoining land at 399 Penguin Road, West Ulverstone. The land is subject to medium landslide risk.

Allotments that accommodate residential development on the opposite side of Penguin Road are zoned Environmental Management. Refer to zone map below.



The second parcel subject to this application is vacant rural land identified in Certificate of Title T35699 Folio 1, Penguin Road, West Ulverstone. The land comprises 37.46ha and is zoned Rural Resource. The land does not support a dwelling, but does currently accommodate the wastewater management system for “Lonah” of 405 Penguin Road. The land is subject to medium landslide risk, with a portion of active medium landslide adjoining the property to the north, where several landslides have occurred in the past along Penguin Road.

The Council’s Director Infrastructure Services has advised that land in this general locality is the most active and volatile, mobile area of land within the municipal area.

History -

No history relevant to this application.

DISCUSSION

The following tables are an assessment of the relevant Scheme provisions.

The Rural Resource zone table relates to the proposed Lot 1 on vacant land identified as CT35699/1, Penguin Road, West Ulverstone, 1.33ha "Residential" allotment that is zoned Rural Resource.

The Rural Living zone table relates to Lot 2, 405 Penguin Road, West Ulverstone (CT10356/1). Enlargement of the existing allotment that is zoned Rural Living to encompass an additional 6,856m² of land that is zoned Rural Resource.

The Scheme's Codes are applicable to both zones.

26.0 Rural Resource Zone

CLAUSE	COMMENT
26.1.2 Local Area Objectives	
<p>(a) The priority purpose for rural land is primary industry dependent upon access to a naturally occurring resource;</p> <p>(b) Air, land and water resources are of importance for current and potential primary industry and other permitted use;</p> <p>(c) Air, land and water resources are protected against –</p> <p style="padding-left: 20px;">(i) permanent loss to a use or development that has no need or reason to locate on land containing such a resource; and</p> <p style="padding-left: 20px;">(ii) use or development that has potential to exclude or unduly conflict, constraint, or interfere with the practice of primary industry or any other use dependent on access to a naturally occurring resource;</p> <p>(d) Primary industry is diverse, dynamic, and innovative; and may occur on a range of lot sizes and at different levels of intensity;</p>	<p>Residential subdivision is a Discretionary use of the land in the Rural Resource zone.</p> <p>(a) Proposal does not satisfy the Objective. The proposal would not result in an allotment for a primary industry use of the site, would not be dependent upon access to a naturally occurring resource and would not augment ongoing farm operations.</p> <p>(b) Proposal does not satisfy the Objective. The proposed subdivision for residential purpose is not a Permitted use and is not reliant on air, land or water resources for primary industry production.</p> <p>(c)(i) Proposal does not satisfy the Objective. The proposed subdivision for residential use would result in the permanent loss of a land</p>

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<p>(e) All agricultural land is a valuable resource to be protected for sustainable agricultural production;</p> <p>(f) Rural land may be used and developed for economic, community, and utility activity that cannot reasonably be accommodated on land within a settlement or nature conservation area;</p> <p>(g) Rural land may be used and developed for tourism and recreation use dependent upon a rural location or undertaken in association with primary industry;</p> <p>(h) Residential use and development on rural land is appropriate only if –</p> <p>(i) required by a primary industry or a resource based activity; or</p> <p>(ii) without permanent loss of land significant for primary industry use and without constraint or interference to existing and potential use of land for primary industry purposes.</p>	<p>resource for a purpose that has no need to locate on the land.</p> <p>(c)(ii) Proposal does not satisfy the Objective. The proposed subdivision for residential purpose would unduly conflict, constrain or interfere with the natural resources of air, land or water.</p> <p>(d) Proposal does not satisfy the Objective. Subdivision would not be associated with primary industry.</p> <p>(e) Proposal does not satisfy the Objective. Subdivision would not be associated with agricultural land.</p> <p>(f) Proposal does not satisfy the Objective. Proposed subdivision for residential purpose should occur in other zones, such as Residential, Low Density Residential or Rural Living.</p> <p>(g) Proposal does not satisfy the Objective. Proposed subdivision is not for tourism or recreation use.</p>
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	<p>(h)(i) Proposal does not satisfy the Objective. Proposed subdivision to form a residential allotment (Lot 1) is not required by a primary industry or resourced based activity.</p> <p>(h)(ii) Proposal does not satisfy the Objective. Proposed residential subdivision to form a residential allotment (Lot 1) would result in the permanent loss of land for primary industry purpose.</p>
<p>26.1.3 Desired Future Character Statements</p>	
<p>Use or development on rural land –</p> <p>(a) may create a dynamic, extensively cultivated, highly modified, and relatively sparsely settled working landscape featuring –</p> <ul style="list-style-type: none"> (i) expansive areas for agriculture and forestry; (ii) mining and extraction sites; (iii) utility and transport sites and extended corridors; and (iv) service and support buildings and work areas of substantial size, utilitarian character, and visual 	<p>(a)(i) Proposal is not consistent with the Desired Future Character Statements. The proposed use and development is not associated with agriculture or forestry.</p> <p>(a)(ii) Proposal is not consistent with the Desired Future Character Statements. The proposed subdivision is not associated with mining and extraction.</p> <p>(a)(iii) Proposal is not consistent with the Desired Future Character Statements. The proposed</p>

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<p>prominence that are sited and managed with priority for operational efficiency</p> <p>(b) may be interspersed with –</p> <ul style="list-style-type: none"> (i) small-scale residential settlement nodes; (ii) places of ecological, scientific, cultural, or aesthetic value; and (iii) pockets of remnant native vegetation <p>(c) will seek to minimise disturbance to –</p> <ul style="list-style-type: none"> (i) physical terrain; (ii) natural biodiversity and ecological systems; (iii) scenic attributes; and (iv) rural residential and visitor amenity; <p>(d) may involve sites of varying size –</p> <ul style="list-style-type: none"> (i) in accordance with the type, scale and intensity of primary industry; and 	<p>subdivision is not associated with utility and transportation sites or corridors.</p> <p>(a)(iv) Proposal is not consistent with the Desired Future Character Statements. The proposal would not result in service and/or support buildings for agriculture, forestry, mining, extraction, utility or transport corridors.</p> <p>(b)(i) Proposal is not consistent with the Desired Future Character Statements. Proposed subdivision would not create an additional lot within, or interspersed by, small scale residential settlement nodes.</p> <p>(b)(ii) Proposal is consistent with the Desired Future Character Statements. The adjoining land to the south (“Lonah”) is identified as a place of cultural value.</p> <p>(b)(iii) Proposal is not consistent with the Desired Future Character Statements. The site is primarily cleared for grazing purposes, with pockets of native vegetation.</p>
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<p>(ii) to reduce loss and constraint on use of land important for sustainable commercial production based on naturally occurring resources;</p> <p>(e) is significantly influenced in temporal nature, character, scale, frequency, and intensity by external factors, including changes in technology, production techniques, and in economic, management, and marketing systems.</p>	<p>(c)(i) Proposal is not consistent with the Desired Future Character Statements. The land is identified as the most active mobile landslip area within the municipal area. The proposal would unduly disturb the underlying physical terrain and stability of the site.</p> <p>(c)(ii) Proposal is not consistent with the Desired Future Character Statements. The proposal to create a residential allotment would unduly disturb biodiversity or ecological systems on the site.</p> <p>(c)(iii) Proposal is consistent with the Desired Future Character Statements. The proposed use would not disturb existing scenic attributes of the site.</p> <p>(c)(iv) Proposal is consistent with the Desired Future Character Statements. Proposal would not disturb rural residential or visitor amenity in this area.</p> <p>(d)(i) Proposal is not consistent with the Desired Future Character Statements. The proposed</p>
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	<p>subdivision for residential purpose would not be associated with primary industry.</p> <p>(d)(ii) Proposal is not consistent with the Desired Future Character Statements. Proposal is not sustainable commercial production based on a naturally occurring resource.</p> <p>(e) Proposal is not consistent with the Desired Future Character Statements. The proposed use is not significantly influenced by changes in technology, production techniques or economic management and marketing systems.</p>
<p>26.3 Use Standards</p>	
<p>26.3.1 Requirement for discretionary non-residential use to locate on rural resource land</p>	
<p>26.3.1-(P1) Other than for residential use, discretionary permit use must:</p> <p>(a) be consistent with local area objectives;</p> <p>(b) be consistent with any applicable desired future character statement;</p> <p>(c) be required to locate on rural resource land for operational efficiency;</p>	<p>Not applicable.</p> <p>Proposed use and development is subdivision for a non-required "Residential" purpose.</p>

<ul style="list-style-type: none"> (i) to access a specific naturally occurring resource on the site or on adjacent land in the zone; (ii) to access infrastructure only available on the site or on adjacent land in the zone; (iii) to access a product of primary industry from a use on the site or on adjacent land in the zone; (iv) to service or support a primary industry or other permitted use on the site or on adjacent land in the zone; (v) if required – <ul style="list-style-type: none"> a. to acquire access to a mandatory site area not otherwise available in a zone intended for that purpose; b. for security; c. for public health or safety if all measures to minimise impact could create an unacceptable level of risk to human health, life or property if located on land in a zone intended for that purpose; (vi) to provide opportunity for diversification, innovation, and 	
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<p>value-adding to secure existing or potential primary industry use of the site or of adjacent land;</p> <p>(vii) to provide an essential utility or community service infrastructure for the municipal or regional community or that is of significance for Tasmania; or</p> <p>(viii) if a cost-benefit analysis in economic, environmental, and social terms indicates significant benefits to the region; and</p> <p>(d) minimise likelihood for:</p> <p>(i) permanent loss of land for existing and potential primary industry use;</p> <p>(ii) constraint or interference to existing and potential primary industry use on the site and on adjacent land; and</p> <p>(iii) loss of land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i> or land that may benefit from the application of broad-scale irrigation development.</p>	
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26.3.2 Required Residential Use	
<p>26.3.2-(A1) Residential use required as part of a use must:</p> <ul style="list-style-type: none"> (a) be an alteration or addition to an existing lawful and structurally sound residential building; (b) be an ancillary dwelling to an existing lawful and structurally sound single dwelling; (c) not intensify an existing lawful residential use; (d) replace a lawful existing residential use; (e) not create a new residential use through conversion of an existing building; or (f) be home based business in association with occupation of an existing lawful and structurally sound residential building; and (g) there is no change in the title description of the site on which the residential use is located. 	<p>Not applicable.</p> <p>Proposed use and development is subdivision for a non-required "Residential" purpose.</p>

26.3.3 Residential use	
<p>26.3.3-(A1) Residential use that is not required as part of an other use must:</p> <p>(a) be an alteration or addition to an existing lawful and structurally sound residential building;</p> <p>(b) be an ancillary dwelling to an existing lawful and structurally sound single dwelling;</p> <p>(c) not intensify an existing lawful residential use;</p> <p>(d) not replace an existing residential use;</p> <p>(e) not create a new residential use through conversion of an existing building;</p> <p>(f) be an outbuilding with a floor area of not more than 100m² appurtenant to an existing lawful and structurally sound residential building; or</p> <p>(g) be home based business in association with occupation of an existing lawful and structurally sound residential building; and</p>	<p>(a) Not applicable. Not an alteration or addition to an existing lawful residential building.</p> <p>(b) Not applicable. Not an ancillary dwelling to an existing lawful single dwelling.</p> <p>(c) Not applicable. No existing lawful residential use.</p> <p>(d) Not applicable. No existing residential use on the land.</p> <p>(e) Not applicable. No other buildings on the land.</p> <p>(f) Not applicable. Not an outbuilding.</p> <p>(g) Not applicable. Not a home based business.</p> <p>(h) Non-compliant. Proposed subdivision would result in a change to the title description.</p> <p>See "Issues" section of this report.</p>

<p>(h) there is no change in the title description of the site on which the residential use is located.</p>	
<p>26.4 Development Standards</p>	
<p>26.4.1 Suitability of a site or lot on a plan of subdivision for use or development</p>	
<p>26.4.1-(A1) A site or each lot on a plan of subdivision must:</p> <p>(a) unless for agricultural use, have an area of not less than 1.0 hectare not including any access strip; and</p> <p>(b) if intended for a building, contain a building area</p> <p>(i) of not more than 2,000m² or 20% of the area of the site, whichever is the greater unless a crop protection structure for an agricultural use;</p> <p>(ii) clear of any applicable setback from a frontage, side or rear boundary;</p> <p>(iii) clear of any applicable setback from a zone boundary;</p> <p>(iv) clear of any registered easement;</p> <p>(v) clear of any registered right of way benefiting other land;</p>	<p>(a) Compliant. Land area of Lot 1 would be 1.33ha.</p> <p>(b)(i) Compliant. Proposed building area shown would be 150m².</p> <p>(b)(ii) Compliant. Future residential development would be clear of applicable front, rear and side boundaries.</p> <p>(b)(iii) Non-compliant. Future residential development would be located within the Rural Resource zone. See "Issues" section of this report.</p> <p>(b)(iv) Compliant. Clear of registered easements.</p> <p>(b)(v) Not applicable. No right of way benefiting other land.</p>

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<ul style="list-style-type: none"> (vi) clear of any restriction imposed by a utility; (vii) not including an access strip; (viii) accessible from a frontage or access strip. 	<p>(b)(vi) Not applicable. No restriction imposed by a utility.</p> <p>(b)(vii) Not applicable. No access strip required.</p> <p>(b)(viii) Compliant. Land is accessible from a frontage to Penguin Road.</p>
<p>26.4.1–(A2) A site or each lot on a subdivision plan must have a separate access from a road:</p> <ul style="list-style-type: none"> (a) across a frontage over which no other land has a right of access; and (b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or (c) by a right of way connecting to a road – <ul style="list-style-type: none"> (i) over land not required as the means of access to any other land; and (ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and (d) with a width of frontage and any access strip or right of way of not 	<ul style="list-style-type: none"> (a) Compliant. Lot 1 would have access off Penguin Road. (b) Not applicable. Not an internal lot. (c) Not applicable. No legal access to a right of way connecting to a road. (d) Compliant. Lot 1 would have 180m frontage to Penguin Road. The development should be required to establish a legal access off Penguin Road. (e) Compliant. The development would be required to establish a legal access off Penguin Road in accordance with the <i>Local Government (Highways) Act 1982</i>.

<p>less than 6.0m; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	
<p>26.4.1–(A3) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of connecting to a water supply:</p> <p>(a) provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p> <p>(b) from a rechargeable drinking water system ^{R31} with a storage capacity of not less than 10,000 litres if:</p> <p>(i) there is not a reticulated water supply; and</p> <p>(ii) development is for:</p> <p>a. a single dwelling; or</p>	<p>(a) Not applicable. The land is not able to connect to a reticulated system. A new lot would need to provide an on-site system.</p> <p>(b)(i) Compliant by condition. A Planning Permit should require on-site collection and storage of potable drinking water.</p> <p>(b)(ii) Compliant by condition. A Planning Permit should require on-site collection and storage of potable drinking water.</p>

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<p>b. a use with an equivalent population of not more than 10 people per day.</p>	
<p>26.4.1–(A4) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and liquid trade waste:</p> <p>(a) to a sewerage system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p> <p>(b) by on–site disposal if:</p> <p>(i) sewage or liquid trade waste cannot be drained to a reticulated sewer system; and</p> <p>(ii) the development:</p> <p>a. is for a single dwelling; or</p> <p>b. provides for an equivalent population of not more than 10 people per day; or</p> <p>(iii) the site has capacity for on–site disposal of domestic waste water in accordance with AS/NZS 1547:2000 On–</p>	<p>(a) Not applicable. The land is not able to connect to the reticulated sewerage system.</p> <p>(b)(i) Compliant by condition. A Planning Permit should require compliance with a wastewater management system design by as suitably qualified person.</p> <p>(b)(ii)a. Not applicable. Would need to be satisfied by (b)(iii).</p> <p>(b)(ii)b. Not applicable. Would need to be satisfied by (b)(iii).</p> <p>(b)(iii) Compliant by condition. A Planning Permit would require compliance with a wastewater management system design by a suitably qualified person.</p> <p>Note – The geotechnical report accompanying the application does not adequately address on–</p>

site domestic-wastewater management clear of any defined building area or access strip.	site wastewater requirements for residential development.
<p>26.4.1-(A5) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater:</p> <p>(a) to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>; or</p> <p>(b) if stormwater cannot be drained to a stormwater system:</p> <p>(i) for discharge to a natural drainage line, water body or watercourse; or</p> <p>(ii) for disposal within the site if:</p> <p>a. the site has an area of not less than 5,000m²;</p> <p>b. the disposal area is not within any defined building area;</p> <p>c. the disposal area is not within any area required for the disposal of sewage;</p>	<p>(a) Not applicable. Would need to be satisfied by (b)(i).</p> <p>(b)(i) Compliant by condition. Stormwater drainage would need to be addressed at the time of dwelling development.</p> <p>(b)(ii) Not applicable. Would need to be satisfied by (b)(i).</p> <p>Note – The application does not adequately address on-site stormwater disposal requirements for residential development.</p>

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<p>d. the disposal area is not within any access strip; and</p> <p>e. not more than 50% of the site is impervious surface.</p>	
<p>26.4.2 Location and configuration of development</p>	
<p>26.4.2-(A1) A building or a utility structure, other than a crop protection structure for an agriculture use, must be setback:</p> <p>(a) not less than 20.0m from the frontage; or</p> <p>(b) not less than 50.0m if the development is for sensitive use on land that adjoins the Bass Highway;</p> <p>(c) not less than 10.0m from each side boundary; and</p> <p>(d) not less than 10.0m from the rear boundary; or</p> <p>(e) in accordance with any applicable building area shown on a sealed plan.</p>	<p>(a) Compliant. Proposed building envelope approximately 42m from frontage.</p> <p>(b) Not applicable. Satisfied by (a).</p> <p>(c) Compliant. Proposed building envelope approximately 45m to northern boundary and 21m to southern boundary.</p> <p>(d) Compliant. Proposed building envelope approximately 96m to rear boundary.</p> <p>(e) Not applicable. No building area on a sealed plan proposed.</p>
<p>26.4.2-(A2) Building height must be not more than 8.5m.</p>	<p>Compliant by condition. Any proposed envelope would be restricted to 8.5m in height.</p>

<p>26.4.2 A3.1</p> <p>A building or utility structure, other than a crop protection structure for an agricultural use or wind power turbines or wind power pumps, must –</p> <p>(a) not project above an elevation 15m below the closest ridgeline;</p> <p>(b) be not less than 30m from any shoreline to a marine or aquatic water body, water course, or wetland;</p> <p>(c) be below the canopy level of any adjacent forest or woodland vegetation; and</p> <p>(d) clad and roofed with materials with a light reflectance value of less than 40%.</p> <p>A3.2</p> <p>Wind power turbines and wind power pumps must not exceed 20m in height.</p>	<p>A3.1</p> <p>(a) Compliant. Proposed Lot 1 would be approximately 40m below the closest ridgeline.</p> <p>(b) Compliant. Lot 1 would be approximately 330m from Bass Strait.</p> <p>(c) Compliant. The proposed building envelope on Lot 1 would be below the canopy of adjacent woodland.</p> <p>(d) Not applicable. No building material known at this time.</p> <p>A3.2 Not applicable. Not wind turbine or wind power pumps proposed.</p>
<p>26.4.3 Location of development for sensitive uses</p>	
<p>26.4.3-(A1) New development, except for extensions to existing sensitive use where the extension is no greater than 30% of the existing gross floor area of the sensitive use, must –</p>	<p>(a)(i) Non-compliant. Proposed Lot 1 would be located within land that is zoned Rural Resource and the new boundary would be setback</p>

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<p>(a) be located not less than:</p> <ul style="list-style-type: none"> (i) 200m from any agricultural land; (ii) 200m from aquaculture, or controlled environment agriculture; (iii) 500m from the operational area boundary established by a mining lease issued in accordance with the <i>Mineral Resources Development Act 1995</i> if blasting does not occur; or (iv) 1000m from the operational area boundary established by a mining lease issued in accordance with the <i>Mineral Resources Development Act 1995</i> if blasting does occur; or (v) 500m from intensive animal husbandry; (vi) 100m from land under a reserve management plan; (vii) 100m from land designated for production forestry; (viii) 50.0m from a boundary of the land to the Bass Highway, or to a railway line; and (ix) clear of any restriction imposed by a utility; and 	<p>approximately 95m from other adjoining agricultural land to the west.</p> <p>Refer to “Issues” section of this report.</p> <p>(a)(ii) Not applicable. No aquaculture, or controlled environment agriculture.</p> <p>(a)(iii) Not applicable. No non-blasting extractive industry in surrounding area.</p> <p>(a)(iv) Not applicable. No extractive industry that has capability to blast in the surrounding area.</p> <p>(a)(v) Not applicable. No intensive animal husbandry within 500m.</p> <p>(a)(iv) Non-compliant. Lot 1 would be within 70m of a marine nature reserve.</p> <p>Refer to “Issues” section of this report.</p> <p>(a)(vii) Not applicable. No private timber reserve in this area.</p>
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<p>(b) not be on land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i>, or land that may benefit from the application of broad-scale irrigation development.</p>	<p>(a)(viii) Compliant. Lot 1 would be approximately 2.3kms to Bass Highway and 75m to the Western Rail Line.</p> <p>(a)(ix) Compliant. Land is not located within proclaimed irrigation district.</p>
<p>26.4.4 Subdivision</p>	
<p>26.4.4-(A1) Each new lot on a plan of subdivision must be -</p> <p>(a) a lot required for public use either State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a statutory authority.</p>	<p>Non-compliant.</p> <p>Proposed subdivision would not be for public use either by a State government, a Council, a Statutory authority or a corporation.</p> <p>Refer to “Issues” section of this report.</p>
<p>26.4.5 Buildings for Controlled Environment Agriculture</p>	
<p>26.4.5-(A1)</p> <p>A building for controlled environment agriculture use must be a crop protection structure and the agricultural use inside the building must satisfy one of the following:</p>	<p>Not applicable.</p> <p>No controlled environment agriculture proposed.</p>

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<p>(a) rely on the soil as a growth medium into which plants are directly sown;</p> <p>(b) not alter, disturb or damage the existing soil profile if conducted in a manner which does not rely on the soil as a growth medium.</p>	
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13.0 Rural Living

CLAUSE	COMMENT
13.3 Use Standards	
13.3.1 Discretionary permit use	
<p>13.3.1-(P1) Discretionary permit use must:</p> <p>(a) be consistent with local area objectives;</p> <p>(b) be consistent with any applicable desired future character statement; and</p> <p>(c) minimise likelihood for adverse impact on amenity for residential use on adjacent land in the zone.</p>	<p>Not applicable.</p> <p>Residential is a Permitted use class in the Rural living zone.</p>

13.3.2 Impact of use	
13.3.2-(A1) Permitted non-residential use must adjoin at least one residential use on the same sheet frontage.	Not applicable. Subdivision is for Residential use.
13.3.2-(A2) Permitted non-residential use must not generate more than 40 average daily vehicle movements.	Not applicable. Subdivision is for Residential use.
13.3.2-(A3) Other than for emergency services, residential, and visitor accommodation, hours of operation must be between 6.00am and 9.00pm.	Not applicable. Subdivision is for Residential use.
13.4 Development standards	
13.4.1 Suitability of a site or lot for use or development	
13.4.1-(A1) Each site or each lot on a plan of subdivision must: (a) have an area not less than: (i) 1.0 hectares excluding any access strip; or (ii) if in a locality shown in the Table to this Clause, not less than the site area shown for that locality; and	(a)(i) Compliant. Proposed Lot 2 would have a land area, excluding the access strip of 2.18ha. (a)(ii) Not applicable. Satisfied by (a)(i). (b)(i) Compliant. Lot 2 has an existing building area that is approximately 110m ² .

<p>(b) if intended for a building, contain a building area:</p> <ul style="list-style-type: none"> (i) of not more than 1,000m²; (ii) clear of any applicable setback from a frontage, side or rear boundary; (iii) clear of any applicable setback from a zone boundary; (iv) clear of any registered easement; (v) clear of any registered right of way benefiting other land; (vi) clear of any restriction imposed by a utility; (vii) not including any access strip; (viii) clear of any area required for the on-site disposal of sewage or stormwater; and (ix) accessible from a frontage or access strip. 	<p>(b)(ii) Compliant. Existing building area on Lot 2 is clear of proposed setbacks from front, side and rear boundaries. The proposed subdivision, to create Lot 2, would bring the wastewater management system for the historic dwelling “Lonah” into compliance, as the system is currently located on the adjoining Title.</p> <p>(b)(iii) Non-compliant. Lot 2 adjoins and would encompass 6,865m² of land that is zoned Rural Resource.</p> <p>Refer to the “Issues” section of this report.</p> <p>(b)(iv) Compliant. Clear of easements shown on the title.</p> <p>(b)(v) Compliant. Clear of a right of way that burdens other land.</p> <p>(b)(vi) Not applicable. No restriction imposed by a utility.</p> <p>(b)(vii) Not applicable. No access strip.</p> <p>(b)(viii) Compliant. Development would be clear of wastewater and stormwater disposal sites.</p>
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	(b)(ix) Compliant. Existing access and frontage to Penguin Road.
<p>13.4.1-(A2) A site or each lot on a subdivision plan must have a separate access from a road:</p> <p>(a) across a frontage over which no other land has a right of access; and</p> <p>(b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or</p> <p>(c) by a right of way connecting to a road:</p> <p style="padding-left: 40px;">(i) over land not required as the means of access to any other land; and</p> <p style="padding-left: 40px;">(ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right-of-way of not less than 6.0m; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements</p>	<p>(a) Not applicable. Satisfied by (c)(i) and (ii).</p> <p>(b) Not applicable. Satisfied by (c)(i) and (ii).</p> <p>(c)(i) Compliant. Lot 2 accessed via a 4.57m wide right of way over adjoining land identified as 399 Penguin Road, West Ulverstone.</p> <p>(c)(ii) Compliant. Lot 2 would have minimal properties of a lot without the inclusion of the right of way.</p> <p>(d) Compliant. Lot 2 would have a frontage of approximately 159m to Penguin Road.</p> <p>(e) Compliant. If a Permit was issued, development would need to be in accordance with a Statement of Compliance from the Road Authority.</p>

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<p>can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	
<p>13.4.1–(A3) A site or each lot on a plan of subdivision must be capable of connecting to a water supply:</p> <p>(a) from a connection to a water supply provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p> <p>(b) from a rechargeable drinking water system ^{R6} with a storage capacity of not less than 10,000 litres if:</p> <p>(i) there is not a reticulated water supply; and</p> <p>(ii) development is for:</p> <p>a. a single dwelling; or</p> <p>b. a use with an equivalent population of not more than 10 people per day.</p>	<p>(a) Not applicable. Land is not connected to a reticulated water supply.</p> <p>(b)(i) Compliant. Lot 2 has an existing drinking water supply.</p> <p>(b)(ii) Compliant. Lot 2 has an existing drinking water supply.</p>
<p>13.4.1–(A4) A site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and trade waste:</p> <p>(a) to a reticulated sewer system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p>	<p>(b) Not applicable. The site is not connected to the reticulated sewerage system.</p>

<p>(b) by on-site disposal if:</p> <p>(i) sewage or trade waste cannot be drained to a reticulated sewer system; and</p> <p>(ii) the development:</p> <p>c. is for a single dwelling; or</p> <p>d. provides for an equivalent population of not more than 10 people per day; or</p> <p>c. creates a total sewage and waste water flow of not more than 1,000 litres per day; and</p> <p>(iii) the site has capacity for on-site disposal of domestic waste water in accordance with AS/NZS1547:2012 On-site domestic-wastewater management clear of any defined building area or access strip.</p>	<p>(b)(i) Non-compliant. Sewerage waste is drained to an existing wastewater system that is located onto an adjoining parcel of land.</p> <p>Note – This has been the case for many years. There is no record of the existing system being established, however it is assumed it may have been constructed in the 1950’s or 1960’s.</p> <p>Refer to “Issues” section of this report.</p> <p>(b)(ii)a.Compliant. Development is for a single dwelling.</p> <p>(b)(ii)b.Not applicable. Satisfied by (b)(iii).</p> <p>(b)(ii)c.Not applicable. Satisfied by (b)(iii).</p> <p>(b)(iii) Non-compliant. Lot 2 has an existing wastewater management system. However, the system is located off-site, on adjoining land.</p> <p>Note – The current capability and function of the system is not clear and is not addressed in this application.</p> <p>Refer to “Issues” section of this report.</p>
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<p>13.4.1–(A5) A site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater:</p> <p>(a) for discharge to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>; or</p> <p>(b) if stormwater cannot be drained to a stormwater system:</p> <p>(i) for discharge to a natural drainage line, water body, or watercourse; or</p> <p>(ii) for disposal within the site if:</p> <p>a. the site has an area of not less than 5,000m²;</p> <p>b. the disposal area is not within any defined building area;</p> <p>c. the disposal area is not within any area required for the disposal of sewage;</p> <p>d. the disposal area is not within any access strip; and</p> <p>e. not more than 50% of the site is impervious surface; and</p>	<p>(a) Not applicable. Satisfied by (b)(ii)a.</p> <p>(b)(i) Compliant. Land has existing on-site stormwater drainage that most likely empties into Penguin Road culvert.</p> <p>(b)(ii)a. Compliant. Lot 2 would have a land area of 2.18ha.</p> <p>(b)(ii)b. Compliant. Disposal would be clear of existing building area.</p> <p>(b)(ii)c. Compliant. Disposal area is not within an area required for disposal of sewage.</p> <p>(b)(ii)d. Compliant. Disposal area is not within an access strip.</p> <p>(b)(ii)e. Compliant. Not more than 50% of the site would be of an impervious surface.</p> <p>(b)(iii) Compliant. Development on site is a single dwelling.</p>
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(iii) the development is for a single dwelling.	
13.4.2 Dwelling density	
<p>13.4.2-(A1) The site area per dwelling must:</p> <p>(a) be not less than 1.0 hectare; or</p> <p>(b) if the site is in a locality shown in the Table to this clause, the site area for that locality.</p>	<p>(a) Compliant. Lot 2 would have a land area of 2.18ha.</p> <p>(b) Not applicable. Satisfied by (a).</p>
13.4.3 Location and configuration of development	
<p>13.4.3-(A1) A building, utility structure, garage or carport must be set back from a frontage –</p> <p>(a) not less than 20.0m;</p> <p>(b) not less than or not more than the setbacks for any existing building on each of the immediate adjoining sites;</p> <p>(c) not less than for any building retained on the site;</p> <p>(d) in accordance with any building area shown on a sealed plan of subdivision; or</p>	<p>(a) Compliant. Existing dwelling would be setback approximately 80m from the frontage to Penguin Road.</p> <p>(b) Not applicable. Satisfied by (a).</p> <p>(c) Not applicable. Satisfied by (a).</p> <p>(d) Not applicable. Satisfied by (a).</p> <p>(e) Not applicable. Site does not abut the Bass Highway.</p>

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<p>(e) if the site abuts a road shown in the Table to this Clause, the setback specified for that road; or</p> <p>(f) if the site is in a locality shown in the Table to this Clause, the setback for that locality.</p>	<p>(f) Not applicable. Site not in a locality shown in the Table to this Clause.</p>
<p>13.4.3-(A2) All buildings must be contained within a building envelope determined by:</p> <p>(a) the applicable frontage setback;</p> <p>(b) a setback of not less than 10.0m from each side boundary;</p> <p>(c) a setback of not less than 10.0m from the rear boundary;</p> <p>(d) a setback of not less than 20.0m from any designated building area on each adjacent site; or</p> <p>(e) if the site is in a locality shown in the Table to this Clause, the setback for that locality; or</p> <p>(f) any building area shown on a sealed plan; and</p> <p>(g) building height of not more than 8.5m.</p>	<p>(a) Compliant. Proposed dwelling would be setback 80m from the Penguin Road frontage.</p> <p>(b) Compliant. Existing dwelling is setback approximately 12m from the southern side boundary and 75m from the northern side boundary.</p> <p>(c) Compliant. Existing dwelling would be setback 95m from the rear boundary.</p> <p>(d) Compliant. Existing development is clear of building areas on adjacent lot ("Little Lonah").</p> <p>(e) Not applicable. Site is not in a locality shown in the Table to this Clause.</p> <p>(f) Not applicable. No building area shown on a sealed plan.</p>

	(g) Compliant. Existing building is on site.
<p>13.4.3-(A3) Site coverage must:</p> <p>(a) be not more than 500m²; and</p> <p>(b) not include any part of a site required for the disposal and drainage of sewage or stormwater; or</p> <p>(c) be not more than any building area shown on a sealed plan.</p>	<p>(a) Compliant. Site coverage existing and approximately 420m².</p> <p>(b) Compliant. The creation of Lot 2 would bring the wastewater system into compliance as it is currently located on adjoining land. Stormwater tank overflow currently drains on site and most likely to Penguin Road culvert.</p> <p>(c) Not applicable. Satisfied by (b).</p>
<p>13.4.3-(A4)</p> <p>(a) A utility structure must be a power pole, antenna or a single domestic-scale turbine to a maximum of 10m in height which is:</p> <p>(i) not part of a wind farm;</p> <p>(ii) not sited on a skyline; and</p> <p>(iii) if a wind turbine, not located within 60m of a dwelling in other ownership nor within 30m of a public road.</p>	<p>(a)(i) Not applicable. Not a utility structure.</p> <p>(a)(ii) Not applicable. Not a utility structure.</p> <p>(a)(iii) Not applicable. Not a utility structure.</p> <p>(b)(i) Compliant. Existing dwelling is located approximately 40m below adjoining ridgeline.</p> <p>(b)(ii) Compliant. Existing development is located approximately 329m from Bass Strait.</p> <p>(b)(iii) Not applicable. No new building works proposed.</p>

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<p>(b) A building, except a utility structure must be -</p> <ul style="list-style-type: none"> (i) located not less than 15m below the level of any adjoining ridgeline; and (ii) not less than 30m from any shoreline to a marine or aquatic water body, water course, or wetland. (iii) Clad and roofed with materials with a light reflectance value of less than 40%. 	
<p>13.4.3-(A5) Area for the display, handling of good, storage or waste must not be located in front of the building line.</p>	<p>Not applicable. No new building works proposed.</p>
<p>13.4.4 Acoustic and visual privacy for residential development</p>	
<p>13.4.4-(A1) A door or window to a habitable room or any part of a balcony, deck, roof garden, parking space or carport of a building must:</p> <ul style="list-style-type: none"> (a) be not less than 10.0m from a side boundary and 10.0m from a rear boundary to adjoining land in any zone for residential purposes; or 	<ul style="list-style-type: none"> (a) Compliant. Doors and windows to habitable rooms would not be less than 12m from proposed rear and side boundaries. (b) Not applicable. Satisfied by (a).

<p>(b) be not less than 10.0m from a door or window to a habitable room or any part of a balcony, deck, or roof garden in an adjacent dwelling.</p>	
<p>13.4.4-(A2) An access strip or shared driveway, including any pedestrian pathway and parking area, must be separated by a distance of not less than 5.0m horizontally from the door or window to a dwelling or any balcony, deck, or roof garden in a dwelling.</p>	<p>Compliant. Existing development clear of right of way.</p>
<p>13.4.5 Private open space for multiple dwelling residential use</p>	
<p>13.4.5-(A1) Each dwelling in a multiple dwelling must have external private open space that:</p> <p>(a) is accessible from the dwelling;</p> <p>(b) comprises an area of not less than 50.0m²;</p> <p>(c) has a minimum dimension of 5.0m; and</p> <p>(d) has a gradient of not more than 1 in 10.</p>	<p>Not applicable. No multiple dwelling development proposed.</p>
<p>13.4.5-(A2) The required minimum private open space area must be capable of receiving at least three hours of sunlight between 9.00am and 3.00pm on 21 June.</p>	<p>Not applicable. No multiple dwelling development proposed.</p>

13.4.6 Setback of development for sensitive use	
<p>13.4.6-(A1) A building containing a sensitive use must be contained within a building envelope determined by:</p> <p>(a) the setback distance from the zone boundary as shown on the Table to this clause; and</p> <p>(b) projecting upward and away from the zone boundary at an angle of 45 degrees above the horizontal from a wall height of 3.0m at the setback distance from the zone boundary.</p>	<p>(a) Compliant. Lot 2 would adjoin a Rural Resource zone. Existing dwelling would be setback 95m from the Rural Resource zone to the west and approximately 70m to the Rural Resource zone to the north.</p> <p>(b) Compliant. Site adjoins a Rural Resource zone allotment to the east. Development would project upward and away from the zone boundary at setback distances of 95m to the west and 70m to the north.</p>
<p>13.4.6-(A2) Development for a sensitive use must be not less than 50.0m from:</p> <p>(a) a major road identified in the Table to this clause;</p> <p>(b) a railway;</p> <p>(c) land designated in the planning scheme for future road or rail purposes; or</p> <p>(d) a proclaimed wharf area.</p>	<p>(a) Compliant. Dwelling is approximately 2.3km from the Bass Highway.</p> <p>(b) Compliant. Dwelling is over 118m from the Western Rail Line.</p> <p>(c) Not applicable. There is no land designated in the Scheme for future road or rail purposes.</p> <p>(d) Compliant. Closest proclaimed wharf area is in Burnie approximately 20km to the west.</p>

13.4.7 Subdivision	
<p>13.4.7-(A1) Each new lot on a plan of subdivision must be -</p> <p>(a) intended for residential use;</p> <p>(b) a lot required for public use by the State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a statutory authority.</p>	<p>(a) Compliant. Lot 2 would be for residential purpose in the Rural Living zone.</p> <p>(b) Not applicable.</p>
<p>13.4.7-(A2) A lot, other than a lot to which A1(b) applies, must not be an internal lot.</p>	<p>Compliant. Lot 2 is not an internal lot.</p>
13.4.8 Reticulation of an electricity supply to new lots on a plan of subdivision	
<p>13.4.8-(A1) Electricity reticulation and site connections must be installed underground.</p>	<p>Not applicable.</p> <p>Electrical connections are existing.</p>
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E1 Bushfire-Prone Areas Code	
<p>E1.2 Application of this Code</p>	<p>Applies to both zones as application is for subdivision.</p>

E1.4 Use or development exempt from this Code	
E1.5 Use Standards	
E1.5.1 Vulnerable Uses	
E1.5.1.1 Standards for vulnerable uses	
<p>E1.5.1.1-(P1) Where a vulnerable use is proposed to be located in a bushfire-prone area it must be demonstrated that:</p> <p>(a) there is an overriding benefit to the community;</p> <p>(b) there is no suitable alternative lower-risk site; and</p> <p>(c) the bushfire risk can be managed to an acceptable level having regard to any advice from the TFS.</p>	<p>Not applicable.</p> <p>Residential use not classified as a vulnerable use.</p>
<p>E1.5.1.1 A2.1 A bushfire hazard management plan that contains appropriate bushfire protection measures that:</p> <p>(a) addresses the characteristics, nature and scale of the vulnerable use;</p> <p>(b) addresses the characteristics of its occupants of the vulnerable use</p>	<p>Not applicable.</p> <p>Residential use not classified as a vulnerable use.</p>

<p>(c) addresses the nature and extent of the surrounding bushfire-prone vegetation; and</p> <p>(d) is certified by the TFS or an accredited person.</p>	
<p>E1.5.1.1 A2.2 An emergency plan which:</p> <p>(a) is consistent with TFS Bushfire Emergency Planning Guidelines;</p> <p>(b) complies with AS 3745–2010 Planning for emergencies in facilities;</p> <p>(c) if applicable, complies with AS 4083–2010 Planning for emergencies – Health care facilities; and</p> <p>(d) is approved by the TFS.</p>	<p>Not applicable.</p> <p>Residential use not classified as a vulnerable use.</p>
<p>E1.5.2 Hazardous uses</p>	
<p>E1.5.2.1 Standards for hazardous uses</p>	
<p>E1.5.1.2–(P1) Where a hazardous use is proposed to be located in a bushfire-prone area it must be demonstrated that:</p> <p>(a) there is an overriding benefit to the community;</p> <p>(b) there is no suitable alternative lower-risk site; and</p>	<p>Not applicable.</p> <p>Not a hazardous use.</p>

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<p>(c) the bushfire risk can be managed to an acceptable level having regard to any advice from the TFS.</p>	
<p>E1.5.1.2 A2.1 A bushfire hazard management plan that contains appropriate bushfire protection measures that:</p> <p>(a) addresses the characteristic, nature and scale of the hazardous use;</p> <p>(b) addresses the nature and extent of the surrounding bushfire-prone vegetation;</p> <p>(c) that takes into consideration;</p> <p style="padding-left: 20px;">(i) exposure to hazardous chemicals;</p> <p style="padding-left: 20px;">(ii) ignition potential from the site; and</p> <p style="padding-left: 20px;">(iii) flammable material contributing to the intensification of a fire; and</p> <p>(d) is certified by the TFS or an accredited person.</p>	<p>Not applicable.</p> <p>Not a hazardous use.</p>
<p>E1.5.1.2 A2.2 An emergency plan which:</p> <p>(a) is consistent with TFS Bushfire Emergency Planning Guidelines;</p>	<p>Not applicable.</p>

<p>and</p> <p>(b) complies with AS 3745–2010 Planning for emergencies in facilities; and</p> <p>(c) if applicable, complies with AS 4083–2010 Planning for emergencies – Health care facilities; and</p> <p>(d) is approved by TFS.</p>	<p>Not a hazardous use.</p>
<p>E1.6 Development Standards</p>	
<p>E1.6.1 Development standards for subdivision</p>	
<p>E1.6.1.1 Subdivision: Provision of hazard management areas</p>	
<p>E1.6.1.1–(A1)</p> <p>(a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or</p> <p>(b) The proposed plan of subdivision:</p> <p>(i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivisions;</p>	<p>(a) Not applicable. Satisfied by (b).</p> <p>(b)(i) Compliant. Both lots are shown on plan of subdivision.</p> <p>(b)(ii) Compliant. Both lots show existing and proposed building areas.</p> <p>(b)(iii) Compliant. Hazard management area shown on bushfire management plan.</p>

<p>(ii) shows the building area for each lot;</p> <p>(iii) shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of AS 3959 – 2009 Construction of Buildings in Bushfire Prone Areas; and</p> <p>(iv) is accompanied by a bushfire hazard management plan for each individual lot, certified by the TFS or accredited person, showing hazard management areas greater than the separation distances required for BAL 19 in Table 2.4.4 of AS 3959 – 2009 Construction of Buildings in Bushfire Prone Areas; and</p> <p>(v) applications for subdivision requiring hazard management areas to be located on land that is external to the proposed subdivision must be accompanied by the written consent of the owner of that land to enter into a Part 5 agreement that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the bushfire hazard management plan.</p>	<p>(b)(iv) Compliant. Application is accompanied by a Bushfire Hazard Management Plan by Bruce Harpley of Environmental Service and Design, Accreditation No. BFP-140, dated 21 November 2016.</p> <p>(b)(v) Not applicable. No hazard management required on adjoining land.</p>
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E1.6.1.2 Subdivision: Public and fire fighting access	
<p>E1.6.1.2-(A1)</p> <p>(a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of fire fighting; or</p> <p>(b) A proposed plan of subdivision showing the layout of roads and fire trails, and the location of property access to building areas, and which complies to the extent necessary with Tables E3, E4 & E5, is included in a bushfire hazard management plan certified by the TFS or accredited person.</p>	<p>(a) Not applicable. Satisfied by (b).</p> <p>(b) Compliant. Meets Tables E3, E4 and E5. Refer to Bushfire Hazard Management Plan by Bruce Harpley of Environmental Service and Design, Accreditation No. BFP-140, dated 21 November 2016.</p>
E1.6.1.3 Subdivision: Provision of water supply for fire fighting purposes	
<p>E1.6.1.3-(A1) In areas serviced with reticulated water by the water corporation:</p> <p>(a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes; or</p> <p>(b) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water</p>	<p>Not applicable.</p> <p>Area is not serviced with a reticulated water supply.</p>

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<p>supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire; or</p> <p>(c) A proposed plan of subdivision showing the layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or accredited person as being compliant with Table E6.</p>	
<p>E1.6.1.3-(A2) In areas that are not serviced by reticulated water by the water corporation:</p> <p>(a) The TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant provision of a water supply for fire fighting purposes; or</p> <p>(b) A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire; or</p> <p>(c) The TFS or an accredited person certifies that a proposed plan of subdivision demonstrates that a static water supply, dedicated to fire fighting, will be provided and located compliant with Table E7.</p>	<p>(a) Not applicable. Satisfied by (b).</p> <p>(b) Compliant. Refer to Bushfire Hazard Management Plan by Bruce Harpley of Environmental Service and Design, Accreditation No. BFP-140, dated 21 November 2016.</p> <p>(c) Not applicable. Satisfied by (b).</p>

E2 Airport Impact Management Code	Not applicable. No Airport Impact Management Code in the Scheme.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing or conversion of vegetation proposed.
E4 Change in Ground Level Code	Not applicable. No change in ground level greater than 1m.
E5 Local Heritage Code	Not applicable. No Heritage listings in this Scheme.
E6 Hazard Management Code	
E6.2 Application of the Code	Applicable. Site identified as subject to medium landslide risk adjoining an active medium landslide risk.
E6.4 Use or Development Exempt from this Code	Not exempt. Site identified as subject to medium landslide risk adjoining an active medium landslide risk.

E6.5 Use Standards	
E6.5.1 Use on potentially contaminated land	
<p>E6.5.1-(A1) Use must not occur on land potentially contaminated by a previous use for an activity listed in Table E6.1 unless:</p> <p>(a) soil disturbance and development is carried out in accordance with requirements in a hazard risk assessment for contamination;</p> <p>(b) a hazard risk assessment for potential contamination establishes the site can be remediated to provide a tolerable level of risk for the use; or</p> <p>(c) a hazard risk assessment establishes the site has been remediated to provide a tolerable level of risk.</p>	<p>Not applicable.</p> <p>Not identified as a contaminated site.</p>
E6.5.2 Use likely to be exposed to a natural hazard	
<p>E6.5.2-(A1) If a use is on land within an area of risk from exposure to a natural hazard as shown on a map forming part of this planning scheme:</p> <p>(a) use must not be for a critical use, a hazardous use, or a vulnerable use;</p>	<p>(a) Not applicable. Not a critical, hazardous or vulnerable use.</p>

<p>(b) use must not be residential use if the level of risk is medium or higher; and</p> <p>(c) a hazard risk assessment must demonstrate a tolerable level of risk can be achieved and maintained for the nature and duration of the use.</p>	<p>(b) Non-compliant. Development is residential use in an area where the level of risk is medium, adjoining active medium.</p> <p>Refer to the “Issues” section of this report.</p> <p>(c) Non-compliant. The application is accompanied by a Landslide Risk Assessment report dated 2 February 2017. The report examines geomorphology mapping, landslide mapping, the result of three test drills, the proposed development, landslide risk assessment and site limitations. The report also makes general comment relative to future on-site waste disposal for the proposed Lot 1.</p> <p>The report concludes that the level of risk to residential use on the site is low-medium.</p> <p>The report does not address the various landslide issues in accordance with AGS20087 guidelines and does not provide the necessary evidence to undertake analysis and make conclusions. There is no assessment of Lot 1’s ability to support residential development and any associated wastewater management</p>
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	<p>system, relying instead on any future application to determine the suitability of the land in this regard. There is also no requirement for a restrictive building envelope on the site, which is inconsistent with common practice involving other less mobile land areas in the municipal area that have, by necessity, restrictive building envelopes for future development of the land applied to Certificates of Title. In general, the report is considered to be deficient.</p>
<p>E6.6 Development Standards</p>	
<p>E6.6.1 Development on potentially contaminated land</p>	
<p>E6.6.1–(A1) Development must not occur on land potentially contaminated by a previous use for an activity listed in the Table E6.1 to this clause unless:</p> <p>(a) soil disturbance and development is carried out in accordance with the requirements of a hazard risk assessment for contamination;</p> <p>(b) a hazard risk assessment establishes the site can be remediated to provide a tolerable level of risk from the development; or</p>	<p>Not applicable.</p> <p>Not identified as a contaminated site.</p>

<p>(c) a hazard risk assessment establishes the site has been remediated to provide a tolerable level of risk from the development; and</p> <p>(d) if a hazard risk assessment establishes need to involve land on another title to manage risk consistent with the objective, the consent in writing of the owner of that land must be provided to enter into a Part 5 agreement to be registered on the title of the land and providing for the affected land to be managed in accordance with recommendations for contamination management.</p>	
<p>E6.6.2 Development on land exposed to a natural hazard</p>	
<p>E6.6.2-(A1) If the site is within an area of risk shown on a natural hazard map forming part of this planning scheme:</p> <p>(a) a hazard risk assessment must determine:</p> <p>(i) there is an insufficient increase in risk to warrant any specific hazard reduction or protection measure; or</p> <p>(ii) a tolerable level of risk can be achieved for the type, form, scale and duration of the development; and</p> <p>(b) if a hazard risk assessment established need to involve land on</p>	<p>Development is residential use in an area where the level of risk is medium, adjoining active medium.</p> <p>(a)(i) Not applicable. Satisfied by (a)(ii).</p> <p>(a)(ii) Compliant. The application is accompanied by a Landslide Risk Assessment dated 1 February 2017. The report examines geomorphology mapping, landslide mapping, the result of three test drills, the proposed development, landslide risk assessment and site limitations.</p>

<p>another title for hazard management consistent with the objective, the consent in writing of the owner of that land must be provided to enter into a Part 5 agreement to be registered on the title of the land and providing for the affected land to be managed in accordance with recommendations for hazard management.</p>	<p>The report also makes comment relative to on-site waste disposal for the proposed Lot 1.</p> <p>The report concludes that the level of risk to residential use on the site is low-medium.</p> <p>Note – The report does not address the landslide issues in accordance with AGS20087 guidelines and does not provide the necessary evidence to undertake analysis and make conclusions. There is no assessment of Lot 1's ability to support residential development and any associated wastewater management system, relying instead on any future application to determine the suitability of the land in this regard. There is also no requirement for a restrictive building envelope on site, which is surprising as other less mobile land areas in the municipal area have, by necessity, restrictive building envelopes for future development of the land applied to Certificates of Title. In general, the report is considered to be deficient.</p> <p>(b) Not applicable. No hazard management works required on another title.</p>
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E7 Sign Code	Not applicable. No signage proposed.
E8 Telecommunication Code	Not applicable. No telecommunication facilities proposed.
E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	Applicable. Applies to all use and development.
E9.4 Use or development exempt from this Code	Not exempt. No Local Area Parking Scheme.
E9.5 Use Standards	
E9.5.1 Provision for parking	
E9.5.1-(A1) Provision for parking must be: (a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;	(a) Compliant. The Scheme requires that two car parking spaces per dwelling be made available. The existing dwelling on Lot 2 makes provision for two car parking spaces. Lot 1 would have ample areas for on-site car parking.
E9.5.2 Provision for loading and unloading of vehicles	
E9.5.2-(A1) There must be provision within a site for: (a) on-site loading area in accordance with the requirement in the	(a) Compliant. On-site loading not required in the Rural Living zone and Rural Resource zone is to

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<p>Table to this Code; and</p> <p>(b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.</p>	<p>make provision for the number of workers on-site.</p> <p>(b) Not applicable. Passenger pick-up and set-down facilities not required for Residential use.</p>
<p>E9.6 Development Standards</p>	
<p>E9.6.2 Design of vehicle parking and loading areas</p>	
<p>E9.6.2 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and</p>	<p>Not applicable.</p> <p>The proposal is for subdivision only.</p>
<p>E9.6.2 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –</p> <p>(a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking;</p> <p>(b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles;</p> <p>(c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities –</p>	<p>Not applicable.</p> <p>The proposal is for subdivision only.</p>

<p>Bicycle Parking Facilities;</p> <p>(d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities;</p> <p>(e) Each parking space must be separately accessed from the internal circulation aisle within the site;</p> <p>(f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and</p> <p>(g) Be formed and constructed with compacted sub-base and an all-weather surface.</p>	
<p>E9.6.2–(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.</p>	<p>Compliant.</p> <p>Condition to be applied to any Permit issued.</p>
<p>E10 Water and Waterways Code</p>	<p>Not applicable.</p> <p>The site is approximately 320m from Bass Strait.</p>

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Specific Area Plans	Not applicable. No Specific Area Plans apply to this location.
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*Issues –**1 Local Area Objectives and Desired Future Character Statements –*

The purpose of the Rural Resource zone is to provide for the sustainable use and development of resources for agriculture, aquaculture, forestry, mining and other primary industries, including opportunity for resource production. The Rural Resource zone's Local Area Objectives and Desired Future Character Statements together seek to promote use and development that is for primary industry purpose. The Local Area Objectives for the Rural Resource zone reference the requirement of use and development to be reliant upon, be associated with, or have an intention to use a naturally occurring resource (air, land and/or water) that is located on the subject site or adjoining land. The zone may provide for other use and development that does not constrain or conflict with resource development uses.

The Objectives seek to protect all agricultural land for sustainable agricultural production and collectively demonstrate that the primary intent of use and development in the Rural Resource zone is to minimise the loss of land for primary industry. Most particularly, to minimise the loss of prime agricultural land, and to provide for uses that do not constrain, fetter or conflict with current or future resource development uses.

The subject proposal would result in the creation of Lot 1, a 1.33ha allotment that would be expressly for future residential development. Such a subdivision is not for a use that is associated with primary industry. The land is zoned Rural Resource and there is no strategic land use policy or rezoning proposal before the Council to provide for the subdivision of land zoned Rural Resource for residential purpose. As such, the proposal to create Lot 1 is considered to be inappropriate, and without strategic or statutory basis or merit.

The proposed use of the land is not able to satisfy the Local Area Objectives. Further, the proposal does not satisfy the majority of the relevant Desired Future Character Statements, primarily because the proposal would result in non-required residential use and development on vacant Rural Resource land.

2 *Development within an area of active medium landslide –*

The subject land is identified as medium landslide and adjoins an area of active medium landslide. The Director Infrastructure Services has advised that the subject and adjoining land is the most volatile, active area of landslide in the municipal area.

The application included a Landslide Risk Assessment report dated 8 December 2016. The report examined geomorphology mapping, landslide mapping, the result of three test drills, the proposed development, landslide risk assessment and site limitations. The report also made general comment relative to future on-site waste disposal for the proposed Lot 1.

The report was considered inadequate on various matters and concerns were held about its efficacy for the purposes of deciding the future use of the land. An amended report was requested by the Council.

A second report was submitted on the 2 February 2017 which purported to answer the Council's concerns. Assessment of the revised report revealed remaining concerns. The revised report did not address the various landslide issues in accordance with AGS20087 guidelines and did not provide the necessary evidence to undertake analysis and make conclusions. There was no assessment of Lot 1's ability to support residential development and any associated wastewater management system, relying instead on a future application to determine the suitability of the land in this regard. There was also no requirement for a restrictive building envelope on the site, which is inconsistent with common practice involving other less mobile land areas in the municipal area that have, by necessity, restrictive building envelopes for future development of the land applied to Certificates of Title.

In order to test the concerns and the Council's response, the reports were referred to Andrew Leventhal, a geotechnical engineer with GHD, for the purposes of a peer review.

Mr Leventhal's advice was:

- (a) The applicant's geotechnical assessment was inadequate in that it did not follow recognised guidelines, there was no demonstration of slope forming processes, no inferred sub-

surface geotechnical model has been provided and publicly available Lidar information has not been used.

- (b) Acceptable Solutions of E6.6.2 are not appropriately satisfied.
- (c) A more thorough approach is required in accordance with figures provided in his report.
- (d) The report's conclusions are not sound since a basis of sound conclusions has not been provided.
- (e) It would not be appropriate for the Council to approve the application on the basis of the applicant's geotechnical report

Mr Leventhal's advice in summary is that the applicant's geotechnical report is deficient and should not be regarded as an adequate document on which to base an approval of the application.

3 *Subdivision for the propose of creating non-required residential use and development on Rural Resource land –*

The proposed development does not meet the Scheme's standards of Clause 26.3.3–(A1) for a non-required Residential use to locate on Rural Resource land. It is mandatory that the proposal satisfies the Scheme's Performance Criteria.

Performance Criteria 26.3.3–(P1) states the following:

“Residential use that is not required as part of other use must–

- (a) be consistent with local area objectives;
- (b) be consistent with any applicable desired future character statement;
- (c) be on a site within which the existing or proposed development area –
 - (i) is not capable by reason of one or more of factors of topography, resource capability, size or shape of being utilised for resource development or extractive industry use; and

- (ii) is not capable of utilisation in the operations of a resource development or extract industry use; and
 - (iii) does not constrain or interfere with existing or potential resource development or extractive industry use of land including the balance area on the site.
- (d) not be likely to impose an immediate demand or contribute to a cumulative requirement for public provision for improvement in reticulated or alternate arrangements for utilities, road access, or community service.”

The proposal is not able to satisfy the Performance Criteria. The proposal, to subdivide for non-required residential purpose, does not need to be located on Rural Resource land so as to access a naturally occurring resource on the subject site, or to access infrastructure only available on the subject site or adjacent land. There is no functional basis on which the Council should rely to approve the proposal.

It is considered the proposal fails on the need to be reliant upon a primary industry resource and would reduce the holdings of an existing rural property. The proposal would set a precedent of allowing residential allotments to be created in zones that are not intended for residential propose.

4 *Subdivision to create an allotment that would support a sensitive use in the Rural Resource zone –*

Residential development is defined as a sensitive use under the Scheme. The Scheme’s Acceptable Solution 26.4.1 requires that a sensitive use be setback a minimum of 200m from agricultural land. This is to minimise the proximity of a sensitive use to agricultural activities. Close proximity, less than 200m, may result in conflict, interference or fettering of primary industry activity on adjoining agricultural land. The proposal to create a new residential allotment within the Rural Resource zone would result in a future dwelling that would be located within land that is actually zoned Rural Resource. Further, the new boundary to Lot 1 would result in a sensitive use approximately 95m from other adjoining agricultural land to the west, well short of the Scheme’s requirement for a 200m setback of a sensitive use to rural activity.

The Scheme's Performance Criteria 26.4.3-(P1) requires that the new sensitive use must minimise all of the following:

- (a) permanent loss of land for existing and potential primary industry use;
- (b) likely constraint or interference to existing and potential primary industry use on the site and on adjacent land;
- (c) permanent loss of land within a proclaimed irrigation district under Part 9 of the Water Management Act 1999 or land that may benefit from the application of broad-scale irrigation development ; and
- (d) adverse effect on the operations and safety of a major road, a railway or a utility.

It is considered the proposal, to create a 1.33ha allotment and locate a dwelling within the Rural Resource zone, does not meet the Scheme's Performance Criteria and would result in a likely constraint, interference or/and fettering of primary industry activity on adjacent land.

5 *The creation of Lot 2 across a Rural Living zone and Rural Resource zone -*

The proposed Lot 2, comprising 2.18ha, would be formed by consolidating a 6,856m² portion of land that is zoned Rural Resource to an existing 1.497ha parcel of land that is zoned Rural Living. The Rural Resource portion of the land accommodates the wastewater management system for the dwelling on the adjoining Rural Living allotment.

The proposal would appear to be a fair and reasonable development, consolidating a wastewater system into same parcel as an existing dwelling. However, the Council must either approve or refuse the whole of an application, to create Lot 1 and Lot 2, and cannot pick and choose satisfactory elements of an application. Further, it is not best practice to approve a subdivision that is over two different zones.

It would be reasonable to advise the applicant that an application for subdivision to address the wastewater matters would be viewed more sympathetically, accompanied by an application to rezone that portion of the land that is Rural Resource to Rural Living. Such an application

would need to be supported by an examination of the efficiency and effectiveness of the wastewater management system which was most likely constructed in the 1950's or 1960's.

Referral advice -

Referral advice from the various Departments of the Council and other service providers is as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	No condition.
Infrastructure Services	A Statement of Compliance has been issued from the Road Authority.
TasWater	Not applicable.
Department of State Growth	Not applicable.
Environment Protection Authority	Not applicable.
TasRail	Not applicable.
Heritage Tasmania	Not applicable.
Crown Land Services	Not applicable.
Other	Not applicable.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- a site notice was posted;
- letters to adjoining owners were sent; and
- an advertisement was placed in the Public Notices section of The Advocate.

Representations -

One representation was received within the prescribed time, a copy of which

is provided at Annexure 3.

The representation is summarised and responded to as follows:

MATTER RAISED	RESPONSE
<p>1 The proposed subdivision will allow the existing rural property to have two houses, both on titles significantly smaller than that previously allowed in the rural area.</p> <p>If the proposal is approved, then all rural land owners should be advised that criteria for dwellings on farms has changed, as a precedent would have been set.</p>	<p>This is a valid and relevant point. However, the Council has discretionary powers under the Planning Scheme to determine the application. Any determination would not result in a change to the current assessment criteria of residential allotments in the Rural Resource zone.</p> <p>Refer to the “Issues” section of this report.</p>
<p>2 The proposed access off Penguin Road is totally unsuitable and dangerous.</p>	<p>The application is accompanied by an Access Assessment by CSE Tasmania Pty Ltd who have deemed the proposed access for Lot 1 off Penguin Road to be satisfactory. Refer to Annexure 2.</p>

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council’s determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The proposed use and development of the land for subdivision for residential purpose (Lot 1) would create an inappropriate precedent in the area whereby land that is zoned for primary industry purpose was subdivided for a residential purpose.

Aside from the primary intent of the proposal, which is to create a residential allotment, the area is considered to be highly unstable and inappropriate development on the land has the potential to result in future instability in this area.

The proposed development of Lot 1 is not able to meet key Objectives and Performance Criteria that seek to protect land for primary industry purpose. The proposed use is not a primary industry use of the site, would not be dependent upon access to a primary industry that is dependent upon a naturally occurring resource and the development would not augment ongoing farm operations.

The proposal to create Lot 2, for the purpose of consolidating a wastewater system into the same parcel as an existing dwelling that is reliant on the system, is considered to be reasonable development. However, the Council must either approve or refuse the whole of the application, to create Lot 1 and Lot 2, and cannot pick and choose satisfactory elements of the application. Further, it is not best practice to approve a subdivision that is over two different zones, which would be the result of the creation of Lot 2.

It would be appropriate to advise the applicant that an application for subdivision that addresses the wastewater management matters would be viewed sympathetically, if accompanied by an application to rezone that portion of the land that is Rural Resource to Rural Living.

Recommendation –

It is recommended that the application for Subdivision (three lots) – discretionary use and development in the Rural Resource zone at 405 Penguin Road and CT35699/1 Penguin Road, West Ulverstone be refused on the following grounds:

- 1 The proposal is not able to satisfy the Local Area Objectives and Desired Future Character Statements for development and use in the Rural Resource zone in that the proposed use and development would result in a residential allotment and future dwelling that was not reliant

upon a primary industry and would most likely fetter adjoining rural land.

- 2 The proposal is not able to satisfy Performance Criteria for “Residential use” as stipulated under Clause 26.3.3–(P1) in that the proposed use and development would result in the loss of rural land to a residential use class.
- 3 The development is not able to satisfy the Performance Criteria relative to the “Location of Development for Sensitive Uses” as stipulated under Clause 26.4.3–(P1), in that subdivision for residential use and development would be located within a Rural Resource zone and, further, a new boundary for residential use would be less than 200m from rural land.
- 4 The proposal does not adequately demonstrate compliance with the mandatory requirements of E6.6.2 of the Hazard Management Code that there is an insufficient increase in risk to warrant any specific hazard reduction or protection measure; or that a tolerable level of risk can be achieved for the type, form, scale and duration of the development.’

The report is supported.”

The Executive Services Officer reports as follows:

“A copy of the Annexures referred to in the Town Planner’s report having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

■ “That the application for Subdivision (three lots) – discretionary use and development in the Rural Resource zone at 405 Penguin Road and CT35699/1 Penguin Road, West Ulverstone be refused on the following grounds:

- 1 The proposal is not able to satisfy the Local Area Objectives and Desired Future Character Statements for development and use in the Rural Resource zone in that the proposed use and development would result in a residential allotment and future dwelling that was not reliant upon a primary industry and would most likely fetter adjoining rural land.
- 2 The proposal is not able to satisfy Performance Criteria for “Residential use” as stipulated under Clause 26.3.3–(P1) in that the proposed use and development would result in the loss of rural land to a residential use class.

- 3 The development is not able to satisfy the Performance Criteria relative to the “Location of Development for Sensitive Uses” as stipulated under Clause 26.4.3–(P1), in that subdivision for residential use and development would be located within a Rural Resource zone and, further, a new boundary for residential use would be less than 200m from rural land.

 - 4 The proposal does not adequately demonstrate compliance with the mandatory requirements of E6.6.2 of the Hazard Management Code that there is an insufficient increase in risk to warrant any specific hazard reduction or protection measure; or that a tolerable level of risk can be achieved for the type, form, scale and duration of the development.”
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9.14 Urgent Amendment to the Central Coast Interim Planning Scheme 2013 – Dwelling density for single dwelling development in the General Residential zone

The Director Community Services reports as follows:

“The Land Use Planning Group Leader has prepared the following report:

<i>PROPOSAL:</i>	Urgent Amendment to Planning Scheme
<i>LOCATION:</i>	All areas zoned General Residential
<i>ZONE:</i>	General Residential
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the “Scheme”) and s.301A of the <i>Land Use Planning and Approvals Act 1993</i> (the “Act”)
<i>DECISION DUE:</i>	15 May 2017
<i>PURPOSE</i>	

The purpose of this report is to consider an Urgent Amendment of the Scheme under s.301A of the Act, involving a change to the wording of Clause 10.4.10(A1)(b) – Dwelling Density for single dwelling development.

BACKGROUND

Section 10.4.10(A1) of the Scheme requires that the site area per dwelling for a single dwelling be not less than 325m² and not more than 830m², or be a site approved for residential use on a plan sealed before the Scheme came into effect.

DISCUSSION

The general intent of the provision is appropriate, i.e. that a lot size other than provided for in the Acceptable Solution is acceptable where it has been previously approved.

However, Clause 10.4.10(A1)(b) also requires that the subdivision plan is sealed prior to the Scheme's coming into effect (18 October 2013). This requirement has proved to be problematic on occasions where a lot which exceeds 830m², has been previously approved for subdivision under a previous Scheme but has not yet been Sealed by the Recorder of Titles, such as what can occur with staged subdivisions. In such cases the application, which might otherwise be Permitted or No Permit Required, would be Discretionary and subject to increased and unnecessary processing cost and time delay in circumstances where the Council's previous approval is still current.

It is not logical to require another application and assessment for a different lot size, where there is a Permit that is still current.

A change to s.10.4.10 to avoid the current difficulty is warranted. There are three rewording options:

- 1 The site is approved for residential use on a subdivision plan approved before this Scheme came into effect, or
- 2 The site is approved for residential use on a staged subdivision plan and the first stage of that subdivision was sealed before this Scheme came into effect, or
- 3 The site is located on CT..... provide a list of the relevant CT's.

The first option carries with it the concern that old and non desirable Permits could be called up. While that is possible, it is probably unlikely given that most Permits have a two year shelf life. The calling up of old Permits could be

avoided by incorporation of a further test, whereby only current approvals apply.

The second option where staging is identified is not appropriate because staging may not apply in all cases. The third option is also not favoured because all affected Permits and Titles would need to be identified; this would be a very time consuming task.

PROPOSAL

To overcome the need for a further assessment and Permit, it is proposed to amend s.10.4.10(A1) Dwelling Density for single dwelling density of the Scheme as follows:

“A1

- (a) The site area per dwelling for a single dwelling must –
 - (i) be not less than 325m²; and
 - (ii) not more than 830m², or
- (b) The site is currently approved for residential use on a subdivision plan issued before this Planning Scheme came into effect”.

The change to Clause (b) retains the requirement for a site to be approved for residential use but instead of requiring the subdivision to be Sealed, it relies only on the Council’s Permit being issued prior to the introduction of the Scheme.

SECTION 30IA

An Urgent Amendment under s.30IA of the Act is required to provide certain information and satisfy certain tests as follows:

REQUIREMENT	RESPONSE
Reasons for the Urgent Amendment (with reference to s.37(1)(a).	Amendment would remove an anomaly in the Scheme whereby s.10.4.10(A1) currently requires applications involving lots outside the 325m ² –830m ² range to be permitted only where the plan of

	subdivision was sealed prior to the Scheme's introduction.
Why the Amendment is urgently required.	<p>The consequence of the continued implementation of the current provision is that developments with prior subdivision approval but not sealed, to go through a discretionary process in a situation where the Council has already approved the lot size.</p> <p>This causes unnecessary costs and time delays for an application that otherwise might be NPR or Permitted.</p>
No prejudice caused to the public.	<p>It is unlikely there would be any disadvantage caused to the public. The current provision frustrates what is effectively a procedural matter, i.e. there is no advantage for the public by requiring the Council's approval of the lot AND the sealing of the Plan. The Council's approval only is required to protect the public interest.</p>
Planning Directive.	The clause is not a mandatory provision required by a Planning Directive.
Regional Provisions.	Section 10.4.10(A1) is a common regional provision which is shared by the other nine councils of the Cradle Coast region. An Amendment in the Scheme would require a similar change to the other Schemes in the region.

CONSULTATION

Once it has approved an Urgent Amendment, the Tasmanian Planning Commission (TPC) must notify the Council, relevant State agencies, and the

other Councils within the same regional planning area that the Amendment has been made [s.30IA(e)].

The TPC would need to determine the process for resolution of any issues raised by other Councils in the region.

Once approved by the TPC, the Council must publicly notify and exhibit the amended Scheme by:

- publishing a notice of the Amendment the newspaper [s.30IA(6)(f)];
- publicly exhibiting the amended Scheme for 14 days [s.30IA(6)(g)]; and
- making the amended Scheme available for viewing online [s.30IA(6)(g)].

There is no opportunity for representations in the process of an Urgent Amendment.

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with a hearing in connection with the Council's determination.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The proposed Urgent Amendment would remove an unnecessary step in the process for assessing dwelling density where the lot size is outside the 325m²–830m² range and another size is allowable only where the plan of subdivision was sealed prior to the Scheme's introduction.

Replacement of the need for the lot to be sealed prior to the introduction of the Scheme with the requirement to have a current approval would avoid the need for a discretionary step in the assessment process.

There would be no disadvantage to the public interest and the change would likely streamline the assessment process, potentially reducing assessment times and assessment costs (e.g. fees and advertising costs).

Recommendation –

That the proposal for an Urgent Amendment under s.30IA of the *Land Use Planning and Approvals Act 1993*, involving modification of s.10.4.10(A1) be approved and forwarded to the Tasmanian Planning Commission for its consideration and determination.

The report is supported.”

The Executive Services Officer reports as follows:

“A suggested resolution is submitted for consideration.”

■ “That the proposal for an Urgent Amendment under s.30IA of the *Land Use Planning and Approvals Act 1993*, (as defined below) involving modification of s.10.4.10(A1) be approved and forwarded to the Tasmanian Planning Commission for its consideration and determination.

EXISTING PROVISION

10.4.10 Dwelling density for single dwelling development

A1

- (a) The site area per dwelling for a single dwelling must –
 - (i) be not less than 325m²; and
 - (ii) not more than 830m², or
- (b) The site is approved for residential use on a plan sealed before this planning scheme came into effect”.

PROPOSED PROVISION

10.4.10 Dwelling density for single dwelling development

A1

- (a) The site area per dwelling for a single dwelling must –
 - (i) be not less than 325m²; and
 - (ii) not more than 830m², or
- (b) The site is currently approved for residential use on a subdivision plan issued before this planning scheme came into effect.”

9.15 Urgent Amendment to the Central Coast Interim Planning Scheme 2013 – Turners Beach Specific Area Plan

The Director Community Services reports as follows:

“The Group Leader has prepared the following report:

<i>PROPOSAL:</i>	Urgent Amendment to Planning Scheme
<i>LOCATION:</i>	Turners Beach – Specific Area Plan
<i>ZONE:</i>	Low Density Residential
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the “Scheme”) and section 301A of the <i>Land Use Planning and Approvals Act 1993</i> (the “Act”)
<i>DECISION DUE:</i>	15 May 2017

PURPOSE

The purpose of this report is to consider an Urgent Amendment of the Scheme under s.301A of the Act, involving the deletion of F4.5 Use Table in the Turners Beach Specific Area Plan (SAP) (a copy of the SAP is appended to this report).

BACKGROUND

In October 2013, the Scheme came into force. The Scheme was a translation of the Council’s previous scheme, the *Central Coast Planning Scheme 2005*. The Turners Beach area was zoned General Residential in the *Central Coast Planning Scheme 2005*. To align the control provisions between the 2005 and 2013 Schemes, the area was zoned Low Density Residential in the 2013 Scheme.

A Local Area Plan for Turners Beach was developed prior to the Scheme and was based on a rigorous public consultation process. The provisions of this document were incorporated in a SAP which was then included in the Scheme as a Scheme Amendment.

DISCUSSION

The SAP provides for Visitor Accommodation as a discretionary use provided it is a Bed and Breakfast; other types of visitor accommodation are Prohibited.

It should be noted that the use table for the General Residential zone in the *Central Coast Planning Scheme 2005* allowed for Tourist Accommodation as a discretionary use in the form of a bed and breakfast, holiday flat, holiday unit and serviced apartment.

The term "Bed and Breakfast" is defined in the Scheme as "*... part of a dwelling used by its resident to provide, on a short term commercial basis, accommodation and breakfast for persons away from their normal place of residence*". The key element of the definition is the need for the Visitor Accommodation function to be part of a permanent residential dwelling. Development such as holiday units are wholly intended for Visitor Accommodation use only, i.e. there is no residential component.

The other forms of Visitor Accommodation were probably excluded from the use qualification of the Use Table in the Scheme to reinforce the residential function of Turners Beach. However, the effect of the omission is to remove a development "right" that previously existed and made some existing development (e.g. former holiday units at 58 Susan Street) no longer available for Visitor Accommodation use. In hindsight, such a restriction might be unreasonable given Turners Beach's past function as a holiday settlement.

This issue and potential remedial measures were discussed with members of the Tasmanian Planning Commission (TPC) where it was considered there are two broad options to resolve the matter – to amend the Use Table in the SAP, or to remove the use table from the SAP and rely on the Use Table for the Low Density Residential zone.

Either approach could work. The list of uses that can be approved under the SAP Use Table is less than the list contained in the use table for the Low Density Residential zone, but the two do share some common uses. The Low Density Residential zone includes a limited range of uses not allowed under the SAP – Business and professional services, Community meeting and entertainment, General retail and hire (local shop), Sport and recreation, Resource development (community garden) and Tourist operation.

While the Turners Beach area is primarily a residential area, the case for treating it differently to other residential areas may not be so strong. There is a case for maintaining consistency in the development of residential areas

in all areas of the municipal area – ensuring that the residential function is primary, allowing for a range of dwelling types and providing for a range of services and uses that are consistent with and support residential uses. These objectives have been implemented through the Use Table in the zones. Going beyond the zone Use Table uses is probably being over-restrictive.

It is therefore considered that the Use Table for the Low Density Residential zone be used as the basis for allowable uses at Turners Beach, and not the Use Table of the SAP.

SECTION 30IA

An Urgent Amendment under s.30IA of the Act is required to provide certain information and satisfy certain tests, as follows:

REQUIREMENT	RESPONSE
Reasons for the Urgent Amendment (with reference to s.37(1)(a).	Amendment would remove an anomaly in the Scheme whereby the Use Table of the SAP is unnecessarily restrictive, particularly in its exclusion of a range of forms of Visitor Accommodation.
Why the Amendment is urgently required.	The restricted range of Visitor Accommodation forms is frustrating the reversion of former holiday cabins (since converted to residential) back to Visitor Accommodation.
No prejudice caused to the public.	It is unlikely there would be any disadvantage caused to the public. The change would effectively only reinstate Visitor Accommodation options that existed in the previous <i>Central Coast Planning Scheme 2005</i> , and tie use provisions to those contained under the use table of the Low Density Residential zone.
Planning Directive.	The Use Table of the SAP is not a mandatory provision required by a

	Planning Directive relevant to Turners Beach.
Regional Provisions.	The proposed Amendment does not involve an amendment to any regional provision contained in the Scheme.

CONSULTATION

Once it has approved an Urgent Amendment, the TPC must notify the Council, relevant State agencies, and the other Councils within the same regional planning area that the Amendment has been made [s.30IA(e)].

The Council must then publicly notify and exhibit the amended Scheme by:

- publishing a notice of the Amendment in the newspaper [s.30IA(6)(f)];
- publicly exhibiting the amended Scheme for 14 days [s.30IA(6)(g)]; and
- making the amended Scheme available for viewing online [s.30IA(6)(g)].

There is no opportunity for representations in the process of an Urgent Amendment.

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with a hearing in connection with the Council’s determination.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The proposed Urgent Amendment would remove an inconsistency in Visitor Accommodation provisions of the Use Table in the SAP, and establish a use control regime similar to other areas of Low Density Residential zoning.

It would allow for a similar range of Visitor Accommodation forms that existed in the previous *Central Coast Planning Scheme 2005*.

The proposal is consistent with the Urgent Amendment provision of s.30IA of the Act.

Recommendation –

That the proposal for an Urgent Amendment under s.30IA of the *Land Use Planning and Approvals Act 1993*, involving deletion of F4.5 Use Table of the Turners Beach Specific Area Plan, be approved and forwarded to the Tasmanian Planning Commission for its consideration and determination.

The Executive Services Officer reports as follows:

“A copy of the revised Turners Beach Specific Area Plan having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the proposal for an Urgent Amendment under s.30IA of the *Land Use Planning and Approvals Act 1993*, involving deletion of F4.5 Use Table of the Turners Beach Specific Area Plan (a copy being appended to and forming part of the minutes), be approved and forwarded to the Tasmanian Planning Commission for its consideration and determination.”

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INFRASTRUCTURE SERVICES

9.16 Infrastructure Services determinations

The Director Infrastructure Services reports as follows:

“A Schedule of Infrastructure Services Determinations made during the month of April 2017 is submitted to the Council for information. The information is reported in accordance with approved delegations and responsibilities.”

The Executive Services Officer reports as follows:

“A copy of the Schedule having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the Schedule of Infrastructure Services Determinations (a copy being appended to and forming part of the minutes) be received.”

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9.17 Roads and streets nomenclature – Naming of new streets off Henslowes Road, Ulverstone and Explorer Drive, Turners Beach

The Director Infrastructure Services reports as follows:

“The GIS/Asset Management Officer has prepared the following report:

PURPOSE

The purpose of this report, is a request from the relevant subdividers, regarding the naming of new streets within private subdivisions, off Henslowes Road, Ulverstone, and Explorer Drive, Turners Beach.

BACKGROUND

The Council has received a request from A & B Stubbs Pty Ltd, indicating that, as the third stage of their subdivision (Westwood Estate) is nearing completion, the Council consider the following names for the last court off the Stubbs Road end of Explorer Drive:

- 1 Lillian Court;
- 2 Honeyco Court;
- 3 Aria Court.

In addition, the Council received a request from PDA Surveyors, on behalf of G W V Braid, A Braid Napier and D A Boyles, seeking consideration be given to the naming of the next two roads being created in the subdivision off Henslowes Road, Ulverstone, from the following names:

	PREFERRED NAME	ALTERNATIVE NAME
Road 1	Sue Napier Drive	Riverview Drive
Road 2	Tidalbank Avenue	Estuary Avenue

The Nomenclature Board of Tasmania is not responsible for naming urban streets situated within proclaimed cities or towns, this is the responsibility of the relevant council. Councils are bound by the same rules as the Board when making decisions regarding the assignment of names to streets within proclaimed towns.

Where no previous name exists, the Board gives primary consideration to names that are:

- . in keeping with the character and tradition of the area;
- . with historical or local significance;
- . suggestive of any peculiarity of a topographical feature; or
- . a name of Aboriginal derivation that has an appropriate meaning.

DISCUSSION

Lillian Court –

The naming of Lillian Court off Explorer Drive, Turners Beach, continues the theme of female names for the Courts off Explorer Drive with Christina Court and Mollie Court having been previously allocated. As such the name is in keeping with the character of the area. The name Lillian Court is not used elsewhere in the State and while there is a Lillian Street, this is located on the Tasman Peninsula at Taranna.

Lillian has significance here, as it is the name of the developer's sister-in-law, whom passed away in 2014.

Sue Napier Drive –

The naming of Sue Napier Drive, off Henslowes Road, Ulverstone, has both historical and local significance. Suzanne "Sue" Deidre Napier nee Braid (1 January 1948–5 August 2010) was a member of the Tasmanian House of Assembly, for the Division of Bass, first elected in 1992 and was re-elected in 1996, 1998, 2002 and 2006. During her career, she served in many portfolios, including transport, youth affairs, education and opposition portfolios of business, tourism, health and infrastructure, as well as Deputy Premier. She was leader of the Liberal Party from 2 July 1999 until 20 August 2001.

Tidalbank Avenue –

The naming of Tidalbank Avenue off Sue Napier Drive (off Henslowes Road, Ulverstone) is recommended by the developers following the rejection of the alternative names first supplied, due to their existing use within the North and North West of the State. The naming of Tidalbank Avenue is reflective of topographical features in the area and is not used elsewhere within the State.

CONSULTATION

As these are private subdivisions the Council has traditionally worked with the relevant subdivider to agree on suitable names for any road or streets created by the subdivider.

RESOURCE, FINANCIAL AND RISK IMPACTS

There are no additional costs, apart from some minor administration costs, incurred by this decision.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Shape of the Place

- Encourage a creative approach to new development.

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure

Council Sustainability and Governance

- Improve corporate governance.

CONCLUSION

It is recommended that:

- the name Lillian Court be allocated to the last court off the Stubbs Road end of Explorer Drive, Turners Beach; and
- the names Sue Napier Drive and Tidalbank Avenue be allocated to the new roads being created off Henslowes Road, Ulverstone.

The report is supported.”

The Executive Services Officer reports as follows:

“Copies of plans for the proposed new roads having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

■ “That:

- the name Lillian Court be allocated to the last court off the Stubbs Road end of Explorer Drive, Turners Beach; and
- the names Sue Napier Drive and Tidalbank Avenue be allocated to the new roads being created off Henslowes Road, Ulverstone.”

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NOTES

ORGANISATIONAL SERVICES

9.18 Fraud Control Policy (305/2010 – 20.09.2010)

The Director Organisational Services reports as follows:

“PURPOSE

The purpose of this report is to consider a review of the Fraud Control Policy for the prevention, detection and risk management of fraud within the activities of the Central Coast Council.

BACKGROUND

In June 2009 the Council drafted a Fraud Control Policy as part of its commitment to the prevention, deterrence and investigation of fraud within any activity undertaken by the Council. This Policy was subsequently adopted at a Council meeting on 20 September 2010.

All policies should be reviewed on a regular basis to ensure compliance to relevant legislation. The adopted Fraud Control Policy has been reviewed with some minor adjustments to take into these changes. The Policy also includes the related Fraud Prevention Strategy and the Fraud Detection Strategy.

DISCUSSION

This Policy covers guidelines and responsibilities regarding appropriate actions that must be followed to increase the awareness of, and for the investigation of, fraud.

The management of the risk of the Council’s exposure to fraud is an important area to monitor and the Council needs to be assured that appropriate and transparent procedures are in place to:

- . Protect the Council’s assets and reputation;
- . Ensure a sound ethical culture within the Council;
- . Ensure senior management commitment to identifying risk exposures to fraud and for establishing procedures for prevention and detection of fraud; and
- . Ensuring that Councillors and staff are aware of their responsibilities in relation to ethical conduct.

CONSULTATION

A workshop has been held with members of the Operational Leadership Team with regards to the Policy and any potential changes.

RESOURCE, FINANCIAL AND RISK IMPACTS

The implementation of this Policy will have a minor impact on the resources of the Council through the cost of implementing audit programs however this cost is more than offset through the subsequent prevention of losses that might have been occasioned through fraud.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

Council Sustainability and Governance

- Improve corporate governance
- Improve the Council’s financial capacity to sustainably meet community expectations.

CONCLUSION

It is recommended that the Council adopt the draft Fraud Control Policy.”

The Executive Services Officer reports as follows:

“A copy of the draft Fraud Control Policy – April 2017 having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the Council adopt the draft Fraud Control Policy – April 2017.”

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9.19 Contracts and agreements

The Director Organisational Services reports as follows:

“A Schedule of Contracts and Agreements (other than those approved under the common seal) entered into during the month of April 2017 has been submitted by the General Manager to the Council for information. The information is reported in accordance with approved delegations and responsibilities.”

The Executive Services Officer reports as follows:

“A copy of the Schedule having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the Schedule of Contracts and Agreements (a copy being appended to and forming part of the minutes) be received.”
- -----

9.20 Correspondence addressed to the Mayor and Councillors

The Director Organisational Services reports as follows:

“PURPOSE

This report is to inform the meeting of any correspondence received during the month of April 2017 and which was addressed to the ‘Mayor and Councillors’. Reporting of this correspondence is required in accordance with Council policy.

CORRESPONDENCE RECEIVED

The following correspondence has been received and circulated to all Councillors:

- . Letter requesting attention to various matters at Heybridge
- . Two letters of support regarding Community Small Grants Scheme applications.

Where a matter requires a Council decision based on a professionally developed report the matter will be referred to the Council. Matters other than those requiring a report

will be administered on the same basis as other correspondence received by the Council and managed as part of the day-to-day operations.”

The Executive Services Officer reports as follows:

“A suggested resolution is submitted for consideration.”

- “That the Director’s report be received.”
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9.21 Common seal

The Director Organisational Services reports as follows:

“A Schedule of Documents for Affixing of the Common Seal for the period 20 April 2017 to 15 May 2017 is submitted for the authority of the Council to be given. Use of the common seal must first be authorised by a resolution of the Council.

The Schedule also includes for information advice of final plans of subdivision sealed in accordance with approved delegation and responsibilities.”

The Executive Services Officer reports as follows:

“A copy of the Schedule having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the common seal (a copy of the Schedule of Documents for Affixing of the Common Seal being appended to and forming part of the minutes) be affixed subject to compliance with all conditions of approval in respect of each document, and that the advice of final plans of subdivision sealed in accordance with approved delegation and responsibilities be received.”
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9.22 Financial statements

The Director Organisational Services reports as follows:

“The following principal financial statements of the Council for the period ended 30 April 2017 are submitted for consideration:

- Summary of Rates and Fire Service Levies
- Operating and Capital Statement
- Cashflow Statement
- Capital Works Resource Schedule.”

The Executive Services Officer reports as follows:

“Copies of the financial statements having been circulated to all Councillors, a suggested resolution is submitted for consideration.”

- “That the financial statements (copies being appended to and forming part of the minutes) be received.”

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10 CLOSURE OF MEETING TO THE PUBLIC

10.1 Meeting closed to the public

The Executive Services Officer reports as follows:

“The *Local Government (Meeting Procedures) Regulations 2015* provide that a meeting of a council is to be open to the public unless the council, by absolute majority, decides to close part of the meeting because one or more of the following matters are being, or are to be, discussed at the meeting.

Moving into a closed meeting is to be by procedural motion. Once a meeting is closed, meeting procedures are not relaxed unless the council so decides.

It is considered desirable that the following matters be discussed in a closed meeting:

- . Confirmation of Closed session minutes;
- . Minutes and notes of other organisations and committees of the Council; and
- . Tenders for Domestic Waste Collection Service.

These are matters relating to:

- . information of a personal and confidential nature or information provided to the council on the condition it is kept confidential; and
- . contracts, and tenders, for the supply of goods and services and their terms, conditions, approval and renewal.

A suggested resolution is submitted for consideration.”

■ “That the Council close the meeting to the public to consider the following matters, they being matters relating to:

- . information of a personal and confidential nature or information provided to the council on the condition it is kept confidential; and
- . contracts, and tenders, for the supply of goods and services and their terms, conditions, approval and renewal;

and the Council being of the opinion that it is lawful and proper to close the meeting to the public:

- . Confirmation of Closed session minutes;
- . Minutes and notes of other organisations and committees of the Council; and
- . Tenders for Domestic Waste Collection Service.”

The Executive Services Officer further reports as follows:

- “1 The *Local Government (Meeting Procedures) Regulations 2015* provide in respect of any matter discussed at a closed meeting that the general manager is to record in the minutes of the open meeting, in a manner that protects confidentiality, the fact that the matter was discussed and a brief description of the matter so discussed, and is not to record in the minutes of the open meeting the details of the outcome unless the council determines otherwise.
- 2 While in a closed meeting, the council is to consider whether any discussions, decisions, reports or documents relating to that closed meeting are to be kept confidential or released to the public, taking into account privacy and confidentiality issues.
- 3 The *Local Government Act 1993* provides that a councillor must not disclose information seen or heard at a meeting or part of a meeting that is closed to the public that is not authorised by the council to be disclosed.

Similarly, an employee of a council must not disclose information acquired as such an employee on the condition that it be kept confidential.
- 4 In the event that additional business is required to be conducted by a council after the matter(s) for which the meeting has been closed to the public have been conducted, the Regulations provide that a council may, by simple majority, re-open a closed meeting to the public.”

Associated Reports And Documents



LOCAL GOVERNMENT ACT 1993
Regulation 40

SCHEDULE 2

Declaration of Office

I, Amanda Jane DIPROSE, having been elected as Councillor to the Central Coast Council, do solemnly declare that I will faithfully carry out the functions and exercise the powers vested in me by virtue of that office to the best of my ability and in accordance with the law.

.....
[Signature of Councillor]

Made before me at Ulverstone in Tasmania on the 1st day of May, 2017.

.....
[General Manager]



Tasmanian
Electoral Commission

Central Coast Council

CERTIFICATE OF ELECTION BY RECOUNT

I have conducted a recount in accordance with
section 307 of the *Local Government Act 1993*.

I have this day declared

Amanda DIPROSE

elected to fill the vacant office of councillor
to serve until the next ordinary election
of the Council.

A handwritten signature in blue ink, appearing to read 'A. Hawkey', with a long horizontal flourish extending to the right.

Andrew Hawkey
ELECTORAL COMMISSIONER

27 April 2017

Central Coast
Youth Engaged Steering Committee
Minutes of the meeting held at
the North West Christian School, Penguin
on Thursday 30 March 2017 at 9.15am

Doc ID: 267027

PRESENT:

Sandra Ayton (General Manager – Central Coast Council [CCC]); **Philip Viney** (Councillor/Accountant/Ulverstone Lions Club); **Melissa Budgeon** (Community Wellbeing Officer – Central Coast Council [CCC]); **Kellie Conkie** (Work Placement Coordinator – UHS); **Mathew Grining** (Principal PDS); **Samantha Evans, Ella Barron** and **Adam Knapp** (Student Rep. – UHS); **Poppy Giddings, Toni Hall** and **Ebony Raimondo** (Student Reps. – PDS); **Brianna Chilcott** and **Harriet Knapman** (Student Reps. – LCS); **Isabel Porter** and **Chloe Casey** (Student Rep. – NWCS); **Glenn Mace** (Principal – LCS) and **David McNeil** (Principal – NWCS).



1 WELCOME

Chloe Casey chaired the meeting and welcomed everyone and declared the meeting opened at 9.05am. The meeting was opened in prayer by the School Chaplain.

2 APOLOGIES

Cr Rowen Tongs (Community Rep./Councillor); **Glen Lutwyche** (Principal – UHS); **Wayne Pepper** (Teacher NWCS); **Mike Vos** (Assistant Principal – LCS); and **Michael Walsh**

3 MINUTES OF THE PREVIOUS MEETING

Philip Viney moved and Kellie Conkie seconded, "That the Minutes of the previous meeting held on 23 February 2017 be confirmed"

Carried

4 MATTERS FOR DISCUSSION FROM PREVIOUS MEETING

4.1 *Develop meeting norms/values*

Sandra presented to the meeting some meeting norms/values which were suggested by Glenn Lutwyche the Principal of Ulverstone High School. The meeting agreed that the document be adopted with a suggested additional dot point 'Equal Contribution'.

Etiquette/Norms/Values

The code of ethical behaviour regarding professional practice or action among the members of a profession in their dealings with each other.

Respect

- Meeting start and finish on time – be punctual
- Confront any problems respectfully

Responsibility

- Adopt a sense of responsibility in and for the group
- Avoid side talking and/or doing your own work while in a meeting

Connectedness

- Maintain confidentiality
- Assume positive intentions of other

Equal Contribution

- Student Representatives to be provided with equal opportunity to express ideas and suggestions.
- All members of the group are encouraged (and be supported) to make contributions at meetings of the Committee.

4.2 All About Arts

Melissa handed out the program for “All About Arts’ to be held on Friday 9 June 2017.

There will be a cap on numbers of students able to attend (60). Allowing up to 15 students per school.

4.3 Youth Week – Friday 31 March to Sunday 9 April 2017

The Council was not successful with the funding.

Melissa invited students to participate in the ‘DigiTELL’ event. Students were asked to send in a snapp on a smart phone, GoPro or digital camera that shows what they love about the Central Coast Community. These photos would be put together and used to promote the Central Coast community during Youth Week. Melissa will send out a poster to pass out through the schools. This closes on the 3 April 2017.

5 MEMBER REPORTS

Penguin District School – Student Representatives reported on school events:

- In the primary school we have held the Athletics Carnival, and the Blythe Tigers won finally. The secondary students ran the events. Selected students then represented Penguin District School (PDS) at the North West Carnival.
- Secondary Surf Carnival was held at Preservation Bay and Montgomery won. Selected students represented PDS at the Surf League the next week. Also the Junior Surf Lifesaving Championships in Hobart saw 10 ten of our PDS students placing which was really great!
- PDS held an open air cinema last week and 500 people from our community attended. It was an event that we are hoping to do again as it was really enjoyable and was the first time that PDS held such an event.
- Our annual interstate trips are being organised — Grade 6 will be traveling to Canberra and Grades 8-10 will be on the annual Ski trip to Mt Hotham.
- School photos are being taken in the last week of school.
- The grade 6 students are maintaining a Sensory Garden that is in between the grades 1 and 2, 3 and 4 corridors.
- The Student Board will be presented with their blazers and badges next week in a special assembly. They will also be presenting \$750 donation to Wings Wildlife Park as we sponsor a Tassie Devil named Sydney. The Advocate will be attending and a new sign is going to be placed on Sydney's enclosure.
- The Breaky club on Wednesday mornings are now serving Milo due to the attendance of some of our Student Board.

Leighland Christian School – Student Representatives reported on school events:

- Our Primary and High School Swimming Carnivals were held recently and were blessed with great weather for both events. Following on from this, selected students represented the School at the Inter High Swimming Carnival where we finished first in our division.
- Our Twilight Fair took place on 3 March and was a huge success. We raised approximately \$8,600. Our Parents in Partnership group will now gather suggestions from staff, students and parents on how best to spend the funds. Whilst the amount raised is greatly appreciated, the aim of the Fair is to showcase the heart of our school to the local community. Our Burnie Campus will hold their Fair on 20 October.
- Our group of 9–12 students who are travelling to Vanuatu for a ten day mission trip in October have been busily raising money to support the community when they arrive. To date they have raised over \$2,000.

- Leighland will participate again this year in the North West Relay for Life on the weekend of 1 and 2 April at the Penguin Athletics track. We have a strong team of year 9–12 students who are keen to support the community in raising funds for the Cancer Council.
- Year 8 students are currently on a two–day camp. Our Year 5's and 6's from both campuses will unite for a camp and activities day and our year 9 camp which will take place in the last week of term.
- Both Campuses are preparing for our Easter services and grandparents and special friends' days.
- Our Student Leaders for the year have been selected and will be presented with their blazers at an assembly on 10 April.

North West Christian School – Student Representatives reported on school events:

- New Principal David McNeil is enjoying being at the school
- The Textiles class room is being refurbished
- Inter High Swim Carnival – 2 High School girls in grade 10 came 2nd and 3rd in Division B
- A new Chaplain has been appointed to the school, Pastor Robbie comes to us from NSW.
- Gilson College from Melbourne visited the school recently
- Every second Friday grade 9 and 10 are learning to Kayak
- Bus routes have been changed making it safer and quicker
- Spiritual Emphasis week – different religions and how they link to god
- The beloved swing in the playground has not been fixed.

Ulverstone High School – Student Representative reported on school events:

- Cambodia trip
- Queenstown sport exchange
- Year 11 and 12 construction going well, furniture has arrived.
- Defence force and police came to talk at the school.
- Soccer will be starting soon
- Thursday tutoring
- Music lessons
- Social this Thursday
- Inter high swimming carnival – got 1st Jack Walton broke some long standing records
- Leadership assembly
- Upcoming science and engineering challenge.

6 GENERAL BUSINESS

6.1 *Youth Engaged Breakfast*

To be held at the Beachway Motel, suggested dated would be in August 2017. Sandra asked for feedback and suggestions on the type of presentation the schools would like to have discussed at the breakfast. It was suggested the Beacon Foundation and invite back Leslie Richardson on School Based Apprenticeships Program as there have been changes to this program.

6.2 *National Volunteering Week 8-14 May 2017*

Students were asked to nominate a mate, someone they know who volunteers at school or in their community. The nominations are looked over by the Mayor and Student Leaders.

6.3 *Council Office visit*

The students of the Youth Engaged Steering Committee would like to do another tour through the Council's Administration building. Melissa to organise a date and time preferably after the next committee meeting at the Council offices.

6.4 *National Leadership Camp (Burn Bright)*

The organisers have contacted the Council and advise that the Camp will be held from 6 to 9 July in 2017, first week of the school holidays. Melissa requested those students who are interested in attending to register online as soon as possible, prior to the end of term 1.

7 REVIEW OF THE MEETING

The committee reviewed what had been discussed today and were all happy with the meeting.

8 NEXT MEETING

The next meeting is to be held on 25 May 2017 at the Central Coast Council Chambers commencing at 9.15am, followed by the tour of the Council departments.

As there was no further business to discuss the meeting concluded at 10.05am.



**Central Coast Community Shed Management Committee
General Meeting – Minutes of Meeting held at the Community Shed
Monday, 3 April 2017 commencing at 1.05pm**

1 PRESENT/APOLOGIES

Rob McKenzie (Chair), Sam Caberica, Anne Williams, Trish Bock, David Dunn, Len Carr, Merv Gee, Lynne Jarvis – Coffin Club, John Deacon and Peter Evans, Guest – Doug Scarfe – Works Safety Officer.

Minute taker: Melissa Budgeon

Apologies: Len Blair, Norm Frampton Cr Phil Viney and Jack Eaton.

2 CONFIRMATION OF MINUTES

It was resolved, “That the minutes of the meeting held on Monday, 6 March 2017 are confirmed as correct.”

Carried

3 BUSINESS ARISING FROM MINUTES

- . **Building Works/Shed expansion** – A celebration (opening) of the refurbishment of the back shed be confirmed with the GM and Mayor.
- . **Drainage** – Work will commence in the coming weeks, Shed area will not be available for 3 days (Tuesday, Wednesday and Thursday) dates to be confirmed.

4 CORRESPONDENCE

Nil.

5 TREASURER REPORT

Income	\$4,318.44	(Fees/projects/donations)
	\$2,500.00	Extensions contributions
Expenses	\$6,199.57	

March – 374 Men, 92 women

It was resolved, “That the Treasurer’s report be accepted.”

Carried

6 General Business

- . Following the Audit conducted on Thursday, March 23 Council's Safety Officer – Doug Scarfe provided feedback – only item identified was that 2 fire extinguishers were not marked as tested – out of date. This has been past on to the Building Maintenance officer to be addressed at the next inspection. Doug also expressed congratulations and appreciation to the work that the Volunteers do at this facility, commending them on the prompt attention and wiliness to undertake improvements and follow directions as required. Well done and thank you to all involved.
- . Suggested to enclose the open area used on Show Day as an animal nursery, this would make area safe. Currently when the ground is in use young children climb through the structure, vandalism and loitering occurs. Make the area more secure and useable for all groups of the complex. Also, suggested that the exterior could have a depicting mural or some art representing farm/show society/agricultural heritage. Rob and Len to discuss with the Recreation Facilities Coordinator – Robert Bourke and the Show Society.
- . Richmond Fellowship have some clients that are interested in attending the shed. Sam to introduce them to the facility, to seek commitment. They have an outdoor table that needs repairs and refurbishment that could make for a great project first up.
- . Community Safety Partnership Committee meeting – the new Senior Sergeant, Simon Conroy was introduced, and has been invited to attend the shed to meet the group.

7 CLOSURE

As there was no more business to discuss the meeting closed at 1.50pm.

8 NEXT MEETING

The next meeting will be held on 1 May, 2017 commencing at 1.00pm.

Central Coast Community Shed - Financial Statement 2016-2017

as at 31 March 2017

		<i>Estimates</i> \$	<i>Actual</i> \$
Revenue			
11413.03			
	Fees	3,000.00	2772.73
	School Groups		181.82
	Material Donations		\$45.45
	Project Donations	2,000.00	\$1,318.44
	GST allocation		
		Estimate	
		\$5,000.00	\$4,318.44
11413.06	Building Fund (carried over)		\$2,500.00
11413.06			\$8,171.00
Expenditure			
11481			
	1 Aurora	1,800.00	\$843.20
	2 Telstra/Internet	700.00	\$479.89
	3 Office	200.00	\$95.45
	4 Bus	-	-
	5 Testing and tagging	1,000.00	\$539.50
	6 Petty Cash	-	-
	7 Training	250.00	\$154.65
	8 Membership	200.00	\$50.00
	Insurance	-	\$113.08
	9 Room Hire	-	-
	10 Repairs and Maintenance	2,000.00	\$2,612.18
	11 Safety Equipment	500.00	-
	12 Project Materials	3,000.00	\$1,140.25
	Insurance	200.00	-
	Water/Sewage	150.00	\$22.87
	13 Inspections/Building maintenance Checks	-	-
	sign	-	\$148.50
		Estimate	
		\$10,000.00	\$6,199.57

Minutes of an ordinary meeting of the Development Support Special Committee held in the Council Chamber of the Administration Centre, 19 King Edward Street, Ulverstone on Monday, 10 April 2017 commencing at 6.00pm

Members attendance

Cr Jan Bonde (Mayor)	Cr Garry Carpenter
Cr Kathleen Downie (proxy)	Cr Tony van Rooyen
Cr Philip Viney	Ms Sandra Ayton

Members apologies

Nil

Employees attendance

Director Community Services (Mr Cor Vander Vlist)
Land Use Planning Group Leader (Mr Ian Sansom)

Public attendance

Five members of the public attended during the course of the meeting.

CONFIRMATION OF MINUTES OF THE COMMITTEE

19/2017 Confirmation of minutes

The Director Community Services reported as follows:

“The minutes of the previous meeting of the Development Support Special Committee held on 14 March 2017 have already been circulated. The minutes are required to be confirmed for their accuracy.

The *Local Government (Meeting Procedures) Regulations 2015* provide that in confirming the minutes of a meeting, debate is allowed only in respect of the accuracy of the minutes.”

-
- Cr Carpenter moved and Cr Viney seconded, “That the minutes of the previous meeting of the Development Support Special Committee held on 14 March 2017 be confirmed.”

Carried unanimously

MAYOR’S COMMUNICATIONS

20/2017 Mayor’s communications

The Mayor reported as follows:

“Under the terms of appointment of the Development Support Special Committee, it acts in agreed circumstances as if it were the Council and, accordingly, as a planning authority under the *Land Use Planning and Approvals Act 1993*.

Members are reminded that the *Local Government (Meeting Procedures) Regulations 2015* provide that the general manager is to ensure that the reasons for a decision by a council acting as a planning authority are recorded in the minutes.

In the event that items listed for consideration are referred, under the terms of the Committee’s appointment, to the Council (e.g. any matter the Committee cannot determine unanimously), or if the Committee is unable to make a determination within the relevant statutory time limit, such items will be referred to a meeting of the Council for a decision.”

- Cr Downie moved and Cr Viney seconded, “That the Mayor’s report be received.”

Carried unanimously

DECLARATIONS OF INTEREST

21/2017 Declarations of interest

The Mayor reported as follows:

“Members are requested to indicate whether they have, or are likely to have, a pecuniary (or conflict of) interest in any item on the agenda.”

The Director Community Services reported as follows:

“The *Local Government Act 1993* provides that a member must not participate at any meeting of a special committee in any discussion, nor vote on any matter, in respect

of which the member has an interest or is aware or ought to be aware that a close associate has an interest.

Members are invited at this time to declare any interest they have on matters to be discussed at this meeting. If a declaration is impractical at this time, it is to be noted that a member must declare any interest in a matter before any discussion on that matter commences.

All interests declared will be recorded in the minutes at the commencement of the matter to which they relate.”

No interests were declared at this time.

ADJOURNMENT OF MEETING

22/2017 Adjournment of meeting

The Mayor reported as follows:

“In order to effectively consider the reports before this meeting of the Committee it is appropriate that I adjourn the meeting to enable the related documents to be workshopped prior to resumption of the meeting and formal resolution of the agenda items.”

The workshop commenced at 6.02pm. The workshop having been concluded, the Mayor resumed the meeting at 6.17pm.

DEPUTATIONS

23/2017 Deputations

The Director Community Services reported as follows:

“No requests for deputations to address the meeting or to make statements or deliver reports have been made.”

OPEN REPORTS

24/2017 Residential (multiple dwellings x two) – discretionary use class in Rural Resource Zone and variation to location of a sensitive use at CT7334/4 Stubbs Road, Forth – Application No. DA216158

The Director Community Services reported as follows:

“The Town Planner has prepared the following report:

<i>DEVELOPMENT APPLICATION NO.:</i>	DA216158
<i>PROPOSAL:</i>	Residential (multiple dwellings x two) discretionary use class in Rural Resource Zone and variation to location of a sensitive use
<i>APPLICANT:</i>	JMG Engineers and Planners
<i>LOCATION:</i>	CT7334/4 Stubbs Road, Forth
<i>ZONE:</i>	Rural Resource
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the Scheme)
<i>ADVERTISED:</i>	8 March 2017
<i>REPRESENTATIONS EXPIRY DATE:</i>	23 March 2017
<i>REPRESENTATIONS RECEIVED:</i>	Two
<i>42-DAY EXPIRY DATE:</i>	14 April 2017 (extension granted until 19 April 2017)
<i>DECISION DUE:</i>	10 April 2017
<i>PURPOSE</i>	

The purpose of this report is to consider an application for two dwellings in the Rural Resource zone on land identified as CT7334/4 Stubbs Road, Forth.

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representations;
- . Annexure 4 – photographs.

BACKGROUND

Development description -

Application is made to construct two dwellings on a 7.97ha parcel of rural resource land. The proposal would include the following:

Dwelling 1 would be the principal dwelling. It is proposed to be 219.5m² in area, single-storey, three to four bedrooms, hexagon shaped and clad in timber veneer. The development would include a 40m² deck on the western side of the dwelling and an 18.52m² deck on the southern side of the dwelling. The dwelling height would be approximately 5.26m above natural ground level.

Dwelling 2 would be a temporary dwelling to accommodate the owners while the principal dwelling is constructed. It would be 70m² in area, 3.3m high, contain three bedrooms and be sited approximately 110m from the frontage to Stubbs Road. Following completion of the principal dwelling the second dwelling would be converted to a workshop.

On-site stormwater collection, storage of drinking water and wastewater treatment and disposal would be required.

Site description and surrounding area -

The land lies to the west of Stubbs Road, located approximately 2.78kms south of the Turners Beach residential area. The land supports an area of native bush and cleared pasture.

The land comprises Class 3 & 4 land and is located within the Kindred North Motton Proclaimed Irrigation District.

An unnamed tributary flows westerly, into the Claytons Rivulet that transects other land further to the west.

Surrounding parcels of rural land vary in size from 8ha to 41ha.

History -

The parcel of land is one of a cluster of four 7.5ha –8ha allotments subdivided in 1976.

DISCUSSION

The following table is an assessment of the relevant Scheme provisions:

26.0 Rural Resource Zone

CLAUSE	COMMENT
26.1.2 Local Area Objectives	
<p>(a) The priority purpose for rural land is primary industry dependent upon access to a naturally occurring resource;</p> <p>(b) Air, land and water resources are of importance for current and potential primary industry and other permitted use;</p> <p>(c) Air, land and water resources are protected against –</p> <p style="padding-left: 20px;">(i) permanent loss to a use or development that has no need or reason to locate on land containing such a resource; and</p> <p style="padding-left: 20px;">(ii) use or development that has potential to exclude or unduly conflict, constraint, or interfere with the practice of primary industry or any other use dependent on access to a naturally occurring resource;</p> <p>(d) Primary industry is diverse, dynamic, and innovative; and may occur on a range of lot sizes and at different levels of intensity;</p>	<p>“Residential (multiple dwellings)” is a Discretionary use of the land in the Rural Resource zone.</p> <p>(a) Proposal does not satisfy the Objective. The proposed use is not a primary industry use of the site, would not be dependent upon access to a naturally occurring resource and would not augment ongoing farm operations.</p> <p>(b) Proposal does not satisfy the Objective. The proposed development is not a Permitted use and is not reliant on air, land or water resources for primary industry production.</p> <p>(c)(i) Proposal does not satisfy the Objective. The proposal is for the use and development of land that would result in the permanent loss of a land resource for a purpose that has no need to locate on the land.</p> <p>(c)(ii) Proposal does not satisfy the Objective. The proposal is for the use and development of land that would</p>

<p>(e) All agricultural land is a valuable resource to be protected for sustainable agricultural production;</p> <p>(f) Rural land may be used and developed for economic, community, and utility activity that cannot reasonably be accommodated on land within a settlement or nature conservation area;</p> <p>(g) Rural land may be used and developed for tourism and recreation use dependent upon a rural location or undertaken in association with primary industry;</p> <p>(h) Residential use and development on rural land is appropriate only if –</p> <p>(i) required by a primary industry or a resource based activity; or</p> <p>(ii) without permanent loss of land significant for primary industry use and without constraint or interference to existing and potential use of land for primary industry purposes.</p>	<p>unduly conflict, constrain or interfere with the natural resources of air, land or water.</p> <p>(d) Not applicable. Use class is not associated with primary industry.</p> <p>(e) Not applicable. Use class is not associated with agricultural land.</p> <p>(f) Proposal does not satisfy the Objective. Proposed use could be located in other zones, such as Residential, Low Density Residential or Rural Living.</p> <p>(g) Not applicable. Use is not for tourism or recreation.</p> <p>(h)(i) Proposal does not satisfy the Objective. Proposed residential use and development is not required by a primary industry or resourced based activity.</p> <p>(h)(ii) Proposal does not satisfy the Objective. Proposed residential use and development would result in permanent loss of land for primary industry.</p>
<p>26.1.3 Desired Future Character Statements</p>	
<p>Use or development on rural land –</p>	<p>(a)(i) Proposal is not consistent with Desired Future Character Statements. The proposed use and</p>

<p>(a) may create a dynamic, extensively cultivated, highly modified, and relatively sparsely settled working landscape featuring –</p> <ul style="list-style-type: none"> (i) expansive areas for agriculture and forestry; (ii) mining and extraction sites; (iii) utility and transport sites and extended corridors; and (iv) service and support buildings and work areas of substantial size, utilitarian character, and visual prominence that are sited and managed with priority for operational efficiency <p>(b) may be interspersed with –</p> <ul style="list-style-type: none"> (i) small-scale residential settlement nodes; (ii) places of ecological, scientific, cultural, or aesthetic value; and (iii) pockets of remnant native vegetation <p>(c) will seek to minimise disturbance to –</p> <ul style="list-style-type: none"> (i) physical terrain; (ii) natural biodiversity and ecological systems; 	<p>development is not associated with a working landscape featuring agriculture or forest.</p> <p>(a)(ii) Proposal is not consistent with Desired Future Character Statements. The proposed use is not associated with mining and extraction.</p> <p>(a)(iii) Proposal is not consistent with Desired Future Character Statements. The proposed use is not associated with utility and transportation sites or corridors.</p> <p>(a)(iv) Not applicable. The proposal would not result in service and/or support buildings for agriculture, forestry, mining, extraction, utility or transport corridors.</p> <p>(b)(i) Proposal is not consistent with Desired Future Character Statements. Use and development is not within or interspersed by small scale residential settlement nodes.</p> <p>(b)(ii) Not applicable. The subject and surrounding land is not identified as places of ecological, scientific, cultural or aesthetic value.</p> <p>(b)(iii) Proposal is consistent with Desired Future Character Statements. The site supports an area of native</p>
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<ul style="list-style-type: none"> (iii) scenic attributes; and (iv) rural residential and visitor amenity; (d) may involve sites of varying size - <ul style="list-style-type: none"> (i) in accordance with the type, scale and intensity of primary industry; and (ii) to reduce loss and constraint on use of land important for sustainable commercial production based on naturally occurring resources; (e) is significantly influenced in temporal nature, character, scale, frequency, and intensity by external factors, including changes in technology, production techniques, and in economic, management, and marketing systems. 	<p>vegetation bordering a tributary to Claytons Rivulet watercourse.</p> <ul style="list-style-type: none"> (c)(i) Proposal is consistent with Desired Future Character Statements. The proposal would not unduly disturb the underlying physical terrain of the site. (c)(ii) Proposal is consistent with Desired Future Character Statements. The proposal would not unduly disturb biodiversity or ecological systems on the site, unless land clearance of native vegetation stands was undertaken. (c)(iii) Proposal is consistent with Desired Future Character Statements. The proposed use would not disturb existing scenic attributes of the site. (c)(iv) Not applicable. No identified rural residential or visitor amenity in this area. (d)(i) Proposal is not consistent with Desired Future Character Statements. The proposed use would not be associated with primary industry. (d)(ii) Proposal is not consistent with Desired Future Character Statements. Proposal is not sustainable commercial production based on a naturally occurring resource.
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	(e) Proposal is not consistent with Desired Future Character Statements. The proposed use is not significantly influenced by changes in technology, production techniques or economic management and marketing systems.
26.3 Use Standards	
26.3.1 Requirement for discretionary non-residential use to locate on rural resource land	
<p>26.3.1-(P1) Other than for residential use, discretionary permit use must:</p> <p>(a) be consistent with local area objectives;</p> <p>(b) be consistent with any applicable desired future character statement;</p> <p>(c) be required to locate on rural resource land for operational efficiency:</p> <p style="padding-left: 40px;">(i) to access a specific naturally occurring resource on the site or on adjacent land in the zone;</p> <p style="padding-left: 40px;">(ii) to access infrastructure only available on the site or on adjacent land in the zone;</p>	<p>Not applicable.</p> <p>Proposed use and development is for non-required "Residential" use (multiple dwellings x two).</p>

<ul style="list-style-type: none">(iii) to access a product of primary industry from a use on the site or on adjacent land in the zone;(iv) to service or support a primary industry or other permitted use on the site or on adjacent land in the zone;(v) if required –<ul style="list-style-type: none">a. to acquire access to a mandatory site area not otherwise available in a zone intended for that purpose;b. for security;c. for public health or safety if all measures to minimise impact could create an unacceptable level of risk to human health, life or property if located on land in a zone intended for that purpose;(vi) to provide opportunity for diversification, innovation, and value-adding to secure existing or potential primary industry use of the site or of adjacent land;(vii) to provide an essential utility or community service infrastructure for the municipal or regional community	
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<p>or that is of significance for Tasmania; or</p> <p>(viii) if a cost-benefit analysis in economic, environmental, and social terms indicates significant benefits to the region; and</p> <p>(d) minimise likelihood for:</p> <p>(i) permanent loss of land for existing and potential primary industry use;</p> <p>(ii) constraint or interference to existing and potential primary industry use on the site and on adjacent land; and</p> <p>(iii) loss of land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i> or land that may benefit from the application of broad-scale irrigation development.</p>	
<p>26.3.2 Required Residential Use</p>	
<p>26.3.2-(A1) Residential use required as part of a use must:</p> <p>(a) be an alteration or addition to an existing lawful and structurally sound residential building;</p> <p>(b) be an ancillary dwelling to an existing lawful and structurally</p>	<p>Not applicable.</p> <p>Not a required residential use.</p>

<p>sound single dwelling;</p> <p>(c) not intensify an existing lawful residential use;</p> <p>(d) replace a lawful existing residential use;</p> <p>(e) not create a new residential use through conversion of an existing building; or</p> <p>(f) be home based business in association with occupation of an existing lawful and structurally sound residential building; and</p> <p>(g) there is no change in the title description of the site on which the residential use is located.</p>	
<p>26.3.3 Residential use</p>	
<p>26.3.3-(A1) Residential use that is not required as part of an other use must:</p> <p>(a) be an alteration or addition to an existing lawful and structurally sound residential building;</p> <p>(b) be an ancillary dwelling to an existing lawful and structurally sound single dwelling;</p> <p>(c) not intensify an existing lawful residential use;</p>	<p>(a) Non-compliant. Not an alteration or addition to an existing lawful residential building.</p> <p>(b) Non-compliant. Not an ancillary dwelling to an existing lawful single dwelling.</p> <p>(c) Not applicable. No existing lawful residential use.</p> <p>(d) Not applicable. No existing residential use on the land.</p> <p>(e) Not applicable. No other buildings on the land.</p>

<p>(d) not replace an existing residential use;</p> <p>(e) not create a new residential use through conversion of an existing building;</p> <p>(f) be an outbuilding with a floor area of not more than 100m² appurtenant to an existing lawful and structurally sound residential building; or</p> <p>(g) be home based business in association with occupation of an existing lawful and structurally sound residential building; and</p> <p>(h) there is no change in the title description of the site on which the residential use is located.</p>	<p>(f) Not applicable. Not an outbuilding.</p> <p>(g) Not applicable. Not a home based business.</p> <p>(h) Compliant. No change to the Title description is proposed.</p> <p>See "Issues" section of this report.</p>
<p>26.4 Development Standards</p>	
<p>26.4.1 Suitability of a site or lot on a plan of subdivision for use or development</p>	
<p>26.4.1-(A1) A site or each lot on a plan of subdivision must:</p> <p>(a) unless for agricultural use, have an area of not less than 1.0 hectare not including any access strip; and</p> <p>(b) if intended for a building, contain a building area</p> <p>(i) of not more than 2,000m² or 20% of the area of the</p>	<p>(a) Compliant. Land area is 7.97ha.</p> <p>(b)(i) Compliant. Proposed building area would be 289m².</p> <p>(b)(ii) Compliant. Development would be clear of applicable front, rear and side boundaries.</p> <p>(b)(iii) Not applicable. No zone boundary setbacks apply.</p>

<p>site, whichever is the greater unless a crop protection structure for an agricultural use;</p> <p>(ii) clear of any applicable setback from a frontage, side or rear boundary;</p> <p>(iii) clear of any applicable setback from a zone boundary;</p> <p>(iv) clear of any registered easement;</p> <p>(v) clear of any registered right of way benefiting other land;</p> <p>(vi) clear of any restriction imposed by a utility;</p> <p>(vii) not including an access strip;</p> <p>(viii) accessible from a frontage or access strip.</p>	<p>(b)(iv) Not applicable. No registered easements.</p> <p>(b)(v) Not applicable. No right of way benefiting other land.</p> <p>(b)(vi) Not applicable. No restriction imposed by a utility.</p> <p>(b)(vii) Not applicable. No access strip.</p> <p>(b)(viii) Compliant. Land is accessible from a frontage to Stubbs Road.</p>
<p>26.4.1-(A2) A site or each lot on a subdivision plan must have a separate access from a road:</p> <p>(a) across a frontage over which no other land has a right of access; and</p> <p>(b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or</p>	<p>(a) Non-compliant. The site plan shows access from a right of way that the land does not have a legal right to use. The subject land should be required to establish a legal access off Stubbs Road.</p> <p>(b) Not applicable. Not an internal Lot.</p> <p>(c) Not applicable. No legal access to a right of way connecting to a road.</p>

<p>(c) by a right of way connecting to a road –</p> <p>(i) over land not required as the means of access to any other land; and</p> <p>(ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right of way of not less than 6.0m; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	<p>(d) Compliant. The land has 161.53m of frontage to Stubbs Road. The development should be required to establish a legal access off Stubbs Road.</p> <p>(e) Compliant. The development would be required to establish a legal access off Stubbs Road in accordance with the <i>Local Government (Highways) Act 1982</i>.</p>
<p>26.4.1–(A3) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of connecting to a water supply:</p> <p>(a) provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p>	<p>(a) Non-compliant. Not able to connect to reticulated system.</p> <p>(b)(i) Compliant by condition. The Council’s Planning Permit would require on-site collection and storage of a potable water drinking system.</p> <p>(b)(ii)a. Non-compliant. Development is for multiple dwellings (two).</p>

<p>(b) from a rechargeable drinking water system ^{R31} with a storage capacity of not less than 10,000 litres if:</p> <p>(i) there is not a reticulated water supply; and</p> <p>(ii) development is for:</p> <p>a. a single dwelling; or</p> <p>b. a use with an equivalent population of not more than 10 people per day.</p>	<p>(b)(ii)b. Non-compliant. Development would be able to accommodate up to 12 persons in two dwellings.</p> <p>Refer to “Issues” section of this report.</p>
<p>26.4.1–(A4) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and liquid trade waste:</p> <p>(a) to a sewerage system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p> <p>(b) by on-site disposal if:</p> <p>(i) sewage or liquid trade waste cannot be drained to a reticulated sewer system; and</p> <p>(ii) the development:</p>	<p>(a) Non-compliant. The site is not able to connect to the reticulated sewerage system.</p> <p>(b)(i) Compliant by condition. A Planning Permit should require compliance with the Wastewater Design report by JMG Engineers and Planners, dated February 2017.</p> <p>(b)(ii)a. Not applicable. Satisfied by (b)(iii).</p> <p>(b)(ii)b. Not applicable. Satisfied by (b)(iii).</p> <p>(b)(iii) Compliant. The Council’s Planning Permit would require compliance with the Wastewater Design report by JMG Engineers and Planners, dated February 2017.</p>

<ul style="list-style-type: none"> a. is for a single dwelling; or b. provides for an equivalent population of not more than 10 people per day; or (iii) the site has capacity for on-site disposal of domestic waste water in accordance with AS/NZS 1547:2012 On-site domestic-wastewater management clear of any defined building area or access strip. 	
<p>26.4.1-(A5) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater:</p> <ul style="list-style-type: none"> (a) to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>; or (b) if stormwater cannot be drained to a stormwater system: <ul style="list-style-type: none"> (i) for discharge to a natural drainage line, water body or watercourse; or (ii) for disposal within the site if: <ul style="list-style-type: none"> a. the site has an area of not less than 5,000m²; 	<ul style="list-style-type: none"> (a) Not applicable. Satisfied by (b)(i). (b)(i) Compliant. Stormwater drainage to a minor tributary that drains to Claytons Rivulet. (b)(ii) Not applicable. Satisfied by (b)(i).

<ul style="list-style-type: none"> b. the disposal area is not within any defined building area; c. the disposal area is not within any area required for the disposal of sewage; d. the disposal area is not within any access strip; and e. not more than 50% of the site is impervious surface. 	
<p>26.4.2 Location and configuration of development</p>	
<p>26.4.2-(A1) A building or a utility structure, other than a crop protection structure for an agriculture use, must be setback:</p> <ul style="list-style-type: none"> (a) not less than 20.0m from the frontage; or (b) not less than 50.0m if the development is for sensitive use on land that adjoins the Bass Highway; (c) not less than 10.0m from each side boundary; and (d) not less than 10.0m from the rear boundary; or (e) in accordance with any applicable building area shown on a sealed plan. 	<ul style="list-style-type: none"> (a) Compliant. Development would be setback 110m from the frontage to Stubbs Road. (b) Not applicable. Satisfied by (a). (c) Compliant. Development would be setback 73m to the northern side boundary and 43.5m to the southern side boundary. (d) Compliant. Development would be setback 380m from the western rear boundary. (e) Not applicable. No building area on a Sealed Plan.

26.4.2-(A2) Building height must be not more than 8.5m.	Compliant. Building height is 5.26m.
<p>26.4.2 A3.1 A building or utility structure, other than a crop protection structure for an agricultural use or wind power turbines or wind power pumps, must –</p> <p>(a) not project above an elevation 15m below the closest ridgeline;</p> <p>(b) be not less than 30m from any shoreline to a marine or aquatic water body, water course, or wetland;</p> <p>(c) be below the canopy level of any adjacent forest or woodland vegetation; and</p> <p>(d) clad and roofed with materials with a light reflectance value of less than 40%.</p> <p>A3.2 Wind power turbines and wind power pumps must not exceed 20m in height.</p>	<p>A3.1</p> <p>(a) Compliant. Proposed multiple dwellings would not project above an elevation of 15m below closest ridgeline.</p> <p>(b) Compliant. Proposed multiple dwellings would be setback 57m from watercourse (creek).</p> <p>(c) Compliant. Proposed multiple dwellings would be below canopy level of vegetation located to the west of the site.</p> <p>(d) Non-compliant. Proposed multiple dwellings would be clad with stone and timber veneer materials. The rooves would be of “Zincalume” material. The Building Code of Australia (BCA) CA classifies roof colour on the basis of solar absorptance, which is deemed under the BCA to be the <i>inverse</i> of colour reflectivity. The BCA deems Zincalume to be a Medium colour, with absorptance <60%. This means reflectivity would be greater than 40%.</p> <p>A3.2 Not applicable. Not wind turbine or wind power pumps.</p>

26.4.3 Location of development for sensitive uses

26.4.3-(A1) New development, except for extensions to existing sensitive use where the extension is no greater than 30% of the existing gross floor area of the sensitive use, must –

- (a) be located not less than:
 - (i) 200m from any agricultural land;
 - (ii) 200m from aquaculture, or controlled environment agriculture;
 - (iii) 500m from the operational area boundary established by a mining lease issued in accordance with the *Mineral Resources Development Act 1995* if blasting does not occur; or
 - (iv) 1000m from the operational area boundary established by a mining lease issued in accordance with the *Mineral Resources Development Act 1995* if blasting does occur; or
 - (v) 500m from intensive animal husbandry;
 - (vi) 100m from land under a reserve management plan;
 - (vii) 100m from land designated for production forestry;

- (a)(i) Non-compliant. Proposed multiple dwellings would be setback approximately 80m from adjoining agricultural land to the south and 90m from adjoining agricultural land to the north.
- (a)(ii) Not applicable. No aquaculture, or controlled environment agriculture.
- (a)(iii) Not applicable. No non-blasting extractive industry in surrounding area.
- (a)(iv) Non-compliant. Proposed multiple dwellings would be approximately 955m from an extractive industry that has capability to blast.
- (a)(v) Compliant. No intensive animal husbandry within 500m.
- (a)(iv) Not applicable. Land is not within 100m of land under a reserve management plan.
- (a)(vii) Compliant. Land adjoins a private timber reserve that is approximately 450m to the west of the development site.

<p>(viii) 50.0m from a boundary of the land to the Bass Highway, or to a railway line; and</p> <p>(ix) clear of any restriction imposed by a utility; and</p> <p>(b) not be on land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i>, or land that may benefit from the application of broad-scale irrigation development.</p>	<p>(a)(viii) Compliant. Land is approximately 3kms to the Bass Highway and 3.4kms to the Western Rail Line.</p> <p>(a)(ix) Non-compliant. Land is located within the Kindred North Motton Irrigation District proclaimed under Part 9 of the <i>Water Management Act 1999</i> in August 2012.</p> <p>See “Issues” section of this report.</p>
<p>26.4.4 Subdivision</p>	
<p>26.4.4-(A1) Each new lot on a plan of subdivision must be –</p> <p>(a) a lot required for public use either State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a statutory authority.</p>	<p>Not applicable.</p> <p>No subdivision proposed.</p>
<p>26.4.5 Buildings for Controlled Environment Agriculture</p>	
<p>26.4.5-(A1) A building for controlled environment agriculture use must be a crop protection structure and the agricultural use inside the building must satisfy one of the following:</p> <p>(a) rely on the soil as a growth medium into which plants are directly sown;</p>	<p>Not applicable.</p> <p>No controlled environment agriculture proposed.</p>

(b) not alter, disturb or damage the existing soil profile if conducted in a manner which does not rely on the soil as a growth medium.	
CODES	
E1 Bushfire-Prone Areas Code	Not applicable. Not a subdivision or vulnerable or hazardous use.
E2 Airport Impact Management Code	Not applicable. No Code in this Scheme.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing or conversion of native threatened vegetation.
E4 Change in Ground Level Code	Not applicable. No cut or fill proposed greater than 1 m.
E5 Local Heritage Code	Not applicable. No places of local significance listed in this Scheme.
E6 Hazard Management Code	Not applicable. Site not included in a mapped hazard area.
E7 Sign Code	Not applicable. No signs proposed.
E8 Telecommunication Code	Not applicable. No telecommunications proposed.

E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	Applicable. Applies to all use and development
E9.4 Use or development exempt from this Code	Not exempt. No Local Area Parking Scheme.
E9.5 Use Standards	
E9.5.1 Provision for parking	
E9.5.1-(A1) Provision for parking must be:	Compliant.
(a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;	E9 Traffic and Parking Code of the Scheme requires two car spaces per dwelling. The land has ample areas to allocate this provision. A Permit should require the applicable number of car parking spaces on the site.
E9.5.2 Provision for loading and unloading of vehicles	
E9.5.2-(A1) There must be provision within a site for:	(a) Not applicable. Not required for residential development.
(a) on-site loading area in accordance with the requirement in the Table to this Code; and	(a) Not applicable. Passenger pick-up and set-down facilities not required for residential development.
(b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.	

E9.6 Development Standards	
E9.6.2 Design of vehicle parking and loading areas	
E9.6.2 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and	Compliant. The site would be able to drain, collect and dispose of stormwater on-site, clear of building sites, wastewater site and access road. A Permit should require compliance with the Standard.
E9.6.2 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –	(a) Compliant. The site has ample area to make provision for circulation and parking areas and vehicle manoeuvring areas in accordance with AS/NZS 2890.1 (2004). A Permit should require compliance with the Standard.
(a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking;	(b) Not applicable. Applies where 20 spaces are proposed or required.
(b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles;	(c) Not applicable. Applies where 20 spaces are proposed or required.
(c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities;	(d) Not applicable. Applies where 20 spaces are proposed or required.
(d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities;	(e) Compliant. The site has sufficient area to accommodate this requirement. A Permit should require compliance with the Standard.
(e) Each parking space must be separately accessed from the	

<p>internal circulation aisle within the site;</p> <p>(f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and</p> <p>(g) Be formed and constructed with compacted sub-base and an all-weather surface.</p>	<p>(f) Compliant. The site has sufficient area to accommodate this requirement. A Permit should require compliance with the Standard.</p> <p>(g) Compliant by condition. Internal roadway and car parking areas would be constructed with a compacted sub-base and an all-weather surface.</p>
<p>E9.6.2-(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.</p>	<p>Compliant by condition. Design and construction of access, vehicle circulation, movement and standing areas would be in accordance with the principles and requirements of the <i>Unsealed Roads Manual – Guideline for Good Practice</i> ARRB. A Permit should require compliance with the Standard.</p>
<p>E10 Water and Waterways Code</p>	<p>Not applicable. Not within 30m of a waterway.</p>
<p>Specific Area Plans</p>	<p>Not applicable. No Specific Area Plans apply to this area.</p>

Issues –

1 Local Area Objectives and Desired Future Character Statements –

The purpose of the Rural Resource zone is to provide for the sustainable use and development of resources for agriculture, aquaculture, forestry, mining and other primary industries, including opportunity for resource production. The Rural Resource zones Local Area Objectives and Desired Future Character Statements together seek to promote use and development that is for primary industry purpose. The Local Area Objectives for the Rural Resource zone reference the requirement of use and development to be reliant upon, be associated with, or have an intention to use a naturally occurring resource (air, land and/or water) that is located on the subject site or adjoining land. The zone may provide for other use and development that does not constrain or conflict with resource development uses.

The Objectives seek to protect all agricultural land for sustainable agricultural production and collectively demonstrate that the primary intent of use and development in the Rural Resource zone is to minimise the loss of land for primary industry. Most particularly, minimise the loss of prime agricultural land, protect land that is located within a proclaimed irrigation district and to provide for uses that do not constrain, fetter or conflict with current or future resource development uses.

The subject proposal is not a use that is associated with primary industry. The proposal is for non-required Residential development (multiple dwellings x two). As such, the land is considered to be not appropriate for the proposed use, which could result in the constraint, fettering or interference with current or future resource development uses in the area.

The proposed use of the land is not able to satisfy the Local Area Objectives, primarily as the use does not rely on a resource that would be available on the site or on adjacent land.

Further, the proposal does not satisfy the majority of the relevant Desired Future Character Statements, primarily because the use would not result in agriculture, forestry, mining or extraction, utility or transportation activity.

2 *Development within the Kindred North Motton Proclaimed Irrigation District –*

The Central Coast municipal area accommodates two irrigation districts, proclaimed under Part 9 of the *Water Management Act 1999*. The Kindred North Motton Irrigation District, proclaimed in August 2012, and the Dial Blythe Irrigation District, proclaimed in February 2014.

The proposed development would be on land that is located within the Kindred North Motton Irrigation District.

The Kindred North Motton Irrigation District comprises 8,483ha and is expected to have the capacity to supply 2,500ML of water over the summer irrigation period, giving water security to affected lands. The Scheme is intended to service pasture and cropping land around the settlements of Kindred, Sprent, Abbotsham, Forth, Gawler, Ulverstone and North Motton. Currently, the production of potatoes, other vegetables, poppies, cereals, pyrethrum, berries and dairy produce are the primary activities in these areas.

It is considered the proposed development would exclude the property from future broad scale irrigation and associated resource production. Development would place a sensitive use within a recently established irrigation district, where surrounding property may also be able to benefit and augment production from the “roll out” of the Irrigation Scheme.

3 *Discretionary Non-Required Residential Use on Rural Resource land –*

The proposed development does not meet the Scheme's Standards of Clause 26.3.3-(A1) for a non-required “Residential” use to locate on Rural Resource land. It is mandatory that the proposal satisfies the Scheme’s Performance Criteria.

Performance Criteria 26.3.3-(P1) states the following:

“ Residential use that is not required as part of other use must-

- (a) be consistent with local area objectives;
- (b) be consistent with any applicable desired future character statement;

-
- (c) be on a site within which the existing or proposed development area –
 - (i) is not capable by reason of one or more of factors of topography, resource capability, size or shape of being utilised for resource development or extractive industry use; and
 - (ii) is not capable of utilisation in the operations of a resource development or extract industry use; and
 - (iii) does not constrain or interfere with existing or potential resource development or extractive industry use of land including the balance area on the site.
 - (d) not be likely to impose an immediate demand or contribute to a cumulative requirement for public provision or improvement in reticulated or alternate arrangements for utilities, road access, or community service.”

The proposal is not able to satisfy the Performance Criteria. The subject property located at Stubbs Road was subdivided in 1979 and up until this time has been used for resource production. The proposal does not require to be located on Rural Resource land to access a naturally occurring resource on the subject site, or to access infrastructure only available on the subject site or adjacent land.

It is considered the proposal fails on the need to be reliant upon a primary industry resource, would constrain the future use of the land for primary industry and may constrain adjoining land and other land in the immediate vicinity from resource production activity.

4 *The development of a sensitive use on Rural Resource land –*

Residential development is defined as a “sensitive use” under the Scheme. The Scheme’s Acceptable Solution 26.4.1 requires that a sensitive use be setback a minimum of 200m from agricultural land. This is to minimise the proximity of a sensitive use to agricultural operational activities. Close proximity, less than 200m, may result in the conflict, interference or fettering of primary industry activity on adjoining agricultural land. Conflict may arise where a non-required residential use locates in close proximity to primary industry due to

differing expectations, the spraying of agricultural chemicals, pivot irrigation noise and spray, dust, and the activities of planting, ongoing maintenance and the harvesting of crops that may give rise to a nuisance to occupants of an adjoining sensitive use. In this case the property also adjoins a Private Timber Reserve and is within 950m of a blasting quarry.

The Scheme’s Performance Criteria 26.4.3–(P1) requires that the new sensitive use must minimise all of the following:

- “(a) permanent loss of land for existing and potential primary industry use;
- (b) likely constraint or interference to existing and potential primary industry use on the site and on adjacent land;
- (c) permanent loss of land within a proclaimed irrigation district under Part 9 of the Water Management Act 1999 or land that may benefit from the application of broad-scale irrigation development; and
- (d) adverse effect on the operability and safety of a major road, a railway or a utility.”

It is considered the proposed residential development would result in the permanent loss of land for existing and potential primary industry use. The proposed 75m and 45m side setbacks from agricultural land would result in a likely constraint, interference or/and fettering of primary industry activity on subject land or, more particularly, on adjacent land.

Referral advice –

Referral advice from the various Departments of the Council and other service providers is as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	No comment.
Infrastructure Services	No comment.
TasWater	Not applicable.

Department of State Growth	Not applicable.
Environment Protection Authority	Not applicable.
TasRail	Not applicable.
Heritage Tasmania	Not applicable.
Crown Land Services	Not applicable.
Other	Not applicable.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- . a site notice was posted;
- . letters to adjoining owners were sent; and
- . an advertisement was placed in the Public Notices section of The Advocate.

Representations –

Two representations were received within the prescribed time, copies of which are provided at Annexure 3.

The representations are summarised and responded to as follows:

MATTER RAISED	RESPONSE
REPRESENTATION 1	
1 The property in question has been a productive piece of land for grazing, the cropping of potatoes, barley and raspberries and is a valuable rural asset.	The matter of the loss of productive primary industry land to non-required residential use is discussed in the “Issues” section of this report.
2 The bush aspect of the property should be retained as a “green” belt.	There is no suggestion or application for the clearing of land along the tributary to Clayton Rivulet.

3 Intensive farming operations are undertaken nearby.	This is noted. The land in this area is prime agricultural land within the Kindred North Motton Irrigation District.
4 The Council should uphold its Rural Resource policy.	There is no Rural Resource policy. The representor is most likely making reference to the Scheme and the Objectives contained within the Scheme for the Rural Resource zone.
5 The matter of two dwellings raises concern. Why two dwellings? For a rural undertaking a single dwelling with an outbuilding is sufficient.	The application is for two dwellings that together would accommodate up to 12 people. The applicant proposes to reside in the smaller dwelling while constructing the main building.
REPRESENTATION 2	
1 The access road shown on the site plan is a right of way access to other private property. The proposal refers to this road as 'public road/private road' and it is not.	This is correct. Any development on site would need to form a legitimate access to the property off Stubbs Road.

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council's determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The representations received are deemed to have merit. The proposed use and development of the land for Residential (multiple dwellings x two) – discretionary use class in Rural Resource Zone and variation to location of a sensitive use would place a “sensitive use” within the surrounds of an area that relies on primary industry, including agriculture, forestry and extractive industry, as the principal means of income and activity. It is considered the potential for land use conflict between primary industry and a non-required residential use is likely.

The proposed development is not able to meet key Local Area Objectives and Performance Criteria that seek to protect land for primary industry purpose. The proposed use is not a primary industry use of the site, would not be dependent upon access to a primary industry that is dependent upon a naturally occurring resource and the development would not augment ongoing farm operations.

It is considered the proposal would result in the permanent loss of viable agricultural land within the proclaimed Kindred North Motton Irrigation District.

Recommendation –

It is recommended that the application for Residential (multiple dwellings x two) – discretionary use class in the Rural Resource Zone and variation to location of a sensitive use at CT7334/4 Stubbs Road be refused on the following grounds:

- 1 The proposal is not able to satisfy the Local Area Objectives for development and use in the Rural Resource zone in that the proposed use and development would not protect agricultural land for sustainable, agricultural production and would not be reliant upon, be associated with, or have an intention to use a naturally occurring resource that is located on the subject site or adjoining land.
- 2 The proposal is not able to satisfy Performance Criteria for “Residential use” as stipulated under Clause 26.3.3-(P1) in that the proposed use and development would not be utilised for resource development or extractive industry, would result in the loss of agricultural land that is located within the proclaimed Kindred North Motton Irrigation District and would constrain or fetter surrounding primary industry activity.
- 3 The development is not able to satisfy the Performance Criteria relative to the “Location of Development for Sensitive Uses” as stipulated under

Clause 26.4.3-(P1), in that development less than 200m from agricultural land may result in the constraint, fettering or conflict with current or future resource development uses on the subject or adjoining land.’

The report is supported.”

The Director Community Services reported as follows:

“Copies of the Annexures referred to in the Town Planner’s report have been circulated to all Councillors.”

■ Cr Viney moved and Cr Downie seconded “That the application for Residential (multiple dwellings x two) – discretionary use class in the Rural Resource Zone and variation to location of a sensitive use at CT7334/4 Stubbs Road be refused on the following grounds:

- 1 The proposal is not able to satisfy the Local Area Objectives for development and use in the Rural Resource zone in that the proposed use and development would not protect agricultural land for sustainable, agricultural production and would not be reliant upon, be associated with, or have an intention to use a naturally occurring resource that is located on the subject site or adjoining land.
- 2 The proposal is not able to satisfy Performance Criteria for “Residential use” as stipulated under Clause 26.3.3-(P1) in that the proposed use and development would not be utilised for resource development or extractive industry, would result in the loss of agricultural land that is located within the proclaimed Kindred North Motton Irrigation District and would constrain or fetter surrounding primary industry activity.
- 3 The development is not able to satisfy the Performance Criteria relative to the “Location of Development for Sensitive Uses” as stipulated under Clause 26.4.3-(P1), in that development less than 200m from agricultural land may result in the constraint, fettering or conflict with current or future resource development uses on the subject or adjoining land.”

Voting for the motion
(4)
Cr Bonde
Cr Downie
Cr Viney
Ms Sandra Ayton

Voting against the motion
(2)
Cr van Rooyen
Cr Carpenter

Motion Carried

The meeting noted at this time that, as the matter could not be determined unanimously, it must accordingly be referred to a meeting of the Council for a decision.

Closure

There being no further business, the Mayor declared the meeting closed at 6.20pm.

CONFIRMED THIS DAY OF , 2017.

Chairperson

(cvv:km)

QUALIFIED PERSON'S ADVICE

The *Local Government Act 1993* provides (in part) as follows:

. A general manager must ensure that any advice, information or recommendation given to the council is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation.

. A council is not to decide on any matter which requires the advice of a qualified person without considering such advice unless the general manager certifies in writing that such advice was obtained and taken into account in providing general advice to the council.

I therefore certify that with respect to all advice, information or recommendation provided to the Development Support Special Committee within these minutes:

(i) the advice, information or recommendation was given by a person who has the qualifications or experience necessary to give such advice, information or recommendation; and

(ii) where any advice was directly given by a person who did not have the required qualifications or experience that person has obtained and taken into account in that person's general advice the advice from an appropriately qualified or experienced person.



Sandra Ayton
GENERAL MANAGER

Minutes of an ordinary meeting of the Development Support Special Committee held in the Council Chamber of the Administration Centre, 19 King Edward Street, Ulverstone on Monday, 24 April 2017 commencing at 6.00pm

Members attendance

Cr Jan Bonde (Mayor)
Cr Kathleen Downie (proxy)
Ms Sandra Ayton

Cr Garry Carpenter
Cr Tony van Rooyen

Members apologies

Cr Philip Viney

Employees attendance

Director Community Services (Mr Cor Vander Vlist)
Land Use Planning Group Leader (Mr Ian Sansom)

Public attendance

One member of the public attended during the course of the meeting.

CONFIRMATION OF MINUTES OF THE COMMITTEE

25/2017 Confirmation of minutes

The Director Community Services reported as follows:

“The minutes of the previous meeting of the Development Support Special Committee held on 10 April 2017 have already been circulated. The minutes are required to be confirmed for their accuracy.

The *Local Government (Meeting Procedures) Regulations 2015* provide that in confirming the minutes of a meeting, debate is allowed only in respect of the accuracy of the minutes.”

- Cr Carpenter moved and Cr Downie seconded, “That the minutes of the previous meeting of the Development Support Special Committee held on 10 April 2017 be confirmed.”

Carried unanimously

MAYOR'S COMMUNICATIONS

26/2017 Mayor's communications

The Mayor reported as follows:

"Under the terms of appointment of the Development Support Special Committee, it acts in agreed circumstances as if it were the Council and, accordingly, as a planning authority under the *Land Use Planning and Approvals Act 1993*.

Members are reminded that the *Local Government (Meeting Procedures) Regulations 2015* provide that the general manager is to ensure that the reasons for a decision by a council acting as a planning authority are recorded in the minutes.

In the event that items listed for consideration are referred, under the terms of the Committee's appointment, to the Council (e.g. any matter the Committee cannot determine unanimously), or if the Committee is unable to make a determination within the relevant statutory time limit, such items will be referred to a meeting of the Council for a decision."

- Cr Downie moved and Cr van Rooyen seconded, "That the Mayor's report be received."

Carried unanimously

DECLARATIONS OF INTEREST

27/2017 Declarations of interest

The Mayor reported as follows:

"Members are requested to indicate whether they have, or are likely to have, a pecuniary (or conflict of) interest in any item on the agenda."

The Director Community Services reported as follows:

"The *Local Government Act 1993* provides that a member must not participate at any meeting of a special committee in any discussion, nor vote on any matter, in respect of which the member has an interest or is aware or ought to be aware that a close associate has an interest.

Members are invited at this time to declare any interest they have on matters to be discussed at this meeting. If a declaration is impractical at this time, it is to be noted that a member must declare any interest in a matter before any discussion on that matter commences.

All interests declared will be recorded in the minutes at the commencement of the matter to which they relate.”

No interests were declared at this time.

ADJOURNMENT OF MEETING

28/2017 Adjournment of meeting

The Mayor reported as follows:

“In order to effectively consider the reports before this meeting of the Committee it is appropriate that I adjourn the meeting to enable the related documents to be workshopped prior to resumption of the meeting and formal resolution of the agenda items.”

The workshop commenced at 6.01pm. The workshop having been concluded, the Mayor resumed the meeting at 6.05pm.

DEPUTATIONS

29/2017 Deputations

The Director Community Services reported as follows:

“No requests for deputations to address the meeting or to make statements or deliver reports have been made.”

OPEN REPORTS

30/2017 Residential (dwelling) – variation to privacy standard and width of garage opening at 19 Southern Cross Drive, Ulverstone – Application No. DA216173

The Director Community Services reported as follows:

“The Town Planner has prepared the following report:

<i>‘DEVELOPMENT APPLICATION No.:</i>	DA216173
<i>PROPOSAL:</i>	Residential (dwelling) – variation to privacy standard and width of garage opening
<i>APPLICANT:</i>	Nicholas Brandsema
<i>LOCATION:</i>	19 Southern Cross Drive, Ulverstone
<i>ZONE:</i>	General Residential
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013 (the Scheme)</i>
<i>ADVERTISED:</i>	22 March 2017
<i>REPRESENTATIONS EXPIRY DATE:</i>	5 April 2017
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	28 April 2017 (extension granted until 15 May 2017)
<i>DECISION DUE:</i>	24 April 2017

PURPOSE

The purpose of this report is to consider an application to construct a two-storey brick dwelling at 19 Southern Cross Drive, Ulverstone.

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs;
- . Annexure 5 – TasWater Submission to Planning Authority Notice TWDA 2017/00373-CC.

BACKGROUND

Development description -

Application is made to construct a 370m² two-storey brick veneer dwelling on a vacant parcel of residential land at 19 Southern Cross Drive, Ulverstone. The first floor would be accessible from Southern Cross Drive and would comprise an internal two car garage, four bedrooms, ensuite and bathroom, living room and an open plan kitchen/lounge/dining area opening to a raised deck with a glass balustrade. The lower ground floor would accommodate a rumpus room with a bar, laundry storage room and toilet.

Site description and surrounding area -

The subject site is an 789m² residential allotment that forms part of the "Braids Estate" subdivision area in Ulverstone. The land slopes quite steeply away from the primary frontage towards the rear of the allotment and offers extensive views over the Ulverstone township towards Bass Strait. Surrounding land is developed to accommodate residential dwellings, with recent applications approved by the Council, under construction. A two-storey dwelling adjoins the land to the west and the adjoining allotment to the east is vacant.

Sewer and stormwater connections are located at the rear north-western corner of the lot.

History -

No history relevant to this application.

DISCUSSION

The following table is an assessment of the relevant Scheme provisions:

General Residential

CLAUSE	COMMENT
10.3.1 Discretionary Permit Use	
<p>10.3.1-(P1) Discretionary permit use must:</p> <p>(a) be consistent with local area objectives;</p> <p>(b) be consistent with any applicable desired future character statement; and</p> <p>(c) minimise likelihood for adverse impact on amenity for use on adjacent land in the zone.</p>	<p>Not applicable.</p> <p>Residential use is Permitted.</p>
10.3.2 Impact of Use	
<p>10.3.2-(A1) Permitted non-residential use must adjoin at least one residential use on the same street frontage.</p>	<p>Not applicable.</p> <p>Use is contained within a dwelling.</p>
<p>10.3.2-(A2) Permitted non-residential use must not generate more than 40 average daily vehicle movements.</p>	<p>Not applicable.</p> <p>Use is contained within a dwelling.</p>

<p>10.3.2-(A3) Other than for emergency services, residential, and visitor accommodation, hours of operation must be between 6.00am and 9.00pm.</p>	<p>Not applicable. Use is residential.</p>
<p>10.4.1 Residential density for multiple dwellings</p>	
<p>10.4.1-(A1) Multiple dwellings must have a site area per dwelling of not less than:</p> <p>(a) 325m²; or</p> <p>(b) if within a density area specified in Table 10.4.1 below and shown on the planning scheme maps, that specified for the density area.</p>	<p>Not applicable. Not an application for multiple dwellings.</p>
<p>10.4.2 Setbacks and building envelope for all dwellings</p>	
<p>10.4.2-(A1) Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, at least 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or</p>	<p>(a) Compliant. Setback from primary frontage would be 9.43m.</p> <p>(b) Not applicable. Satisfied by (a).</p> <p>(c) Not applicable. Satisfied by (a).</p> <p>(d) Not applicable. Land does not abut the Bass Highway.</p>

<p>(b) if the frontage is not a primary frontage, at least 3.0m, or, if the setback from the frontage is less than 3.0m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>(d) if the development is on land that abuts a road specified in Table 10.4.2, at least that specified for the road.</p>	
<p>10.4.2-(A2) A garage or carport must have a setback from a primary frontage of at least:</p> <p>(a) 5.5m, or alternatively 1.0m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1.0m, if the natural ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10.0m from the frontage.</p>	<p>(a) Compliant. Garage would be setback 10.6m from primary frontage.</p> <p>(b) Not applicable. Satisfied by (a).</p> <p>(c) Not applicable. Site is relatively flat.</p>
<p>10.4.2-(A3) A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p>	<p>(a)(i) Compliant. Dwelling would be contained in building envelope 10.4.2A. Dwelling would be setback 9.55m from the rear boundary.</p>

<p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> <ul style="list-style-type: none"> (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3.0m above natural ground level at the side boundaries and a distance of 4.0m from the rear boundary to a building height of not more than 8.5m above natural ground level; and <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <ul style="list-style-type: none"> (i) does not extend beyond an existing building built on or within 0.2m of the boundary or the adjoining lot; or (ii) does not exceed a total length of 9.0m or one-third the length of the side boundary (whichever is the lesser). 	<p>(a)(ii) Compliant. Dwelling (excluding eaves and awnings not more than 600mm) would project at a line of 45° at a height of 3m above natural ground level with dwelling setback 9.55m from rear boundary.</p> <p>(b)(i) Not applicable. Satisfied by (b)(ii).</p> <p>(b)(ii) Compliant. Dwelling would be setback 1.59m from the western side boundary and 970mm from the eastern side boundary for a length of 6.54m.</p>
<p>10.4.3 Site coverage and private open space for all dwellings</p>	
<p>10.4.3-(A1) Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and</p>	<p>(a) Compliant. Site coverage of proposed development would be 46.8%.</p>

<p>(b) for multiple dwellings, a total area of private open space of not less than 60.0m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) a site area of which at least 25% of the site area is free from impervious surfaces.</p>	<p>(b) Not applicable. No multiple dwelling development proposed.</p> <p>(c) Compliant. Area free from impervious surfaces would be 53.2%.</p>
<p>10.4.3–(A2) A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24.0m²; or</p> <p>(ii) 12.0m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4.0m; or</p> <p>(ii) 2.0m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p>	<p>(a)(i) Compliant. Dwelling would have ample open space area, including an upper level deck area of 50m².</p> <p>(a)(ii) Not applicable. Not a multiple dwelling.</p> <p>(b)(i) Compliant. Dwelling would have a raised deck area with a minimum horizontal dimension of 5m.</p> <p>(b)(ii) Not applicable. Satisfied by (b)(i).</p> <p>(c) Compliant. Private open space would be directly accessible from habitable rooms.</p> <p>(d) Compliant. Private open space is to the north of the dwelling.</p> <p>(e) Compliant. Private open space is not located between the dwelling and the primary frontage.</p>

<p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least three hours of sunlight to 50% of the area between 9.00am and 3.00pm on 21 June; and</p> <p>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p> <p>(g) is not used for vehicle access or parking.</p>	<p>(f) Compliant. Deck is flat.</p> <p>(g) Compliant. Dwelling would have private open space area clear of vehicle access and parking areas.</p>
<p>10.4.4 Sunlight and overshadowing for all dwellings</p>	
<p>10.4.4-(A1) A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north (see Diagram 10.4.4A).</p>	<p>Compliant.</p> <p>Habitable rooms face north.</p>
<p>10.4.4-(A2) A multiple dwelling that is to the north of a window of a habitable room (other than a bedroom) of another dwelling on the same site, which window faces between 30 degrees west of north and</p>	<p>Not applicable.</p> <p>Not multiple dwelling development.</p>

<p>30 degrees east of north (see Diagram 10.4.4A), must be in accordance with (a) or (b), unless excluded by (c):</p> <p>(a) The multiple dwelling is contained within a line projecting (see Diagram 10.4.4B):</p> <ul style="list-style-type: none"> (i) at a distance of 3.0m from the window; and (ii) vertically to a height of 3.0m above natural ground level and then at an angle of 45 degrees from the horizontal. <p>(b) The multiple dwelling does not cause the habitable room to receive less than three hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <ul style="list-style-type: none"> (i) an outbuilding with a building height no more than 2.4m; or (ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6m horizontally from the multiple dwelling. 	
<p>10.4.4-(A3) A multiple dwelling, that is to the north of the private open space, of another dwelling on the same site, required in accordance with A2 or P2 of subclause 10.4.3, must be in accordance with (a) or (b), unless excluded by (c):</p>	<p>Not applicable.</p> <p>Not multiple dwelling development.</p>

<p>(a) The multiple dwelling is contained within a line projecting (see Diagram 10.4.4C):</p> <ul style="list-style-type: none"> (i) at a distance of 3.0m from the northern edge of the private open space; and (ii) vertically to a height of 3.0m above natural ground level and then at an angle of 45 degrees from the horizontal. <p>(b) The multiple dwelling does not cause 50% of the private open space to receive less than three hours of sunlight between 9.00am and 3.00pm on 21 June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <ul style="list-style-type: none"> (i) an outbuilding with a building height no more than 2.4m; or (ii) protrusions (such as eaves, steps, and awnings) that extend no more than 0.6m from the multiple dwelling. 	
<p>10.4.5 Width of openings for garages and carports for all dwellings</p>	
<p>10.4.5-(A1) A garage or carport within 12.0m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage of not more than 6.0m or half the width of the frontage (whichever is the lesser).</p>	<p>Compliant.</p> <p>Garage would have an opening width of 6m.</p>

10.4.6 Privacy for all dwellings

10.4.6-(A1) A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1.0m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:

- (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3.0m from the side boundary; and
- (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4.0m from the rear boundary; and
- (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6.0m:
 - (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or
 - (ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.

- (a) Compliant. Upper level deck would be setback 1.59m from western side boundary and would have a 1.7m high glass screen with 25% uniform transparency.
- (b) Compliant. Upper level deck would be setback 10.7m from rear boundary.
- (c)(i) Not applicable. Not a multiple dwelling.
- (c)(ii) Not applicable. Not a multiple dwelling.

<p>10.4.6-(A2) A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1.0m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <ul style="list-style-type: none"> (i) is to have a setback of at least 3.0m from a side boundary; and (ii) is to have a setback of at least 4.0m from a rear boundary; and (iii) if the dwelling is a multiple dwelling, is to be at least 6.0m from a window or glazed door, to a habitable room, of another dwelling on the same site; and (iv) if the dwelling is a multiple dwelling, is to be at least 6.0m from the private open space of another dwelling on the same site. <p>(b) The window or glazed door:</p> <ul style="list-style-type: none"> (i) is to be offset, in the horizontal plane, at least 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; or (ii) is to have a sill height of at least 1.7m above the floor 	<p>(a)(i) Non-compliant. Upper level habitable lounge room would be setback a minimum of 1.59m from the western side boundary and the dwelling's ensuite would be 970mm from the eastern side boundary.</p> <p>See "Issues" section of this report.</p> <p>(a)(ii) Compliant. Upper level habitable rooms would be setback approximately 11m from the rear boundary.</p> <p>(a)(iii) Not applicable. Not a multiple dwelling.</p> <p>(a)(iv) Not applicable. Not a multiple dwelling.</p> <p>(b)(i) Non-compliant. Lounge room windows would be in a horizontal plane to the study of the adjoining dwelling to the west.</p> <p>See "Issues" section of this report.</p> <p>(b)(ii) Non-compliant. Lounge room windows do not have a sill height 1.7m above floor level.</p> <p>(b)(iii) Non-compliant. No screen proposed.</p> <p>See "Issues" section of this report.</p>
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<p>level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7m above floor level, with a uniform transparency of not more than 25%.</p>	
<p>10.4.6–(A3) A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of at least:</p> <p>(a) 2.5m; or</p> <p>(b) 1.0m if:</p> <p>(i) it is separated by a screen of at least 1.7m in height; or</p> <p>(ii) the window, or glazed door, to a habitable room has a sill height of at least 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of at least 1.7m above the floor level.</p>	<p>Not applicable.</p> <p>No shared driveway or parking spaces.</p>
<p>10.4.7 Frontage fences for all dwellings</p>	
<p>10.4.7–(A1) A fence (including a free-standing wall) within 4.5m of a frontage must have a height above natural ground level of not more than:</p>	<p>Not applicable.</p> <p>No front fence proposed.</p>

<ul style="list-style-type: none"> (a) 1.2m if the fence is solid; or (b) 1.8m, if any part of the fence that is within 4.5m of a primary frontage has openings above a height of 1.2m which provide a uniform transparency of not less than 30% (excluding any posts or uprights). 	
<p>10.4.8 Waste storage for multiple dwellings</p>	
<p>10.4.8-(A1) A multiple dwelling must have a storage area, for waste and recycling bins, that is an area of at least 1.5m² per dwelling and is within one of the following locations:</p> <ul style="list-style-type: none"> (a) in an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or (b) in a communal storage area with an impervious surface that: <ul style="list-style-type: none"> (i) has a setback of at least 4.5m from a frontage; and (ii) is at least 5.5m from any dwelling; and (iii) is screened from the frontage and any dwelling by a wall to a height of at least 1.2m above the finished surface level of the storage area. 	<p>Not applicable.</p> <p>Not multiple dwelling development.</p>

10.4.9 Suitability of a site or lot for use or development

10.4.9-(A1) A site or each lot on a plan of subdivision must:

- (a) have an area of not less than 330m² excluding any access strip; and
- (b) if intended for a building, contain a building area of not less than 10.0m x 15.0m:
 - (i) clear of any applicable setback from a frontage, side or rear boundary;
 - (ii) clear of any applicable setback from a zone boundary;
 - (iii) clear of any registered easement;
 - (iv) clear of any registered right of way benefiting other land;
 - (v) clear of any restriction imposed by a Utility;
 - (vi) not including an access strip;
 - (vii) accessible from a frontage or access strip; and
 - (viii) if a new residential lot, with a long axis within the range 30 degrees east of north and 20 degrees west of north.

- (a) Compliant. Site area is 789m².
- (b)(i) Compliant. Building area of dwelling would be clear of front, rear and side boundaries.
- (b)(ii) Not applicable. No zone boundary.
- (b)(iii) Compliant. Clear of registered easement in rear north-western corner.
- (b)(iv) Not applicable. No registered right of way.
- (b)(v) Not applicable. No restriction imposed by a Utility.
- (b)(vi) Not applicable. No access strip.
- (b)(vii) Compliant. Land is accessible from Southern Cross Drive.
- (b)(viii) Not applicable. Not a new residential lot.

<p>10.4.9–(A2) A site or each lot on a subdivision plan must have a separate access from a road –</p> <p>(a) across a frontage over which no other land has a right of access; and</p> <p>(b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or</p> <p>(c) by a right of way connecting to a road –</p> <p style="padding-left: 20px;">(i) over land not required as the means of access to any other land; and</p> <p style="padding-left: 20px;">(ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right of way of not less than –</p> <p style="padding-left: 20px;">(i) 3.6m for a single dwelling development; or</p> <p style="padding-left: 20px;">(ii) 6.0m for multiple dwelling development or development for a non-residential use; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act</i></p>	<p>(a) Compliant. Frontage to Southern Cross Drive.</p> <p>(b) Not applicable. Not an internal lot.</p> <p>(c)(i) Not applicable. Satisfied by (a).</p> <p>(c)(ii) Not applicable. Satisfied by (a).</p> <p>(d)(i) Compliant. Development would have 13.79m wide frontage to Southern Cross Drive.</p> <p>(d)(ii) Not applicable. Not multiple dwelling or non-residential development.</p> <p>(e) Compliant. Development would have legal access to Southern Cross Drive in accordance with the <i>Local Government (Highways) Act 1982</i>.</p>
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<p>1935 must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	
<p>10.4.9–(A3) A site or each lot on a plan of subdivision must be capable of connecting to a water supply provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>.</p>	<p>Compliant.</p> <p>The site is connected to the reticulated water system. The Council’s Planning Permit would require compliance with TasWater’s approval, included as an attachment to the Planning Permit.</p>
<p>10.4.9–(A4) A site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and wastewater to a sewage system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>.</p>	<p>Compliant.</p> <p>The site is connected to the reticulated sewerage system. The Council’s Planning Permit would require compliance with TasWater’s approval, included as an attachment to the Planning Permit.</p>
<p>10.4.9–(A5) A site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>.</p>	<p>Compliant.</p> <p>The site is connected to the reticulated stormwater system. The Council’s Planning Permit would require compliance with its approval as a Stormwater Authority issued as a Statement of Compliance.</p>

10.4.10 Dwelling density for single dwelling development	
<p>10.4.10-(A1)</p> <p>(a) The site area per dwelling for a single dwelling must –</p> <p style="padding-left: 40px;">(i) be not less than 325m²; and</p> <p style="padding-left: 40px;">(ii) be not more than 830m²; or</p> <p>(b) The site is approved for residential use on a plan sealed before this planning scheme came into effect.</p>	<p>(a)(i) Compliant. Site area is 789m².</p> <p>(a)(ii) Compliant. Site area is 789m².</p> <p>(b) Not applicable. Satisfied by (a)(i) and (a)(ii).</p>
10.4.11 Development other than a single or multiple dwelling.	
10.4.11.1 Location and configuration of development	
<p>10.4.11.1-(A1) The wall of a building must be set back from a frontage –</p> <p>(a) not less than 4.5m from a primary frontage; and</p> <p>(b) not less than 3.0m from any secondary frontage; or</p> <p>(c) not less than and not more than the setbacks for any existing building on adjoining sites;</p> <p>(d) not less than for any building retained on the site;</p>	<p>Not applicable.</p> <p>Proposed development is residential.</p>

<p>(e) in accordance with any building area shown on a sealed plan; or</p> <p>(f) not less than 50.0m if the site abuts the Bass Highway.</p>	
<p>10.4.11.1-(A2) All buildings must be contained within a building envelope determined by –</p> <p>(a) the applicable frontage setback;</p> <p>(b) a distance of not less than 4.0m from the rear boundary or if an internal lot, a distance of 4.5m from the boundary abutting the rear boundary of the adjoining frontage site;</p> <p>(c) projecting a line at an angle of 45 degrees from the horizontal at a height of 3.0m above natural ground level at each side boundary and at a distance of 4.0m from the rear boundary to a building height of not more than 8.5m above natural ground level if walls are setback –</p> <p>(i) not less than 1.5m from each side boundary; or</p> <p>(ii) less than 1.5m from a side boundary if –</p> <p style="padding-left: 40px;">a. built against an existing wall of an adjoining building; or</p> <p style="padding-left: 40px;">b. the wall or walls –</p>	<p>Not applicable.</p> <p>Proposed development is residential.</p>

<ul style="list-style-type: none"> i. have the lesser of a total length of 9.0m or one-third of the boundary with the adjoining land; ii. there is no door or window in the wall of the building; and iii. overshadowing does not result in 50% of the private open space of an adjoining dwelling receiving less than 3 hours of sunlight between 9.00am and 3.00pm on 21 June. <p>(d) in accordance with any building envelope shown on a sealed plan of subdivision.</p>	
<p>10.4.11.1-(A3) Site coverage must:</p> <ul style="list-style-type: none"> (a) not be more than 50%; or (b) not be more than any building area shown on a sealed plan. 	<p>Not applicable.</p> <p>Proposed development is residential.</p>
<p>10.4.11.1-(A4) A garage, carport or external parking area and any area for the display, handling, or storage of goods, materials or waste, must be located behind the primary frontage of a building.</p>	<p>Not applicable.</p> <p>Proposed development is residential.</p>

<p>10.4.11.1–(A5) Other than for a dwelling, the total width of openings in the frontage elevation of a garage or carport (whether freestanding or part of any other building) must be the lesser of:</p> <p>(a) 6.0m; or</p> <p>(b) half the width of the frontage.</p>	<p>Not applicable.</p> <p>Proposed development is residential.</p>
<p>10.4.11.2 Visual and acoustic privacy for residential development</p>	
<p>10.4.11.2–(A1) A door or window to a habitable room or any part of a balcony, deck, roof garden, parking space or carport of a building must:</p> <p>(a) if the finished floor level is more than 1.0m above natural ground level:</p> <p>(i) be not less than 6.0m from any door, window, balcony, deck, or roof garden in a dwelling on the same site;</p> <p>(ii) be not less than 3.0m from a side boundary;</p> <p>(iii) be not less than 4.0m from a rear boundary; and</p> <p>(iv) if an internal lot, be not less than 4.5m from the boundary abutting a rear boundary of an adjacent frontage site; or</p> <p>(b) if less than the setbacks in clause A1(a):</p>	<p>Not applicable.</p> <p>Proposed development is residential.</p>

<ul style="list-style-type: none"> (i) be off-set by not less than 1.5m from the edge of any door or window of another dwelling; (ii) have a window sill height of not less than 1.8m above floor level; (iii) have fixed glazing or screening with a uniform transparency of not more than 25% in that part of a door or window less than 1.7m above floor level; or (iv) have a fixed and durable external screen other than vegetation of not less than 1.8m height above the floor level with a uniform transparency of not more than 25% for the full width of the door, window, balcony, deck, roof garden, parking space, or carport. 	
<p>10.4.11.2-(A2) An access strip or shared driveway, including any pedestrian pathway and parking area, must be separated by a distance of not less than 1.5m horizontally and 1.5m vertically from the door or window to a dwelling or any balcony, deck, or roof garden in a dwelling.</p>	<p>Not applicable. Proposed development is residential.</p>
<p>10.4.11.3 Frontage fences</p>	
<p>10.4.11.3-(A1) The height of a fence, including any supporting retaining wall, on or within a frontage setback must be:</p> <ul style="list-style-type: none"> (a) not more than 1.2m if the fence is solid; or 	<p>Not applicable. Proposed development is residential.</p>

<p>(b) not more than 1.8m provided that part of the fence above 1.2m has openings that provide a uniform transparency of not less than 30%.</p>	
<p>10.4.12 Setback of development for sensitive use</p>	
<p>10.4.12-(A1) A building containing a sensitive use must be contained within a building envelope determined by:</p> <p>(a) the setback distance from the zone boundary as shown in the Table to this clause; and</p> <p>(b) projecting upward and away from the zone boundary at an angle of 45 degrees above the horizontal from a wall height of 3.0m at the required setback distance from the zone boundary.</p>	<p>(a) Not applicable. No zone boundary.</p> <p>(b) Not applicable. No zone boundary.</p>
<p>10.4.12-(A2) Development for a sensitive use must be not less than 50.0m from:</p> <p>(a) Bass Highway;</p> <p>(b) a railway;</p> <p>(c) land designated in the planning scheme for future road or rail purposes; or</p> <p>(d) a proclaimed wharf area.</p>	<p>(a) Compliant. Development would be greater than 424m from the Bass Highway.</p> <p>(b) Compliant. Development would be 1.4km from a railway line.</p> <p>(c) Not applicable. No land designated for future road or rail.</p> <p>(d) Not applicable. The nearest proclaimed wharf area is in Devonport approximately 15km to the east.</p>

10.4.13 Subdivision	
10.4.13-(A1) Each new lot on a plan of subdivision must be – (a) intended for residential use; (b) a lot required for public use by the State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a Statutory authority.	Not applicable. No subdivision proposed.
10.4.13-(A2) A lot, other than a lot to which A1(b) applies, must not be an internal lot	Not applicable. No subdivision proposed.
10.4.14 Reticulation of an electricity supply to new lots on a plan of subdivision	
10.4.14-(A1) Electricity reticulation and site connections must be installed underground.	Not applicable. No subdivision proposed.
CODES	
E1 Bushfire-Prone Areas Code	Not applicable. Site is not in a bushfire-prone area.
E2 Airport Impact Management Code	Not applicable. No Code in the Scheme.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing or conversion of vegetation.

E4 Change in Ground Level Code	Not applicable. No change in ground level greater than 1 m.
E5 Local Heritage Code	Not applicable. No Local Heritage Code in the Scheme.
E6 Hazard Management Code	Not applicable. Not within a hazard mapped area.
E7 Sign Code	Not applicable. No signage proposed.
E8 Telecommunication Code	Not applicable. No telecommunications proposed.
E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	Code applies to all development.
E9.4 Use or development exempt from this Code	Not exempt. No local Area Parking Scheme applies to the site.
E9.5 Use Standards	
E9.5.1 Provision for parking	
E9.5.1-(A1) Provision for parking must be: (a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;	(a) Compliant. Development comprises an internal two car garage.

E9.5.2 Provision for loading and unloading of vehicles	
E9.5.2-(A1) There must be provision within a site for:	Not applicable for the development of a single dwelling.
(a) on-site loading area in accordance with the requirement in the Table to this Code; and	
(b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.	
E9.6 Development Standards	
E9.6.2 Design of vehicle parking and loading areas	
E9.6.2 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and	Compliant by a Condition to be placed on the Permit.
E9.6.2 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –	Not applicable for the development of a single dwelling.
(a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking;	
(b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles;	

<p>(c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities;</p> <p>(d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities;</p> <p>(e) Each parking space must be separately accessed from the internal circulation aisle within the site;</p> <p>(f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and</p> <p>(g) Be formed and constructed with compacted sub-base and an all-weather surface.</p>	
<p>E9.6.2–(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.</p>	<p>Not applicable.</p> <p>Land is zoned General Residential.</p>
<p>E10 Water and Waterways Code</p>	<p>Not applicable. Site is not within 353m of a waterway or waterbody.</p>
<p>Specific Area Plans</p>	<p>No Specific Area Plans apply to this location.</p>

Issues -

1 *Privacy for all dwellings*

The Scheme's Acceptable Solution standard 10.4.6-(A1 and A2) "Privacy for all dwellings" requires development that is greater than 1m above ground level to be setback 3m from a side boundary and 4m from a rear boundary. This includes habitable rooms, decks, balcony's and car parking areas. If development is setback less than this, then buildings must have permanently fixed screens with a transparency of no more than 25%, or be off-set in the horizontal plane by 1.5m to windows and door of a habitable room of another dwelling, or include windows with a sill height of a least 1.7m above the floor level.

The upper level of the proposed dwelling would be setback 1.59m from the western side boundary and 970mm from the eastern side boundary. The upper level eastern side boundary development comprises an ensuite. No windows are proposed for the ensuite.

The upper level western side of the dwelling would have a deck area, lounge room and garage within 1.59 m of the adjoining property boundary. The deck would have a 1.7m high glass screen with a maximum transparency of 25%. The garage would not have windows. The lounge room would have two windows that would not be of translucent glass and would not be 1.7m above floor level.

Performance Criteria 10.4.6 - (A1 and A2) states development more than 1m above natural ground level must be screened or otherwise be designed to minimise overlooking of another dwelling or vacant land.

The development of the deck, with a 1.7m high translucent screen to the west, meets the Scheme's standard.

As best can be determined on the site, the windows of the proposed lounge room would overlook the lounge room windows of the adjoining property. The proposed windows do not meet the Scheme's standard as it is a mandatory requirement of the Scheme that the development must be screened or otherwise located or designed to minimise direct views into adjoining habitable rooms. This requirement can be applied as a condition to a Permit issued.

2 *Width of garage opening -*

The development comprises an internal two car garage with a 6m wide opening. Upon further assessment of the proposal it was determined that the garage opening was compliant with the Scheme's standard.

Referral advice -

Referral advice from the various Departments of the Council and other service providers is as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	No comment.
Infrastructure Services	No comment
TasWater	Refer to Submission to Planning Authority Notice TWDA 2017/00373-CC at Annexure 5.
Department of State Growth	No comment.
Environment Protection Authority	No comment.
TasRail	No comment.
Heritage Tasmania	No comment.
Crown Land Services	No comment.
Other	No comment.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- . a site notice was posted;
- . letters to adjoining owners were sent; and
- . an advertisement was placed in the Public Notices section of The Advocate.

Representations -

One representation was received within the prescribed time, a copy of which is provided at Annexure 3.

The representations are summarised and responded to as follows:

MATTER RAISED	RESPONSE
REPRESENTATION 1	
1 It would appear the proposed lounge room will be in the direct line of sight with the adjoining property's upper lounge room windows.	This would be the case. Refer to "Issues" section of this report.

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council's determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- Develop and manage sustainable built infrastructure.

CONCLUSION

The representation received has sufficient merit on planning grounds to justify the addition of a condition to any Permit issued, requiring privacy measures to be included in the design of the eastern lounge room.

The land is zoned General Residential. In summary, the key Local Area Objectives for the zone are:

- 1 Suburban residential areas make efficient use of land and optimise available and planned infrastructure provision through a balance of infill and redevelopment of established residential areas and the incremental release of new land.

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- 2 Suburban residential areas provide equivalent opportunity for single dwelling and multiple dwelling developments and for shared and supported accommodation through private, public and social investment.
 - 3 Suburban residential areas enable opportunity for convenient access to basic level services and facilities for education, health care, retail, social and recreational purposes.

The proposal is deemed to satisfy these Local Area Objectives. It is considered appropriate the proposed development be approved, subject to conditions.

Recommendation –

It is recommended that the application for Residential (dwelling) – variation to privacy standard and width of garage opening at 19 Southern Cross Drive, Ulverstone be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by CamTec Pty Ltd Sheet Nos. A100, A101, A102, A103, A104, A106 and A118 dated 3 March 2017, unless modified by a condition of this Permit.
- 2 Upper lounge room windows must be screened or otherwise located or designed to minimise direct views into adjoining habitable rooms.
- 3 The development must be in accordance with the conditions of the Submission to Planning Authority Notice from TasWater, Reference No. TWDA 2017/00373-CC dated 27 March 2017 (copy attached).
- 4 Stormwater from vehicle parking and manoeuvring areas must be collected, drained and disposed of to an approved stormwater system.

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period, an extension of time may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 “Substantial commencement” is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site or bank guarantee to undertake such works.

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- 3 Fencing to the frontage of the property to a height of 1.2m and fencing that is 30% transparent above 1.2m, to a maximum height of 1.8m, does not require a Permit.
 - 4 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is defined using the Determinations issued under the Building Act 2016 by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work.'

The report is supported.”

The Director Community Services reported as follows:

“Copies of the Annexures referred to in the Town Planner’s report have been circulated to all Councillors.”

■ Cr Carpenter moved and Cr van Rooyen seconded, “That the application for Residential (dwelling) – variations to privacy standard and width of garage opening at 19 Southern Cross Drive, Ulverstone be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by CamTec Pty Ltd Sheet Nos. A100, A101, A102, A103, A104, A106 and A118 dated 3 March 2017, unless modified by a condition of this Permit.
- 2 Upper lounge room windows must be screened or otherwise located or designed to minimise direct views into adjoining habitable rooms.
- 3 The development must be in accordance with the conditions of the Submission to Planning Authority Notice from TasWater, Reference No. TWDA 2017/00373-CC dated 27 March 2017 (copy attached) (a copy being appended to and forming part of the minutes).
- 4 Stormwater from vehicle parking and manoeuvring areas must be collected, drained and disposed of to an approved stormwater system.

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period, an extension of time may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.

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- 2 'Substantial commencement' is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site or bank guarantee to undertake such works.
 - 3 Fencing to the frontage of the property to a height of 1.2m and fencing that is 30% transparent above 1.2m, to a maximum height of 1.8m, does not require a Permit.
 - 4 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is defined using the Determinations issued under the Building Act 2016 by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work."

Carried unanimously

ADJOURNMENT OF MEETING

31/2017 Adjournment of meeting

The Mayor reported as follows:

"In order to effectively consider the reports before this meeting of the Committee it is appropriate that I adjourn the meeting to enable the related documents to be workshopped prior to resumption of the meeting and formal resolution of the agenda items."

The workshop commenced at 6.06pm. The workshop having been concluded, the Mayor resumed the meeting at 6.07pm.

32/2017 Resource processing (shed) – material light reflectance value greater than 40% at 341 Leith Road, Forth – Application No. DA216165

The Director Community Services reported as follows:

"The Graduate Planner has prepared the following report:

<i>'DEVELOPMENT APPLICATION NO.:</i>	DA216165
<i>PROPOSAL:</i>	Resource processing (shed)
<i>APPLICANT:</i>	Forth Holdings Pty Ltd
<i>LOCATION:</i>	341 Leith Road, Forth
<i>ZONE:</i>	Rural Resource
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013 (the Scheme)</i>

<i>ADVERTISED:</i>	18 March 2017
<i>REPRESENTATIONS EXPIRY DATE:</i>	1 April 2017
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	25 April 2017 (extension of time until 15 May 2017)
<i>DECISION DUE:</i>	24 April 2017

PURPOSE

The purpose of this report is to consider an application for a machinery storage shed at 341 Leith Road, Forth.

Accompanying the report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs.

BACKGROUND

Development description –

Application is made for the construction of a 36m x 12m machinery storage shed within the existing 52ha Harvest Moon agricultural site. The proposed shed would be approximately 265m north of the William Street residential area and would be ancillary to the existing agricultural use of the property.

The proposed shed would be constructed in “Colorbond” materials, and be clad in “Pale Eucalypt” colour. The shed would have a height of 6.57m and located within the vicinity of two other existing farm buildings.

Site description and surrounding area –

The 26.1 ha lot on which the shed would be sited forms part of a larger 52ha agricultural site operated by Harvest Moon, and which incorporates vegetable growing and processing operations.

The proposed shed would be within 37m of two existing machinery sheds and workshop and located approximately 150m from other processing infrastructure.

The site includes a dam located near the western edge of the site, 240m from Leith Road frontage.

History -

Harvest Moon commenced operations in approximately 1981. The Certificate of Title 29952/1 for the development site was transferred to Forth Valley Holdings in 1992.

DISCUSSION

The following table is an assessment of the relevant Scheme provisions:

26.0 Rural Resource Zone

CLAUSE	COMMENT
26.1.2 Local Area Objectives	
<p>(a) The priority purpose for rural land is primary industry dependent upon access to a naturally occurring resource;</p> <p>(b) Air, land and water resources are of importance for current and potential primary industry and other permitted use;</p> <p>(c) Air, land and water resources are protected against –</p> <p style="padding-left: 40px;">(i) permanent loss to a use or development that has no need or reason to locate on land containing such a resource; and</p> <p style="padding-left: 40px;">(ii) use or development that has potential to exclude or unduly conflict, constraint, or interfere with the practice of primary industry or any other use dependent on access to a naturally occurring resource;</p> <p>(d) Primary industry is diverse, dynamic, and innovative; and may occur on a range of lot sizes and at different levels of intensity;</p>	<p>(a)–(e) The existing Resource processing use and development would be consistent with the Local Area Objectives as the current use of the land is agricultural production and processing.</p> <p>(f)–(h) Not applicable. Only relates to non-resource development uses.</p>

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| <ul style="list-style-type: none">(e) All agricultural land is a valuable resource to be protected for sustainable agricultural production;(f) Rural land may be used and developed for economic, community, and utility activity that cannot reasonably be accommodated on land within a settlement or nature conservation area;(g) Rural land may be used and developed for tourism and recreation use dependent upon a rural location or undertaken in association with primary industry;(h) Residential use and development on rural land is appropriate only if –<ul style="list-style-type: none">(i) required by a primary industry or a resource based activity; or(ii) without permanent loss of land significant for primary industry use and without constraint or interference to existing and potential use of land for primary industry purposes. | |
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26.1.3 Desired Future Character Statements

- (a) may create a dynamic, extensively cultivated, highly modified, and relatively sparsely settled working landscape featuring –
 - (i) expansive areas for agriculture and forestry;
 - (ii) mining and extraction sites;
 - (iii) utility and transport sites and extended corridors; and
 - (iv) service and support buildings and work areas of substantial size, utilitarian character, and visual prominence that are sited and managed with priority for operational efficiency
- (b) may be interspersed with –
 - (i) small-scale residential settlement nodes;
 - (ii) places of ecological, scientific, cultural, or aesthetic value; and
 - (iii) pockets of remnant native vegetation
- (c) will seek to minimise disturbance to –
 - (i) physical terrain;

The proposed development would be associated with the existing agricultural production and processing use and would be consistent with the Desired Future Character Statements for use of land within the Rural Resource zone, particularly those relating to working landscape and support buildings and work areas being of substantial size and utilitarian character.

<ul style="list-style-type: none"> (ii) natural biodiversity and ecological systems; (iii) scenic attributes; and (iv) rural residential and visitor amenity; <p>(d) may involve sites of varying size -</p> <ul style="list-style-type: none"> (i) in accordance with the type, scale and intensity of primary industry; and (ii) to reduce loss and constraint on use of land important for sustainable commercial production based on naturally occurring resources; <p>(e) is significantly influenced in temporal nature, character, scale, frequency, and intensity by external factors, including changes in technology, production techniques, and in economic, management, and marketing systems.</p>	
<p>26.3 Use Standards</p>	
<p>26.3.1 Requirement for discretionary non-residential use to locate on rural resource land</p>	
<p>26.3.1-(P1) Other than for residential use, discretionary permit use must:</p>	<p>Resource processing is a discretionary use of land in the Rural Resource zone. However, Part C of the Scheme, Special Provisions, Clause 9.2 Development for Existing Discretionary</p>

<ul style="list-style-type: none"> (d) be consistent with local area objectives; (e) be consistent with any applicable desired future character statement; (f) be required to locate on rural resource land for operational efficiency: <ul style="list-style-type: none"> (i) to access a specific naturally occurring resource on the site or on adjacent land in the zone; (ii) to access infrastructure only available on the site or on adjacent land in the zone; (iii) to access a product of primary industry from a use on the site or on adjacent land in the zone; (iv) to service or support a primary industry or other permitted use on the site or on adjacent land in the zone; (v) if required – <ul style="list-style-type: none"> a. to acquire access to a mandatory site area not otherwise available in a zone intended for that purpose; 	<p>Uses requires that existing discretionary uses must be considered as Permitted where the development does not substantially intensify the use.</p> <p>The proposed machinery storage shed is not considered to be an intensification of the use. Consequently, the use is considered to be Permitted in accordance with Clause 9.2 of the Scheme.</p>
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<ul style="list-style-type: none"> b. for security; c. for public health or safety if all measures to minimise impact could create an unacceptable level of risk to human health, life or property if located on land in a zone intended for that purpose; (vi) to provide opportunity for diversification, innovation, and value-adding to secure existing or potential primary industry use of the site or of adjacent land; (vii) to provide an essential utility or community service infrastructure for the municipal or regional community or that is of significance for Tasmania; or (viii) if a cost-benefit analysis in economic, environmental, and social terms indicates significant benefits to the region; and (g) minimise likelihood for: <ul style="list-style-type: none"> (i) permanent loss of land for existing and potential primary industry use; (ii) constraint or interference to existing and potential primary industry use on the site and on adjacent land; 	
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<p>and</p> <p>(iii) loss of land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i> or land that may benefit from the application of broad-scale irrigation development.</p>	
<p>26.3.2 Required Residential Use</p>	
<p>26.3.2-(A1) Residential use required as part of a use must:</p> <p>(a) be an alteration or addition to an existing lawful and structurally sound residential building;</p> <p>(b) be an ancillary dwelling to an existing lawful and structurally sound single dwelling;</p> <p>(c) not intensify an existing lawful residential use;</p> <p>(d) replace a lawful existing residential use;</p> <p>(e) not create a new residential use through conversion of an existing building; or</p> <p>(f) be home based business in association with occupation of an existing lawful and structurally sound residential building; and</p>	<p>Not applicable.</p>

<p>(g) there is no change in the title description of the site on which the residential use is located.</p>	
<p>26.3.3 Residential use</p>	
<p>26.3.3-(A1) Residential use that is not required as part of an other use must:</p> <ul style="list-style-type: none"> (a) be an alteration or addition to an existing lawful and structurally sound residential building; (b) be an ancillary dwelling to an existing lawful and structurally sound single dwelling; (c) not intensify an existing lawful residential use; (d) not replace an existing residential use; (e) not create a new residential use through conversion of an existing building; (f) be an outbuilding with a floor area of not more than 100m² appurtenant to an existing lawful and structurally sound residential building; or (g) be home based business in association with occupation of an existing lawful and structurally sound residential building; and 	<p>Not applicable.</p>

<p>(h) there is no change in the title description of the site on which the residential use is located.</p>	
<p>26.4 Development Standards</p>	
<p>26.4.1 Suitability of a site or lot on a plan of subdivision for use or development</p>	
<p>26.4.1–(A1) A site or each lot on a plan of subdivision must:</p> <p>(a) unless for agricultural use, have an area of not less than 1.0 hectare not including any access strip; and</p> <p>(b) if intended for a building, contain a building area</p> <p>(i) of not more than 2,000m² or 20% of the area of the site, whichever is the greater unless a crop protection structure for an agricultural use;</p> <p>(ii) clear of any applicable setback from a frontage, side or rear boundary;</p> <p>(iii) clear of any applicable setback from a zone boundary;</p> <p>(iv) clear of any registered easement;</p> <p>(v) clear of any registered right of way benefiting other land;</p>	<p>(a) Compliant. Building would be subservient to resource development and processing use. Property is 52ha in area.</p> <p>(b)(i) Compliant. Proposed total building area on the development site = approx. 1117m². Which includes the existing and proposed sheds.</p> <p>(b)(ii) Compliant. Development would be clear of all applicable setback requirements. The shed would be sited 21.8m from the northern side boundary, approximately 300m from the southern side boundary, 490m to the eastern rear boundary and approximately 290m to the road frontage boundary (west).</p> <p>(b)(iii) Not applicable. No zone boundaries in this location.</p> <p>(b)(iv) Not applicable. No registered easements.</p>

<ul style="list-style-type: none"> (vi) clear of any restriction imposed by a utility; (vii) not including an access strip; (viii) accessible from a frontage or access strip. 	<ul style="list-style-type: none"> (b)(v) Not applicable. No right of way. (b)(vi) Not applicable. No restriction imposed by a Utility. (b)(v) Not applicable. No access strip. (b)(vi) Compliant. Development site is accessible and has frontage to Leith Road.
<p>26.4.1–(A2) A site or each lot on a subdivision plan must have a separate access from a road:</p> <ul style="list-style-type: none"> (a) across a frontage over which no other land has a right of access; and (b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or (c) by a right of way connecting to a road – <ul style="list-style-type: none"> (i) over land not required as the means of access to any other land; and (ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and 	<ul style="list-style-type: none"> (a) Compliant. Frontage and access from Leith Road. Leith Road frontage is 350m. (b) Not applicable. Satisfied by (a). (c) Not applicable. Satisfied by (a). (d) Not applicable. Satisfied by (a). (e) Compliant. Access has been provided previously and appears to be consistent with the requirements in force at the time.

<p>(d) with a width of frontage and any access strip or right of way of not less than 6.0m; and</p> <p>(e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	
<p>26.4.1–(A3) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of connecting to a water supply:</p> <p>(a) provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or</p> <p>(b) from a rechargeable drinking water system ^{R31} with a storage capacity of not less than 10,000 litres if:</p> <p>(i) there is not a reticulated water supply; and</p> <p>(ii) development is for:</p>	<p>Compliant.</p> <p>(a) Not applicable. Satisfied by (b).</p> <p>(b) Compliant. The site has an existing rechargeable drinking water system.</p>

<ul style="list-style-type: none"> a. a single dwelling; or b. a use with an equivalent population of not more than 10 people per day. 	
<p>26.4.1–(A4) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and liquid trade waste:</p> <ul style="list-style-type: none"> (a) to a sewerage system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or (b) by on-site disposal if: <ul style="list-style-type: none"> (i) sewage or liquid trade waste cannot be drained to a reticulated sewer system; and (ii) the development: <ul style="list-style-type: none"> a. is for a single dwelling; or b. provides for an equivalent population of not more than 10 people per day; or (iii) the site has capacity for on-site disposal of domestic 	<p>Compliant.</p> <ul style="list-style-type: none"> (a) Not applicable. Satisfied by (b). (b) Compliant. The site has an existing on-site wastewater management system.

<p>waste water in accordance with AS/NZS 1547:2000 On-site domestic-wastewater management clear of any defined building area or access strip.</p>	
<p>26.4.1-(A5) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater:</p> <p>(a) to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>; or</p> <p>(b) if stormwater cannot be drained to a stormwater system:</p> <p>(i) for discharge to a natural drainage line, water body or watercourse; or</p> <p>(ii) for disposal within the site if:</p> <p>a. the site has an area of not less than 5,000m²;</p> <p>b. the disposal area is not within any defined building area;</p> <p>c. the disposal area is not within any area required for the disposal of sewage;</p>	<p>Compliant by Condition.</p> <p>The site has an existing on-site stormwater collection and disposal system which the proposed shed would connect to.</p>

<p>d. the disposal area is not within any access strip; and</p> <p>e. not more than 50% of the site is impervious surface.</p>	
<p>26.4.2 Location and configuration of development</p>	
<p>26.4.2-(A1) A building or a utility structure, other than a crop protection structure for an agriculture use, must be setback:</p> <p>(a) not less than 20.0m from the frontage; or</p> <p>(b) not less than 50.0m if the development is for sensitive use on land that adjoins the Bass Highway;</p> <p>(c) not less than 10.0m from each side boundary; and</p> <p>(d) not less than 10.0m from the rear boundary; or</p> <p>(e) in accordance with any applicable building area shown on a sealed plan.</p>	<p>(a) Compliant. Proposed frontage setback to Leith Road would be 290m.</p> <p>(b) Not applicable. Land does not abut the Bass Highway.</p> <p>(c) Compliant. Proposed side boundary setbacks are 21.8m (north) and 300m (south).</p> <p>(d) Proposed rear setback is 490m.</p> <p>(e) Not applicable. No building area on a sealed plan.</p>
<p>26.4.2-(A2) Building height must be not more than 8.5m.</p>	<p>A3.1 Compliant. Proposed building height is 6.5m.</p>

<p>26.4.2 A3.1 A building or utility structure, other than a crop protection structure for an agricultural use or wind power turbines or wind power pumps, must –</p> <p>(a) not project above an elevation 15m below the closest ridgeline;</p> <p>(b) be not less than 30m from any shoreline to a marine or aquatic water body, water course, or wetland;</p> <p>(c) be below the canopy level of any adjacent forest or woodland vegetation; and</p> <p>(d) clad and roofed with materials with a light reflectance value of less than 40%.</p> <p>A3.2 Wind power turbines and wind power pumps must not exceed 20m in height.</p>	<p>(a) Compliant. Shed would be approximately 800m below the closest ridgeline being Braddons Lookout Road.</p> <p>(b) Compliant. Development would be 170m from the nearest water body, which is the dam located to the southern boundary.</p> <p>(c) Compliant. Development would be below the canopy level of adjacent vegetation to the north-east of the site.</p> <p>(d) Non-compliant.</p> <p>Refer to “Issues” section of this report.</p> <p>A3.2 Not applicable. Not a wind turbine or wind pump.</p>
<p>26.4.3 Location of development for sensitive uses</p>	
<p>26.4.3–(A1) New development, except for extensions to existing sensitive use where the extension is no greater than 30% of the existing gross floor area of the sensitive use, must –</p> <p>(a) be located not less than:</p>	<p>Not applicable.</p> <p>No new sensitive use proposed.</p>

<ul style="list-style-type: none">(i) 200m from any agricultural land;(ii) 200m from aquaculture, or controlled environment agriculture;(iii) 500m from the operational area boundary established by a mining lease issued in accordance with the <i>Mineral Resources Development Act 1995</i> if blasting does not occur; or(iv) 1000m from the operational area boundary established by a mining lease issued in accordance with the <i>Mineral Resources Development Act 1995</i> if blasting does occur; or(v) 500m from intensive animal husbandry;(vi) 100m from land under a reserve management plan;(vii) 100m from land designated for production forestry;(viii) 50.0m from a boundary of the land to the Bass Highway, or to a railway line; and(ix) clear of any restriction imposed by a utility; and	
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<p>(b) not be on land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i>, or land that may benefit from the application of broad-scale irrigation development.</p>	
<p>26.4.4 Subdivision</p>	
<p>26.4.4-(A1) Each new lot on a plan of subdivision must be –</p> <p>(a) a lot required for public use either State government, a Council, a Statutory authority or a corporation all the shares of which are held by or on behalf of the State, a Council or by a statutory authority.</p>	<p>Not applicable.</p> <p>No subdivision proposed.</p>
<p>26.4.4-(P1)</p> <p>(a) A plan of subdivision to reconfigure land must:</p> <p>(i) be required to restructure, re-size, or reconfigure land for primary industry use; and</p> <p>(ii) not create an additional lot;</p> <p>(b) a plan of subdivision to create a new lot must:</p> <p>(i) be required for a purpose permissible in the zone;</p> <p>(ii) be of a size and configuration that is not more than is</p>	<p>Not applicable.</p> <p>No subdivision proposed.</p>

<p>required to accommodate the nominated use in accordance with the applicable standards of this planning scheme for such use;</p> <ul style="list-style-type: none"> (iii) retain the balance area for primary industry use; (iv) minimise unnecessary and permanent loss of rural resource land for existing and potential primary industry use; (v) minimise constraint or interference to existing and potential primary industry use on the site and of adjacent land in the zone; and (vi) minimise unnecessary and permanent loss of land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i>, or land that may benefit from the application of broad-scale irrigation development; or <p>(c) a plan of subdivision to reduce the area of an existing lot on a sealed plan containing a lawful use must:</p> <ul style="list-style-type: none"> (i) not be land containing a residential use approved by a permit granted under the <i>Land Use Planning and Approvals Act 1993</i> as a required part of a permitted use; 	
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<ul style="list-style-type: none"> (ii) incorporate the excised area into an existing primary industry lot by amalgamation in a manner acceptable to the Recorder of Titles ^{R32}; (iii) minimise likelihood for the existing use on the reduced area lot to further constrain or interfere with use of the balance area or adjacent land for an existing or potential primary industry use; and (iv) retain a lot with a size and shape that: <ul style="list-style-type: none"> a. can accommodate the lawful existing use or development in accordance with the applicable standards for that use; or b. does not further increase any non-compliance for use or development on the existing lot. 	
<p>26.4.5 Buildings for Controlled Environment Agriculture</p>	
<p>26.4.5-(A1) A building for controlled environment agriculture use must be a crop protection structure and the agricultural use inside the building must satisfy one of the following:</p> <ul style="list-style-type: none"> (a) rely on the soil as a growth medium into which plants are directly sown; 	<p>Not applicable.</p> <p>No controlled environment agriculture proposed.</p>

(b) not alter, disturb or damage the existing soil profile if conducted in a manner which does not rely on the soil as a growth medium.	
CODES	
E1 Bushfire-Prone Areas Code	Not applicable. The development is not for subdivision or a vulnerable or hazardous use.
E2 Airport Impact Management Code	Not applicable.
E3 Clearing and Conversion of Vegetation Code	Not applicable. No clearing or conversion of vegetation proposed.
E4 Change in Ground Level Code	Not applicable. No change in ground level proposed.
E5 Local Heritage Code	Not applicable. The site is not heritage listed.
E6 Hazard Management Code	Not applicable. The site is not included in a mapped hazard area.
E7 Sign Code	Not applicable. No signs proposed.
E8 Telecommunication Code	Not applicable. No telecommunications proposed.
E9 Traffic Generating Use and Parking Code	

E9.2 Application of this Code	Code applies.
E9.4 Use or development exempt from this Code	Not exempt – no local area parking scheme applies.
E9.5 Use Standards	
E9.5.1 Provision for parking	
E9.5.1–(A1) Provision for parking must be: (a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code;	Compliant. (a) The most relevant use to which the shed relates is Resource development. The sheds would house machinery associated with the growing and harvesting of crops. Table 1 requires sufficient spaces to service the workforce. Space around and between sheds is currently adequate for this purpose. No additional staff are proposed so it is expected that the existing provision is adequate.
E9.5.2 Provision for loading and unloading of vehicles	
E9.5.2–(A1) There must be provision within a site for: (c) on-site loading area in accordance with the requirement in the Table to this Code; and (d) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.	Not applicable. (a) No on-site loading required under Table E9A. (b) Not applicable. Resource development use does not require a passenger vehicle pick-up or set-down facility.

E9.6 Development Standards	
E9.6.1 Design of vehicle parking and loading areas	
E9.6.1 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and	Not applicable. Existing provision – not affected by proposed building.
<p>E9.6.1 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village Zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –</p> <p>(a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking;</p> <p>(b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles;</p> <p>(c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities;</p> <p>(d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities;</p> <p>(e) Each parking space must be separately accessed from the internal circulation aisle within the site;</p>	Not applicable. Existing provision – not affected by proposed building.

<p>(f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space;</p> <p>(g) Be formed and constructed with compacted sub-base and an all-weather surface.</p>	
<p>E9.6.2-(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.</p>	<p>Compliant by Condition. Design and construction of access, vehicle circulation, movement and standing areas would be in accordance with the principles and requirements of the <i>Unsealed Roads Manual – Guidelines for Good Practice</i> ARRB.</p>
<p>E10 Water and Waterways Code</p>	<p>Not applicable. The site is not within 30m of a waterway.</p>
<p>Specific Area Plans</p>	<p>No Specific Area Plans apply to this location.</p>

Issues -

- 1 *Clause 26.4.2 Location and configuration of development - A3.1 Buildings must be clad and roofed with materials with a light reflectance value of less than 40% -*

The proposed shed would be clad in "Colorbond" material, and finished in "Pale Eucalypt" colour. The colour was selected on the basis of being consistent with the other buildings on the site.

The Planning Scheme requires:

The location, height and visual appearance of a building or structure must have regard to -

- (a) Minimising the visual impact on the skyline;*
- (b) Minimising height above the adjacent vegetation canopy;*
- (c) Minimising visual impact on the shoreline or marine or aquatic water body, water course, or wetland where possible; and*
- (d) Minimising reflection of light from external surfaces.*

The Performance Criteria is addressed accordingly:

- (a) The height of the proposed shed would be a similar height to the two existing machinery sheds on the site and lower than the existing processing building further north of the proposed shed, the proposed shed is unlikely to create any adverse visual impact on the skyline.
- (b) The proposed shed would be located well in excess of 15m from the nearest ridgeline and is below the canopy of vegetation to the north-east of the site.
- (c) The only water body within the vicinity of the proposed shed is the dam located adjacent to the development site. It is unlikely that the shed would have any adverse impacts on the dam.
- (d) The National Building Code of Australia (NBCA) CA classifies roof colour on the basis of solar absorptance, which is deemed under the BCA to be the *inverse* of colour reflectivity.

The NBCA deems “Pale Eucalypt” to be a medium colour, with absorptance of less than 60%. This means that the reflectivity value would be greater than 40%. The photographs included in Annexure 4 demonstrate that light reflected from the cladding of the existing buildings is relatively low when viewed from the road and neighbouring residential properties.

Views of the proposed shed from Leith Road would be shielded by existing vegetation.

Referral advice –

Referral advice from the various Departments of the Council and other service providers is provided as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	Suggested note: <i>“Any external lighting must be designed and positioned on the building to ensure that an environmental nuisance is not created for residential premises in the vicinity of the development.”</i>
Infrastructure Services	No conditions.
TasWater	Referral not required.
Department of State Growth	Referral not required.
Environment Protection Authority	Referral not required.
TasRail	Referral not required.
Heritage Tasmania	Referral not required.
Crown Land Services	Referral not required.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- . a site notice was posted;

- . letters to adjoining owners were sent; and
- . an advertisement was placed in the Public Notices section of The Advocate.

Representations -

One representation was received within the prescribed time. A copy of which is provided at Annexure 3.

The representation is summarised and responded to as follows:

MATTER RAISED	RESPONSE
REPRESENTATION 1	
<p>1 Increase in light pollution and industrial noise that is magnified by the geography of the area. The noise of the factory rises through the valley to the residences.</p>	<p>The Resource processing use is an existing use. The proposed development would not intensify the use or development or operations of the site. The purpose of the proposed shed is to provide an undercover area for existing machinery currently stored on-site. The storage of existing machinery is unlikely to increase the level of noise significantly.</p> <p>Noise complaints can be dealt with under the “<i>Environmental Management & Pollution Control Act 1994</i>”.</p>
<p>2 Existing security light on the southern side of the factory wall intrusively shines all the way up the valley.</p>	<p>The existing security lighting is not a matter that can be addressed under the proposed application or through the land use planning and approvals process. Lighting nuisances should be dealt with under the “<i>Environmental Management & Pollution Control Act 1994</i>”.</p>

	The application does not mention any proposed security lighting however a note would be placed on the Permit to highlight the issue and to ensure residences uphill from the development site are protected against any further impacts from security lighting.
3 Existing native vegetation on the lower slopes toward the factory should be maintained and enhanced to improve screening of buildings and absorb the noise created by industrial processes and machinery.	There is no vegetation clearance proposed on the site that would affect native vegetation located to the north-east of the shed site .

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council’s determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- . Develop and manage sustainable built infrastructure.

CONCLUSION

The representation highlights concerns relating to operation of the existing Resource processing use rather than matters directly associated with the proposed machinery storage shed.

The proposed shed would be located behind existing machinery sheds and would be consistent in bulk, size and colour with those sheds. The colour of the shed is considered a medium colour under the National Building Code of Australia and because of the location of the proposed machinery shed and extent and location of on-site vegetation, the reflectivity impact would likely be low. It is considered that the impact would be consistent with the

Performance Criteria requirements to minimise the reflection of light from external surfaces.

Recommendation –

It is recommended that the application for Resource processing (shed) – material light reflectance value greater than 40% at 341 Leith Road, Forth be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by Building Dynamics, Drawing Nos. CO-01, SP 01 and SP 02 dated 13 February 2016 and Elevation and Floor Plans by Devonport Building Supplies dated 14 December 2016, unless modified by a condition of this Permit.
- 2 Stormwater from vehicle parking and manoeuvring areas must be collected, drained and disposed of to an approved stormwater system.
- 3 Vehicle parking and manoeuvring areas must be designed and constructed in accordance with the Unsealed Roads Manual – Guideline for Good Practice ARRB.

Please note:

- 1 A Planning Permit remains valid for two years. If the use or development has not substantially commenced within this period an extension may be granted if a request is made before this period expires. If the Permit lapses, a new application must be made.
- 2 Any external lighting must be designed and positioned on the building to ensure that an environmental nuisance is not created for residential premises in the vicinity of the development.
- 3 'Substantial commencement' is the submission and approval of a Building Permit or engineering drawings and the physical commencement of infrastructure works on the site, or an arrangement of a Private Works Authority or bank guarantee to undertake such works.
- 4 Prior to the commencement of work, the applicant is to ensure that the category of work of the proposed building and/or plumbing work is defined using the Determinations issued under the Building Act 2016 by the Director of Building Control. Any notifications or permits required in accordance with the defined category of work must be attained prior to the commencement of work.

The report is supported.”

The Director Community Services reported as follows:

“Copies of the Annexures referred to in the Graduate Planner's report have been circulated to all Councillors.”

■ Cr Downie moved and Cr Carpenter seconded, “That the application for Resource processing (shed) – material light reflectance value greater than 40% at 341 Leith Road, Forth be approved subject to the following conditions and notes:

- 1 The development must be substantially in accordance with the plans by Building Dynamics, Drawing Nos. CO-01, SP 01 and SP 02 dated 13 February 2016 and Elevation and Floor Plans by Devonport Building Supplies dated 14 December 2016, unless modified by a condition of this Permit.
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Carried unanimously

Closure

There being no further business, the Mayor declared the meeting closed at 6.08pm.

CONFIRMED THIS DAY OF , 2017.

Chairperson

(cvv:km)

Appendices

Minute No. 30/2017 - Submission to Planning Authority Notice from TasWater, Reference No. TWDA 2017/00373-CC - 19 Southern Cross Drive, Ulverstone - Application No. DA216173

QUALIFIED PERSON'S ADVICE

The *Local Government Act 1993* provides (in part) as follows:

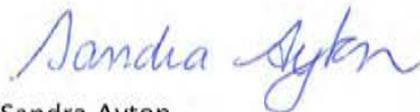
. A general manager must ensure that any advice, information or recommendation given to the council is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation.

. A council is not to decide on any matter which requires the advice of a qualified person without considering such advice unless the general manager certifies in writing that such advice was obtained and taken into account in providing general advice to the council.

I therefore certify that with respect to all advice, information or recommendation provided to the Development Support Special Committee within these minutes:

(i) the advice, information or recommendation was given by a person who has the qualifications or experience necessary to give such advice, information or recommendation; and

(ii) where any advice was directly given by a person who did not have the required qualifications or experience that person has obtained and taken into account in that person's general advice the advice from an appropriately qualified or experienced person.



Sandra Ayton
GENERAL MANAGER

Appendices

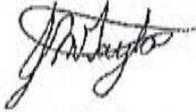
Submission to Planning Authority Notice

Council Planning Permit No.	DA216173	Council notice date	20/03/2017
TasWater details			
TasWater Reference No.	TWDA 2017/00373-CC	Date of response	27/03/2017
TasWater Contact	Rachael Wing	Phone No.	03 6345 6346
Response issued to			
Council name	CENTRAL COAST COUNCIL		
Contact details	planning.cmw@centralcoast.tas.gov.au		
Development details			
Address	19 SOUTHERN CROSS DRIVE, ULVERSTONE	Property ID (PID)	3207605
Description of development	Residential dwelling		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
CAMtec	A101 of A120	B	03/03/2017
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater does not object to the proposed development and no conditions are imposed.			
Advice			
<p>Property Water & Sewer Connections</p> <p>The drawings submitted for Certificate for Certifiable Works (Plumbing), must clearly show all existing, redundant and/or proposed connections.</p> <p>Details and callout notes of design plans must include a clear scope of works surrounding the creation of new TasWater connections and or infrastructure and must notate and describe all work to be carried out by TasWater at the applicant's cost.</p> <p>For information on TasWater development standards, please visit http://www.taswater.com.au/Development/Development-Standards</p> <p>For application forms please visit http://www.taswater.com.au/Development/Forms</p> <p>The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.</p> <p><i>TasWater have a small number of townships that are on Boil Water and Do Not Consume Alerts. Please visit http://www.taswater.com.au/News/Outages---Alerts for a current list of these areas.</i></p>			

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

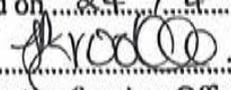
Authorised by



Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

CENTRAL COAST COUNCIL
 the submission to Planning
 I certify that this is Authority Notice to Taswater
 Ref. No. TND 2017/00373-CC-19 Southern
 Cross Drive Ulverstone Application No:
 DA216173.....referred to in
 Minute No. 30/2017 of a meeting of the
 Development Support Special Committee
 Council held on 24/4/2017

 Executive Services Officer

Central Coast Community Safety Partnership Committee

Minutes of a meeting held in the Central Coast Council Chamber,
19 King Edward Street, Ulverstone

Wednesday, 26 April 2017 – Commencing at 9.30am

PRESENT

Sandra Ayton (General Manager – CCC); **Jackie Merchant** (Emergency Management – CCC); **Paul Breaden** (Engineering Group Leader CCC); **Rowen Tongs** (councillor – CCC); **Insp. Shane Le Fevre** (Tasmania Police); **Sgt Kym Turale** (Tasmania Police); **Kate Wylie** (CCCCI); **John Deacon** (Central Coast Community Shed); **Garth Johnston** (Penguin Neighbourhood Watch); and **Kathryn Robinson** (Community Development Officer House Choices Tasmania). **Glen Lutwyche** (Principal Ulverstone High School [UHS] Schools Representative) attended later in the meeting.

APOLOGIES

Cr Jan Bonde (Mayor – CCC); **Melissa Budgeon** (Community Wellbeing Officer – CCC); **Julie Milnes** (Health Promotion Coordinator (Mersey) DHHS); **Simon Douglas** (Ulverstone Community House); and **Barry Isaac** (Turners Beach/Leith Neighbourhood Watch).

GUESTS

EJ Shu (Knowledge Translation of Planning and Policy)

WELCOME

Sandra Ayton welcomed everyone to the meeting.

1 MINUTES OF PREVIOUS MEETING

- Kate Wylie moved and Jackie Merchant seconded, “That the minutes from the meeting held on Wednesday, 22 February 2017 be confirmed”.

Carried

2 MATTERS ARISING FROM PREVIOUS MEETING

- a Adoption of the Central Coast Community Safety Plan 2017–2022*

The Community Safety Plan 2017–2022 is working towards a safer community in the Central Coast area.

John Deacon queried if the new Plan made provision for the policing of skate boards in the CBD and if the Council is looking at the operation of Car Park Lane and lowering the traffic speed in carparks. Paul Breden replied speeds in carparks are currently being reviewed. Carpark Lane is again being reviewed but because of right-a-ways in the lane it is extremely difficult to close.

The meeting thanked Melissa Budgeon and Jackie Merchant for putting this document together.

Sandra asked the meeting if they would like to endorse the new Community Safety Plan 2017–2022. John Deacon advised he would like the Plan to be presented to the next Council meeting for adoption.

■ Kate Wylie moved and Garth Johnston seconded, “That the Central Coast Community Safety Plan 2017–2022 be present to the next Council meeting for adoption.”

Carried

b Industrial Drive Assessment

Paul advised that the assessment of Industrial Drive is to be discussed at the next traffic committee meeting.

3 GENERAL BUSINESS

· *Presentation by EJ Shu (Knowledge Translation of Planning and Policy)*

EJ made a presentation at the meeting on the Central Coast Council becoming a Dementia Friendly Community, places where people living with dementia are supported to live a high quality of life with meaning, purpose and value.

Preparation of draft framework for the Council to be completed by 15 May 2017 and final framework by the 5 June 2017.

John Deacon commented it is great that the Council is looking at doing this with the aging demographics of the area but he would like to ensure council is undertaking solid research of which he is sure by sitting through this presentation they are doing.

Sgt Kym Turale from Tasmania Police asked if there was any evidence in medical research that a cure will be found in the near future. EJ advised not to her knowledge.

Sandra Ayton commented that this is not related to older people only and as an employer the Central Coast Council need to be able to recognise change in the staff as it can affect them as well.

Kathryn Robinson commented that there needs to be awareness on multiple levels of how to access services other than electronically.

Glenn asked if there is any way to know the percentage of younger people within the Central Coast that may have dementia.

Glenn asked how would this be introduced into schools. EJ answered there is research still to be done on how it could be introduced into schools. A connection of schools to aged person's homes could be the start.

A copy of the power point presentation will be sent out to all representatives on the Community Safety Partnership Committee.

The meeting commented that it is a really good project and thanked the Council for exploring this.

4 REPRESENTATIVE REPORTS

(a) Community Safety Action Plan

Sandra Ayton

Community action plan – topics to raise awareness of:

Committee members were asked to come up with safety issues that can be promoted through Facebook, E-Newsletter and the Mayors Message:

- A Parvo Virus campaign
- Heating time of year check wood heater flammable clothing drying of cloths.
- Ask the community to check street lighting and report to Aurora any light lights which are out.
- Promoting awareness of emergency service traffic protocols e.g. ambulances.

(b) Crime Report

Sgt Kym Turale – Tasmania Police

Damage was reported to the Ulverstone Sports & Leisure Centre and at Allambie Crescent as well as a small number of assaults. Burglaries fortunately have been quiet at present just two at Castra where farm sheds were broken into and one in the CBD which was damage of property only. There has been an increase of police patrols in the Sprent area and the reports of burglaries and stolen goods has dropped.

The Ulverstone Police have been involved with the burglary and damage to vehicles at Devonport airport and which recently offenders have been arrested.

Traffic patrols over the Easter period have nabbed a small amount of alcohol offenders but there has been an increase in drug related drivers. Speed offences have dropped off and people driving with mobile phone usage or not wearing a seatbelt offences have been minimal.

- (c) **Central Coast Chamber of Commerce & Industry Report (CCCCI)** **Kate Wylie**
- Kate advised there is nothing to report at present.
- (d) **Primary Health Report** **Julie Milnes**
- Nil
- (e) **Education (all schools) Report** **Glen Lutwyche**
- The Ulverstone High School is assessing parking around the busses and in the school area and in Walker and James Street now that year 11 and 12 have commenced.
- (f) **Ulverstone Neighbourhood House** **Simon Douglas**
- Nil
- (g) **Housing Choices Tasmania (HCT) Report** **Kathryn Robinson**
- Kathryn advised there was nothing to report at present.
- (h) **Community Housing Report** **(new Rep to be appointed)**
- Nil
- (i) **Community Reports** **Garth Johnston**
- Garth reported he had received a report of stones being thrown in Crescent Street, Penguin and egg throwing at Sunny Ridge Avenue, Penguin.
- Neighbourhood Watch – have a new secretary, and newsletter will go into shops, only, and will be organising another engraving day.
- (j) **Central Coast Community Shed** **John Deacon**
- John Deacon reported a group will be visiting on Monday called “Black Dog Institute” which is an institute that looks into research that aims to reduce the incidence of mental illness and the stigma around it, to actively reduce suicide rates and empower everyone to live the most mentally healthy lives possible.
 - A surprise bus trip, has been organised for 27 April and the opening of new refurbished areas in the Shed is being held Monday, 1 May.
 - West Ulverstone primary school children are still being mentored at the Shed.
 - The members have cut up a lot of timber and sent out to people who are in need of firewood.

5

John reported a long time member of the Shed, Peter Haneveer passed away recently and will be missed by all at the Shed.

5 OTHER BUSINESS

Nil

6 CLOSURE

As there was no further business to discuss Sandra thanked everyone for attending and the meeting closed at 11.25am.

The next committee meeting is to be held on Wednesday, 28 June 2017, commencing at 10.00am in the Council Chamber, Central Coast Council, 19 King Edward Street, Ulverstone.

Taking Control of TasWater



- ✓ *Lower Prices*
- ✓ *No need for rate increase*
- ✓ *Water and Sewerage fixed sooner*
- ✓ *No privatisation*

Taking Control of TasWater

Why has the State Government decided to intervene in Tasmania's water and sewerage?

Tasmania's enviable reputation and indeed our brand for having a clean and safe environment is at risk because our water and sewerage system is not up to the standard it should be.

Despite substantial reform to the structure of the Tasmanian water and sewerage industry and the regulatory framework over the past decade, TasWater continues to face significant challenges in meeting environmental, public health, dam safety and water regulations under the stewardship of Tasmania's Councils.

Owned by Tasmania's 29 local Councils, TasWater has not made sufficient progress in meeting the objectives of earlier reforms.

Despite the obvious and urgent need for substantial investment in water and sewerage infrastructure, 25 towns remain on Boil Water or Do Not Consume alerts, only one of Tasmania's 78 Level Two sewerage plants is 100 per cent compliant with EPA discharge to waters limits and in recent years the rate of sewage overflows to the environment has been higher than seven times the national average.

The fact is local Councils have been paid significant returns during their period of ownership, receiving money from TasWater that has not been able to be reinvested in desperately needed upgrades to infrastructure.

While TasWater's Board did take the extraordinary step last year to override their local Council owners and reduce distributions to them to help increase spending on infrastructure, it's not enough and more needs to be done. Councils have not delivered on their fundamental duty to ensure TasWater delivers safe drinking water and sewerage services.

Clean, safe water and a first-world sewerage system are important for public health, our lifestyle, our brand and our economy.

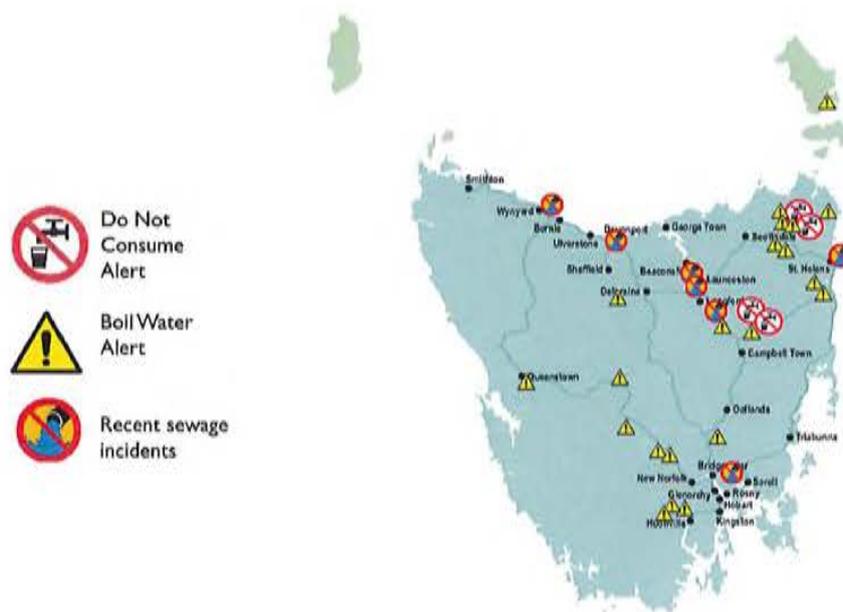
It's simply not good enough that visitors to our State need to check if tap water is safe to drink and the water is safe to swim in. It's not good enough for affected residents who have to fill plastic bottles from communal water tanks in order to have clean water in their homes.

The Government has repeatedly raised these concerns with the Local Council Owners over the last three years. The situation cannot be allowed to continue and the State Government has decided to take control of TasWater in order to fix it.

*Tasmanians expect
and deserve better.*

Do Not Consume/Boil Water Notice

Tasmanian towns operating with Do Not Consume/Boil Water Notices or public health alerts at 3/3/17



Clear Benefits

LOWER PRICES

- Price increases for consumers will be lower.
- The Government will target future price increases to be within a 2.75 to 3.5 per cent range - well below the current level of 5 per cent projected by TasWater and its Council Owners.
- Over 6 years an average customer can expect to save up to \$548.

NO NEED FOR RATE INCREASES

- Councils will receive not one dollar less than the returns that they have been promised by TasWater up until 2024-25, after which, Councils will receive one half of the value of total returns from TasWater indefinitely.

WATER AND SEWERAGE FIXED SOONER

- On taking control of TasWater on 1 July next year, our plan is to bring forward and complete the remainder of the \$1.5 billion capital program over a 5 year period to ensure water and sewerage infrastructure is fixed faster.

NO CHANGE FOR EMPLOYEES

- No employees will lose their jobs as a result of the change in ownership.
- TasWater employees will be transferred to the new TasWater government business and their employment terms and conditions will be retained.

NO PRIVATISATION

- The legislation for the takeover of TasWater will contain explicit provisions to prevent a future privatisation of TasWater.

Options Considered

When the State Government met recently with all local Council TasWater owners to discuss accelerating the investment in water and sewerage services in Tasmania, five options were considered.

OPTIONS	PROS	CONS
Status Quo	<ul style="list-style-type: none"> No action required 	<ul style="list-style-type: none"> No improvement from current situation Not acceptable to State Government
Federal injection of funds	<ul style="list-style-type: none"> Significant Federal funding would accelerate expenditure on water and sewerage No further impost on local government 	<ul style="list-style-type: none"> Unrealistic given state of Federal Budget Current Federal election cycle Effectively just “kicks the can down the road”
Councils reduce returns (Dividends/ ITE/Guarantee Fees)	<ul style="list-style-type: none"> Accelerates capital expenditure on water and sewerage 	<ul style="list-style-type: none"> Councils lose revenue Some Councils can manage Others more difficult
Increase Prices	<ul style="list-style-type: none"> Accelerates capital expenditure on water and sewerage 	<ul style="list-style-type: none"> Consumers already facing 30 per cent increase over six years Many households already facing significant cost increases Not acceptable to State Government
Tasmanian Government intervention	<ul style="list-style-type: none"> Tasmanian Government greater capacity to contribute than Councils Accelerates capital expenditure on water and sewerage 	<ul style="list-style-type: none"> Budgetary impact on Tasmanian Government TasWater ownership structure complicates State Government intervention

Options Considered

The State Government made it clear to local Councils that neither the status quo option nor increasing prices were acceptable outcomes. Councils also indicated that they would like more to be done.

While the State Government will always argue for Tasmania's fair share of Federal funding, as no Australian Government funding has been forthcoming to date, this option is not realistic in the short term, and in effect just "kicks the can down the road". On this basis, this was also rejected as a viable option.

Councils rejected the option of reducing their TasWater returns to provide for an accelerated timeframe for investment in infrastructure.

The final option of State Government intervention is the only realistic way to address the challenge we face to bring Tasmania's water and sewerage infrastructure up to an acceptable level over a shorter timeframe.

Tasmanian Government Control of TasWater

"The State Government has decided that the best way to resolve Tasmania's inadequate water and sewerage infrastructure is to assume ownership and control over TasWater.

"This will facilitate a faster solution to the problem and resolve the long term underinvestment that has led to the current unsatisfactory situation."

The Treasurer, Hon Peter Gutwein MP

Key Benefits of State Government Ownership

The transfer of TasWater into State Government ownership will facilitate improved water and sewerage infrastructure and lower costs to Tasmanians. The key benefits are outlined below.

Substantial increase in investment in water and sewerage infrastructure

On taking control of TasWater on 1 July next year, our plan is to bring forward and complete the remainder of the \$1.5 billion capital program over a 5 year period which will allow TasWater to fix water and sewerage infrastructure earlier than under current local government ownership.

The State Government can achieve this increased expenditure without adversely impacting water and sewerage charges or Council rates, by using the underlying strength of its financial position.

TasWater has the capacity to take on more debt and under State ownership it will have a lower cost of borrowing. This means it can borrow

more for less and invest more to fix Tasmania's water and sewerage infrastructure sooner. In addition, the State will use its strong financial position to support TasWater should that be required.

As it stands at the moment, the Government's target of increased investment over five years can only begin once it assumes control on 1 July 2018. However, subject to Councils' agreement as the current owners of TasWater, work can begin immediately on the planning and scoping of the future infrastructure program. It is hoped that Councils will put the interests of Tasmanians before politics and agree that this work commence immediately.

Water and Sewerage prices will be lower under State Ownership

Upon assuming ownership, the State Government will set a price increase of 2.75% for the 2018-19 year and will target price increases of between 2.75% and 3.5% per annum in future years.

This is materially below the price increases projected by the Council Owners of around 5% over 6 years.

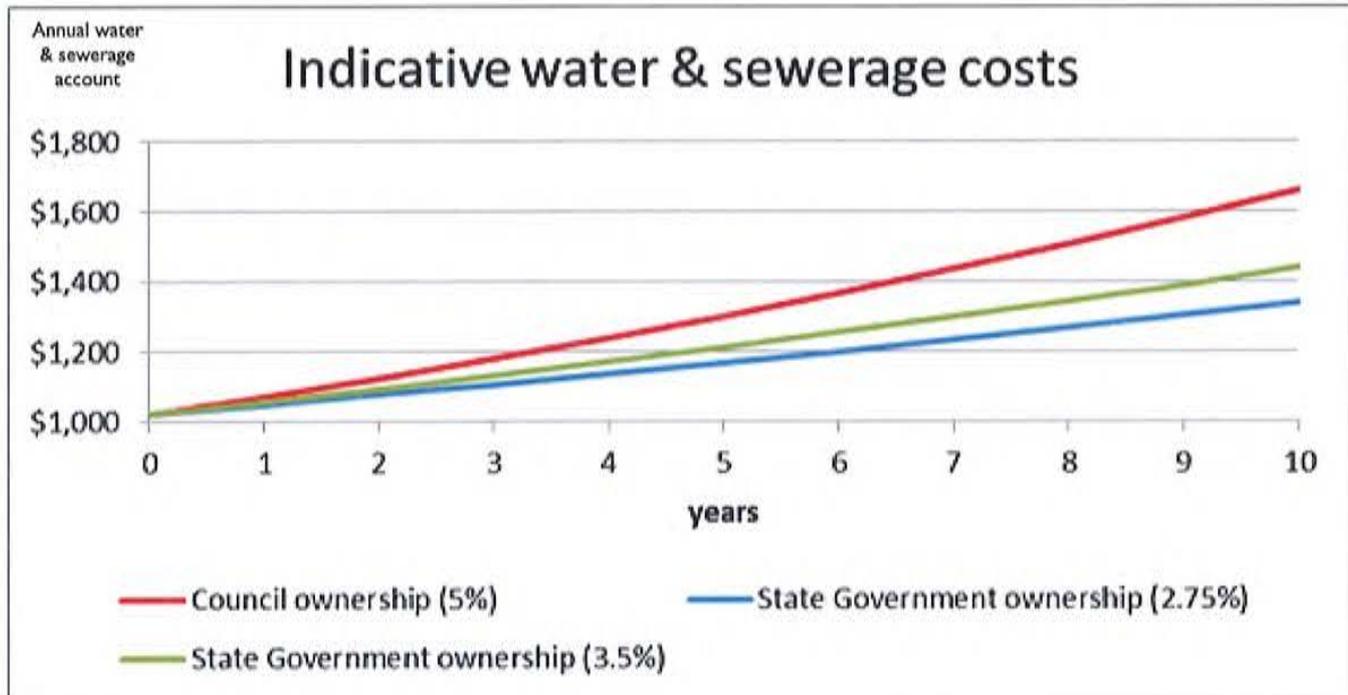
An average customer, over 6 years, could expect to save around \$548 at 2.75% and \$370 at 3.5%

compared to the 5% growth in prices forecast by the Council Owners.

The chart below shows the indicative price increases based on the current average water and sewerage bill of \$1,020 and applying average price increases of between 2.75%, 3.5% and 5.0%.

In addition, the State Government will continue to provide water and sewerage concessions to eligible pensioners, currently worth \$9 million per annum.

Key Benefits of State Government Ownership



Council rates will not be impacted by the transfer of ownership

The State Government will legislate to ensure that distributions continue to be provided to local government over the period to 2024-25 as already announced by TasWater.

They will receive \$30 million for 2016-17 and 2017-18 and for the seven year period following 1 July 2018 (the date on which the State Government expects to assume ownership) Councils will continue to receive annual distributions of \$20 million per annum.

This is the same amount proposed by TasWater last year. Local government will not “receive one dollar less” over this period.

Following this period, local government will receive half of any future distributions from TasWater.

Councils will no longer own or be responsible for water and sewerage in Tasmania and yet they will still receive returns from TasWater. This is a risk-free return for local Councils in perpetuity.

The long timeframe over which Councils will receive a guaranteed return, followed by a 50% share of returns into the future, will ensure that Councils have adequate time to plan and will not need to increase rates as a result of the Government assuming control.

Summary of Key Matters

1. The Government intends to establish a new government business to provide water and sewerage services in Tasmania, through legislation to be introduced in the 2017 Spring session of Parliament and for the new business to commence operations on 1 July 2018;
2. We will transfer the operating business and all its employees to the new government business;
3. The current price determination will be extended to 30 June 2019 with the price increase set at 2.75% for customers on the target tariff;
4. From 1 July 2019, the Treasurer will determine water and sewerage prices with the Regulator providing guidance by continuing to conduct water and sewerage price investigations;
5. The Government will target future price increases to be within a 2.75% to 3.5% range;
6. The Regulator will remain responsible for setting customer service standards and the retention of all other regulation, including environmental, public health, dam safety and water;
7. A legislated obligation to provide Councils with payments of \$20 million per year from 2018-19 over a seven year period, to provide Councils with the same returns as announced by TasWater last year;
8. A commitment from the Government that it will receive no net returns from the entity over this period; and, following this period, Councils will receive one half of any returns from the entity in perpetuity;
9. On taking control of TasWater on 1 July next year, our plan is to bring forward and complete the remainder of the \$1.5 billion capital program over a 5 year period;
10. After the targeted investment phase, it is expected that investment levels will remain elevated as projects that currently sit outside of TasWater's 10 year plan are progressed;
11. No employees will lose their jobs as a result of the change in ownership. TasWater employees will be transferred to the new TasWater government business and their employment terms and conditions will be retained; and
12. The legislation for the takeover of TasWater will contain explicit provisions to prevent a future privatisation of TasWater.

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Central Coast Community Safety Plan 2017 - 2022



CENTRAL COAST
COUNCIL





Community Safety requires a ‘whole of community approach’ and feeling safe is essential for a happy life. To be safe is a responsibility and also a right of everyone as a resident in a vibrant and liveable community – a right and responsibility we all share.

The Central Coast Community Safety Partnership Committee was established in 2004 and has a strong commitment to assisting an approach to help build a sense of community and shared responsibility through the developed partnerships and positive relationships. It is the notion that we all believe that a sense of safety within the community comes from being connected and informed.

I encourage every resident to think about how they can best contribute. Central Coast Council has taken an active role in promoting and delivering community safety and crime prevention for many years. The development and publication of the Community Safety Plan Framework provides current direction and actions for the immediate future.

I encourage every resident to be actively involved in making Central Coast a safe place for everyone, where both residents and visitors enjoy this great community.

A handwritten signature in black ink, appearing to read 'Jan Bonde', written over a light grey background.

Mayor Jan Bonde



Central Coast Community Safety Plan Framework

Introduction

The Central Coast Strategic Plan 2014 – 2024, includes a platform for the future *‘Liveability – encompasses notions such as quality of life, character of our place, ease of living, the health and well-being of our community who live here, and the sense of security afforded by living and working in each community.’*

The aim of Central Coast Community Safety Plan is to provide a framework through which issues of community safety can be addressed in a coordinated way. It is a tool to guide decision-making and to encourage community ownership and participation.

The Central Coast Community Safety Partnerships Committee is a Community Advisory Group of the Council that is made up of representatives from organisations as well as individuals representing their respective community, whom actively support the development of community safety initiatives. The committee proactively informs and endorses the Plan as a purposeful document, and as an important component in assisting the community to be vibrant and safe.

The Plan, under the guidance and responsibility of the Committee seeks to:

- ◆ Inspire and strengthen community participation in aspects of safety,
- ◆ Encourage a sense of connection, trust and confidence in community,
- ◆ Promote community leadership through local initiative of community safety,
- ◆ Direct appropriate resources and programs to identified areas of need
- ◆ Support the effectiveness of policing operations and emergency services

Safe Community – Attaining Accreditation.

The International Safe Community Model, developed by the World Health Organization and mirrored in the Pan Pacific Safe Community process, is held as a reputable standard for community safety. Safety programs that are accredited against this framework have been independently assessed as meeting best-practise. The Committee is best positioned to ensure the Central Coast Community Safety Plan is developed to reach the standards of accreditation under the Pan Pacific Safe Community process. Accreditation requires an annual report reflecting on areas within the plan including collaboration and partnership, program reach, priority setting, data analysis and evaluation.

The Central Coast Community Safety Plan

The Central Coast Council Community Safety Plan 2017-2022 identifies four key areas in which community organisations, individuals and services through a strengthened alliance can positively impact safety in our community. Closely aligned and at times overlapping, these areas identify critical goals for community safety as well as being opportunities where Council services can produce meaningful and significant safety outcomes.

These key areas have been identified through community consultation, data analysis and stakeholder input, and include consideration of some re-occurring issues raised in discussions at the Community Safety Partnership meetings.

The key areas are;

1. Safe people

- to be safe and to feel safe in Central Coast.

2. Safe places

- design, create and maintain places that provide for safe community activity.

3. Resilient communities

- a strong, supportive community able to adapt and recover from hazards, shocks and stresses.

4. Program development and partnerships

- collaborate to share responsibility to ensure community safety.



1. Safe people

- *to be safe and to feel safe in Central Coast.*

GOAL: People in the Central Coast feel safe and are supported with services, information and programs that assist in maintaining community safety.

The Plan will assist the perceptions and confidence in the community, and is aimed at connecting with both individuals and groups of people in our community including:

- ◆ residents
- ◆ visitors
- ◆ culturally diverse residents, including Tasmanian Aboriginals,
- ◆ community organisations
- ◆ businesses
- ◆ industry
- ◆ government agencies and
- ◆ community services.

Areas of priority include:

- Cyber safety and emerging scams
- Healthy, active and safe sports participation
- Violence, especially family violence and drug fuelled violence
- Mental health promotion and suicide prevention
- Alcohol and other drugs
- Bullying
- Threats brought about through cultural diversity.



Core Actions Safe people

1. Engage and survey community members to identify issues.
2. Maintain the Central Coast Community Safety Plan and ensure it is promoted and widely available through social media, websites and promoted by the Central Coast Community Safety Partnership Committee.
3. Share community knowledge and provide information and awareness of services and approaches that support the community to be better informed about issues of safety, including emergency assistance and recovery programs/procedures as required.
4. Use existing resources to identify issues impacting on marginalised groups in the community (including the socio-economically disadvantaged, people with a disability and those culturally diverse).
5. Promote awareness of escalating or emerging crime and safety risks including scams, cyber safety and other technologies.
6. Promote positivity around safety in our community:
 - Recognise local residents who actively work to reduce crime and promote community safety
 - Strengthen partnerships with business community and provide information on crime prevention
 - Support the Inter Agency Support Team to improve outcomes for young people at risk.
 - Investigate and support injury prevention promotions targeting families on farms, older people, drivers, pedestrians and cyclists.
 - “Protective Behaviours” promotes resilience in children, young people, and adults, using empowerment strategies, clear communication, and awareness of “safe” behaviours.
7. Embed messages of community safety, targeted safety information and existing programs through:
 - community celebrations (i.e. national awareness weeks / days) and/or events (Council’s community events and community festivals)
 - key projects (i.e. Neighbourhood House programs, Neighbourhood Watch program and Council community consultation processes)
8. Improve promotion of safety messages and initiatives in the Central Coast with a focus on:
 - reach to key audiences such as seniors, young people using a range of media and those in our community that are socially isolated.
 - partnership – bridging messages from other stakeholders to Central Coast audiences and supporting local media agencies.
 - promoting and activating safety related policy and programs through the Council’s Emergency Management and Social Recovery services.

2. Safe places -

Design, create and maintain places that provide for safe community activity.

GOAL: To create built and natural environments that are safe, assisting people to live confidently and well connected in the Central Coast, enhancing community life and business vitality

Safer design principles involve reducing the opportunities for crime and increasing both safety and the sense of safety through management and design of the physical environment. One of the goals of this strategy is to maintain community usage of public places, identify areas that are perceived as unsafe, improving designs to reduce opportunities for crime and anti-social behaviour thus improving the quality of life for the community.

Areas of priority include:

- Safe design and connection in new development locations
- Street lighting and safe street design concepts
- Perceptions of safety and CCTV
- Drug use and syringe disposal
- Road safety
- Safe active transport opportunities



Core Actions - Safe Places

1. Use safer design guidelines to positively influence safety in new developments
2. Work with Tasmania Police, Chamber of Commerce, businesses and sporting organisations to maintain safe precincts through relevant local safety groups.
3. Implement Department of State Growths Road Safety Strategies, and develop and deliver communication and education strategies to address safety issues and vulnerabilities on our roads.
4. Ensure that streets and public spaces in Central Coast are well lit, well maintained and safe.
5. Develop a Council policy position for the use of CCTV in Central Coast.
6. Support the local implementation of targeted crime prevention activities.
7. Monitor community contacts to Council to identify and respond to place-based safety issues, and initiate targeted responses to safety hotspot issues such as graffiti or syringe reports
8. Consult with community regarding active transport options and promote safe routes with emphasis on ageing friendly components.

3. Resilient communities

- determinants of safety to establish and promote the Central Coast as a safe community.

Perceptions of a safe town and community contribute to the viability of the local economy by increasing business confidence and willingness to invest. Residents and visitors will be inclined to promote Central Coast in a positive light, with a feeling of safeness.

Early intervention has proven to be an effective long-term strategy to prevent crime by addressing issues such as social disadvantage, dis-engagement from learning opportunities and where there is an absence of developed life skills. Early intervention that occurs at a critical time in a person's development will provide that person with a greater opportunity to lead a safe and productive life.

Community information and education increases awareness of issues but is most powerful when accompanied by information about strategies proposed to resolve specific concerns. The community then develops a sense of ownership and pride in their "patch".

Areas of priority include:

- Support of emergency recovery and awareness,
- Emergency Response – community confidence developed from consistent, reliable communication.
- Promote access, equity and inclusion
- Community driven approaches to crime prevention



Core actions - Resilient Communities

1. Support agencies to deliver appropriate services to cater for and care for those affected by family violence and/or bullying. Identify any gaps and unmet needs in the services that support those affected by inequality, or who face barriers to inclusion in Central Coast.
2. Support broader safety program initiatives to benefit Central Coast – in areas such as crime prevention, drug and alcohol abuse issues, protective behaviours and domestic violence.
3. Ensure that people are informed about localised safety risks including natural disasters and emergencies.
4. Ensure that the community of Central Coast will be adequately supported to recover in the event of an emergency or natural disaster.
5. Develop a Reconciliation Plan for Central Coast.

4. Program development and partnerships -

Collaborate to share responsibility to ensure community safety.

A community is strengthened when individuals and groups form collaborative partnerships to achieve common goals. Strong communities are well connected, pro-active and resilient, creating an improved sense of confidence, well-being that leads towards increased social and economic opportunities within the community. The Community Safety Partnership Committee is leading the actions in the plan, whilst maintaining useful partnerships between communities, businesses, agencies, organisations, and all levels of government to achieve the desired outcomes for the community.

Areas of priority include:

- Working in partnership - information sharing and collective action
- Maintaining networks and strong participation
- Collaboration with community leaders
- Youth engagement
- Statistical data assessment and analysis – aligned actions.
- Evaluation and projected outcomes



Core actions - Development and Partnerships

1. Work towards obtaining, for the Central Coast's Safety Plan, accreditation as a Pacific/ Australian Safe Community.
2. Develop processes that engage key and influential stakeholders, encourages cross-council participation and supports the role of community as a key partner in safety through the Community Safety Partnership Committee network.
3. Identify opportunities to engage young people and reflect youth issues in the safety plan, including a survey opportunity, as well as existing groups – ie. Council's Youth Engaged Steering Committee.
4. Ensure the safety plan is informed by current and relevant crime and injury data, and maintain a record of identified issues that provides information relevant to community safety.
5. Measure the effectiveness of the actions of the safety plan and the outcomes.
6. Advocate for the community of Central Coast in matters of safety including submissions and funding applications.

Key Information Resources

The Central Coast Community Safety Plan is supported by several information resources:

- ❑ Central Coast Community Safety Plan (2006-2009)
- ❑ Central Coast Community Safety Plan (2010 - 2014)
- ❑ Inclusive Ageing: Tasmania 2012-2014 Strategy
- ❑ Central Coast Youth Strategy (2014-2024)
- ❑ Central Coast Community Survey, November 2015 - Data Report, Insync.
- ❑ Moonee Valley Community Safety Program 2015 - 20
- ❑ Pan Pacific Safe Community Accreditation Criteria and Process Guidebook March 2016.
- ❑ Central Coast Positive Ageing Plan 2017
- ❑ Meander Valley Community Safety Plan 2015 - 2017

and should be read in conjunction with:

- ❑ Central Coast Social Planning Framework
- ❑ Central Coast Council Strategic Plan (2014-2024)

Methodology

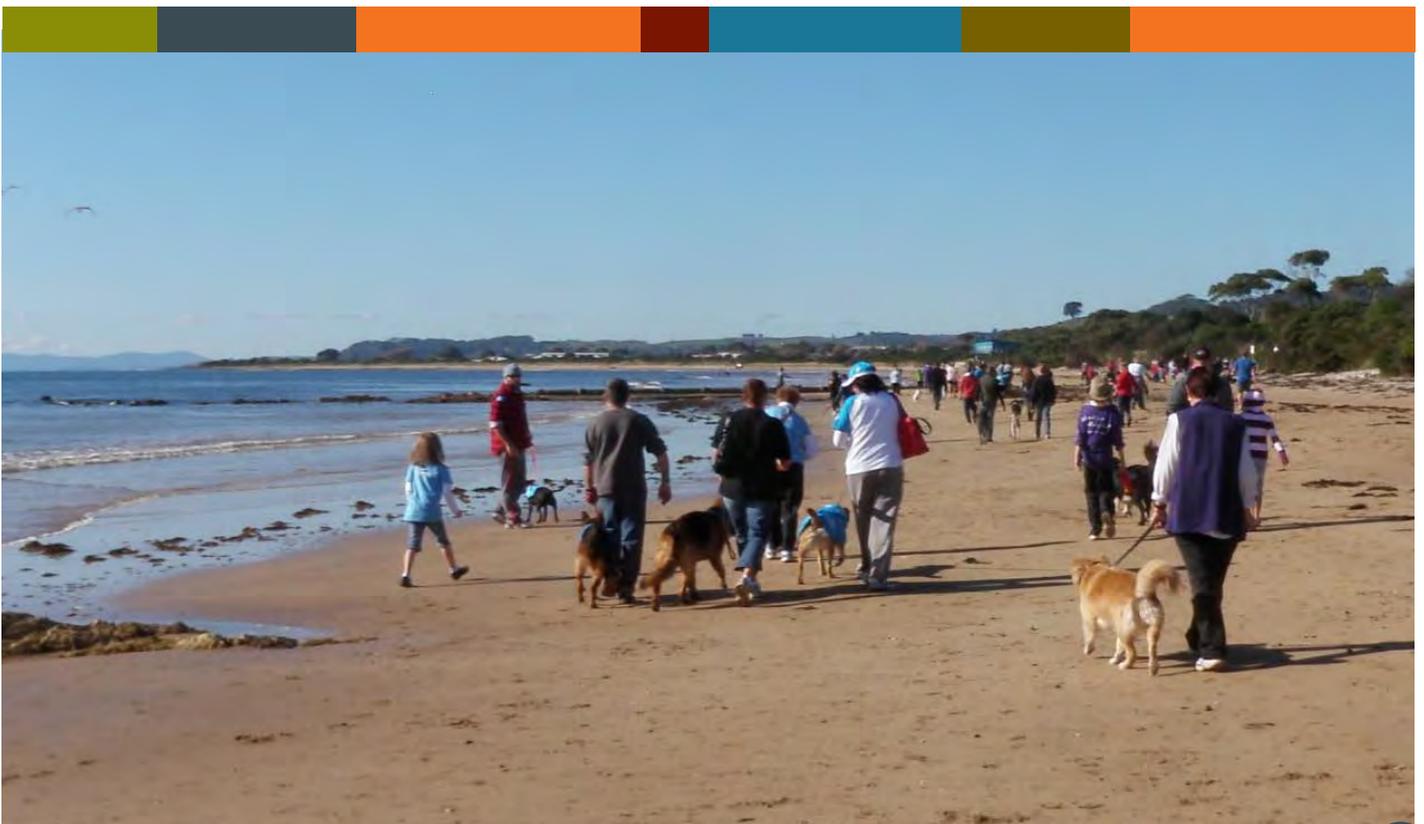
The Central Coast Council has maintained a Partnership Committee with the Police Department and Department of State Growth since the mid 1990's. The Community Safety Partnership Committee was established in 2004. The group has surveyed and keep in touch with the broad community on issues of safety through regular survey and collaboration of key service organisations and groups during the time. The development of the 2016 - 2020 Community safety Program has been developed utilisation past and present input, focus group discussion July - September 2016 and survey data, statistical data.

Priority focuses and opportunities for improving community safety were identified by a project group (CSPC and identified community representatives) in February 2017. Following the forum, a detailed action plan has been developed to respond to the identified priority areas.





Central Coast Community Safety Plan ACTIONS



Priority Area 1: Safe People

GOAL: People in the Central Coast feel safe and are supported with services, information and programs that assist in maintaining community safety.

Action	Measure	Timeline
Survey the community through focus group discussions.	Number of focus groups surveyed.	Annually - Feb/March.
Conduct up to date information session on Cyber Safety in the Community and schools.	Number of workshops conducted.	Annually.
Training provided in the community to promote and provide "Protective Behaviours" community program - Department of Education.	No. of programs conducted.	Annually
Actively develop an 'Aged Friendly Community' - thru ` developed strategies, including disability access, positive aging and dementia Inclusive, smoke free.	Strategy developed.	2018/2019
Work toward Central Coast becoming a Dementia Friendly Community.	Framework and Strategy developed.	2017 - 2019
Nominations received and certificate presented, with media coverage to acknowledge 'Crime Prevention Community Champion'.	Number of nominations recieved.	Annually - November.
Provide information to sporting organisations on safe practices. Ie. 'Play by the Rules'.	Information is shared.	Ongoing - annual reporting.
Increase crime prevention education - within the business community (Chamber/Council/ Tas Police) VMS board messages, targeted safety information, social media posts.	Number of education sessions conducted.	Ongoing - annual reporting.

Evaluations

- ◆ Community feedback.
- ◆ Rates of crime – crime data from Tasmania Police.
- ◆ Statistics of the community's health status through DHHS.
- ◆ Raised awareness and engagement from Community in education and service provision, working towards the implementation of an 'Aged Friendly Community' recognition.
- ◆ Central Coast Council Annual report – listed achievements, campaigns supported and Community involvement.

Priority Area 2: Safe Places

GOAL: To create built and natural environments that are safe, assisting people to live confidently and well connected in the Central Coast, enhancing community life and business vitality

Action

Measure

Timeline

Use safer design guidelines (CEPTED - Crime Prevention through Environmental Design) to positively influence safety in new and/or all refurbished public spaces.

CEPTED principles and relevant Aust. standards included in design processes.

Ongoing (Annual reporting).

Advocate for access to improved phone coverage in black spot locations.

Mobile coverage improvements advocated for in low coverage areas including Gunns Plains.

Ongoing (Annual reporting).

Improve public lighting in the Central Coast.

Strategy developed and implementation programmed.

Ongoing - annual reporting.

Reviewed and report on 'closed circuit TV' in the CBD and linking it centrally.

Strategy developed.

2019

Pursue active transport route options with consideration of identified 'Age Friendly' model principles.

Strategy developed.

2019-2020

Evaluations

- ◆ Perceptions of safety in streets, neighbourhoods and public places ascertained through the Central Coast Council survey.
- ◆ Tasmanian Police data and statistics on business areas and other hot spot locations.
- ◆ Safety Partnerships network connection strengthened, positive feedback on impacts of implemented safety measures and programmes.
- ◆ Traffic Management Committee reports on Road safety.



Priority Area 3: Resilient communities

GOAL: *Increased social capital in the community and improved perception of safety for people who are less likely to feel safe.*

Action

Measure

Timeline

Host community development projects that support crime prevention, education on safety and improve perceptions of safety.

Number of programs supported.

Ongoing - (annual reporting).

Identify and work with services that support people with barriers to inclusion.

'Adopt A cop" program through schools is developed.
Develop a Reconciliation Plan for the Central Coast.

2018 - 2019

Create consistent communication channels. (Ensuring that community are informed about localised safety risks like natural disasters and emergencies.)

No. of frequent info reminders, No. of regular facebook posts. Reporting through CSPC.

Ongoing - (annual reporting).

Support the delivery of drug education in local schools, support agencies to deliver training programs that build community awareness and capacity to combat emerging drug related issues and 'HotSpots'.

Number of programs provided.

Ongoing - (annual reporting).

Promotion of key safety messages and initiatives in the Central Coast.

Number of shared targeted messages relevant to key audiences ie. seniors, young people. Partner organisations include safety messages in newsletters and social media (cross postings).

Ongoing - (annual reporting).

Ensure that the community of Central Coast, through social recovery provision will be adequately supported to recover in the event of emergency or natural disaster.

Correct procedures and policies are updated. Partnerships and inter agency relationships are maintained.

Ongoing - (annual reporting).

Evaluations

- ◆ Development and adoption of a Reconciliation Plan for the Central Coast Community.
- ◆ The Community Safety Committee maintains strong membership and achieves outcomes of the safety program.
- ◆ Levels of satisfaction and community connection ascertained through the Central Coast Survey and focus group consultation.
- ◆ Inclusion of achievements in Service Provider reports.

Priority Area 4: Program development and partnerships

GOAL: Strengthen collaboration and effective approaches for addressing community safety in the Central Coast.

Action

Measure

Timeline

Work towards obtaining, for the Central Coast's Safety Action Plan, accreditation as a Pacific/Australian Safe Community.

Accreditation is progressed.

Ongoing - (annual reporting).

Maintain membership of the Central Coast Inter Agency Support Team.

Number of Meetings held.

Ongoing - (annual reporting).

Maintain community representation on the CSPC.

Number of members of the group.

Ongoing - (annual reporting).

Regular reporting of the actions implemented at CSPC is shared with all members.

Number of Meetings held.

Ongoing - (annual reporting).

Conduct a review of the effectiveness of the actions of the safety plan via recorded achievements and reaching desired outcomes determined by the community.

Number of programs provided

Ongoing - (annual reporting).

Evaluations

- ◆ The Community is strongly connected to networks and organisations that provide support to current and emerging opportunities.
- ◆ The Central Coast Community Safety Partnership Committee maintains strong membership and represents community safety consistently.
- ◆ The Central Coast plan has obtained accreditation with the Australian Safe Communities Foundation - accreditation as a Pacific/ Australian Safe Community.



Central Coast Place Marketing Plan

Place Making

DRAFT - MAY 2017



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PURPOSE

The purpose of the Place Marketing Plan (the Plan) is to:

Review and reinvest in the Coast to Canyon place marketing brand to stay in tune with consumer and travel trends and create a point of differentiation for the Central Coast to compete as a destination in crowded marketplaces.

INTRODUCTION

All destinations need to reinvest in their place brand to stay in tune with consumer and travel trends. Reviewing and reinvesting in the Coast to Canyon place brand assists the Central Coast Council (the Council) to differentiate through brand positioning and improve the way we compete in crowded marketplaces, such as tourism. Reinvesting and creating a point of differentiation for the Coast to Canyon place brand first involves reviewing our understanding of the culture, qualities and wisdom of the community and then acting to communicate and deliver a shared vision.

Place marketing seeks to attract new businesses, residents or visitors. Place marketing has been defined as, “the conscious use of marketing to communicate selective images of specific geographical localities or areas to a target audience”¹. Place marketing benefits the broader community as much as it benefits business, investors, developers and property owners. Place marketing builds community spirit and gives businesses and investors the confidence to innovate and enrich the places in the Central Coast that we love.

Governments at all levels have an important role to play in place marketing. It is also important that our combined local efforts complement and make use of the other place marketing efforts including the initiatives of neighbouring councils, the broader region, the State and the country. Working together and complimenting each other is the first step in progressing towards creating sustainable competitive advantage and resilience for the Central Coast’s economic development.

The Coast to Canyon place brand was developed in 2006. The Plan incorporates the Coast to Canyon Brand Review (the Review). The Review was informed by the ‘Reinvigorating the Coast to Canyon Brand’ Workshop, attended by 27 community members and stakeholders. The Background Paper provided to Workshop participants is included as Attachment 1. The Review aimed to: ensure the brand still represents the Central Coast’s distinct and appealing characteristics over a decade after its original development; explore how we represent ourselves to locals, visitors and investors; and to creatively think about how we can leverage from the place brand to maximise benefits for the whole community. Outputs of the Workshop are included as Attachment 2.

¹ Ashwood, G. J., and Voogd, H., (1994), ‘Place promotion: the use of publicity marketing and place promotion’, in Gold, J. R (Ed.), ‘Marketing to sell towns and regions’, Chichester, John Wiley and Sons, p. 39

As a result of the Review, three place brand logo revisions and new slogans were developed that are illustrated in Attachment 3. These were focus tested with 40 participants of the Workshop and members of the Council. The focus testing clearly indicated a preference for a logo and the 'great natured place' slogan. Broad community consultation was undertaken that included static displays, information sessions and also through digital platforms, such as social media and the Council's website. This enabled the community to provide the Council feedback on the new Coast to Canyon logo and slogan for the Central Coast to adopt as the place marketing brand.

The Plan will assist the Council, stakeholders, local businesses, community groups and residents to define their roles, allocate resources, make contributions, engage, communicate the shared vision and act. In order to act, we will need to make use of approaches based on building relationships, strengthening networks and working collaboratively.

In developing the Plan we acknowledge the valuable contribution of our Councillors, Council staff, community members, local groups, representative associations and peak bodies who brought their collective knowledge and experience to the following strategic conversations, projects and activities:

- . Central Coast Destination Action Plan Workshops;
- . Council's business unit input;
- . Reinvigorating the Coast to Canyon Tourism Brand Workshop;
- . Place Marketing Group Feedback Workshop (focus testing); and
- . Community consultation.

The Plan is also part of the Council's Social Planning Framework (SPF). The SPF sets the direction and outcomes to achieve improved community outcomes and services. It comes from, and contributes to, the realisation of the Central Coast community's vision and 2014-2024 Strategic Plan that outlines the things that need to be done to achieve the preferred future. The four SPF priorities areas that relate to the Plan are: active; engaged; included; and learning.

BACKGROUND

BRANDS

A brand is something that aims to create awareness, reputation and prominence in the marketplace².

Corporate Brand

The Council's corporate brand was not subject to review under the Plan. The corporate brand logo is designed to be used to promote a contemporary and professional image for the Central Coast and is illustrated in Figure 1.

Figure 1: Central Coast Council Corporate Brand

Horizontal layout



Vertical Layout



'Coast to Canyon' Place Brand

The Council's 'Coast to Canyon' place brand was subject to review under the Plan. The brand has been revised and a new slogan developed in consultation with community members, stakeholders and members of the Council. The Coast to Canyon brand is used for tourism related purposes, including events as well as promoting place related amenities and infrastructure, such as parks. In many cases, the place marketing brand is used in conjunction with the corporate brand.

Figure 2: Place Marketing Brand - Coast to Canyon



² Keller, K. L., (2013), 'Strategic brand management', Pearson, USA, p.30

Events Brand

The Council's events brand was not subject to review under the Plan. The events brand was developed from attributes outlined by the community. The brand is used for community events, functions and festivals. In the case of civic events, the corporate brand is the primary brand used.

Figure 3: Events Brand



SLOGANS

Slogans are short phrases that communicate descriptive or persuasive information about the brand. Slogans are powerful branding devices because, like brand names, they are extremely efficient, shorthand means to build brand equity. They function as a useful 'hook' or 'handle' to help consumers grasp the meaning of a brand; what it is and what makes it special. Slogans are an indispensable means of summarising and translating the intent of marketing in a few short words³.

The Council has a slogan for the Coast to Canyon place brand and for a slogan for the events brand. The revised Coast to Canyon place brand slogan 'Great natured place' represents an honest and authentic promise of what will be found in the Central Coast and can be used to efficiently communicate across different audiences. The events brand 'COME ALIVE, live what you love' slogan conveys an experience and emotional promise to participants as well as a call to action. The place marketing and events brands have been designed to create consistent branding promises and align with the corporate brand.

MARKETING AND PROMOTIONS

Marketing activities and programs are the primary means that organisations build brand equity. For example, the Council is developing a series of advertisements using the Coast to Canyon's, Great natured place message 'it's in our nature', see Attachment 4. This message can be effectively used across a range of target markets. The advertisements aim to promote and leverage from the Coast to Canyon place brand, as well as further embed it in our community.

³ Above note 1, p. 158

THE PLACE MARKETING FRAMEWORK

The Place Marketing Framework (PMF) guides the Council's organisational response to marketing and promotional activities and communications. The PMF is based in the local government context and identifies if positioning for a marketing or promotional activity or communication needs to be aligned to the corporate, place marketing or events brand. The Framework's dimensions are lifestyle marketing, infrastructure marketing, tourism marketing and economic development, which are not mutually exclusive.

The Framework is a holistic and user-friendly guide for the Council. It asks the user to identify the target or specific market that the marketing activity is aimed at. The target markets are: visitors, existing residents, potential residents, business operators, export markets, and government⁴. These traditional target markets are selected according to the goals of the marketing or promotional activity/communication but are also linked to growth strategies.

ECONOMIC DEVELOPMENT

The loss of population, including permanent out-migration of ever increasing numbers of young adults (aged 16 to 30 years), is one of the most disturbing aspect of regional decline in regional Australia⁵. Given the difficulties that smaller Local Government Areas (LGA's) such as the Central Coast have in attracting, retaining populations and skilled labour, this issue is clearly central to both our economic growth and future sustainability of communities and industries.

Population loss compounded by an aging demographic in the remaining population can lead to a loss of vitality (even hope) in communities affected by these demographic patterns. A growing issue for the Central Coast is to consider not only the size of the population but also the economic and social mix.

An important aspect of economic development in relation to place marketing is the impact of tourism (the visitor economy) for the Central Coast. The State has enjoyed increasing visitor numbers and many visitors travel to, or through, the Central Coast. Every visitor to the destination is a potential future resident or business investor. In response to an aging demographic and high youth out-migration, the Council aims to use strategic marketing and promotions activities, programs and communications to address these trends and attract visitors as well as financial and human capital.

⁴ Kotler, P., Haider, D. H., and Rein, I. (1993), *Marketing places: attracting investment, industry, and tourism to cities, states and nations*, New York, Free Press

⁵⁵ Hugo, G., (2001), *What is really happening in rural and regional populations? The future of Australia's country town*, Centre for Sustainable Regional Communities, La Trobe University, Bendigo

Growth Tourism Market Trends

According to the World Tourism Organisation over the last few decades tourism has experienced continual growth. It is now one of the fastest growing economic sectors in the world and the visitor economy is now a key driver for socio-economic progress⁶. Rapid growth of the Tasmanian tourism market though has not been shared evenly across the State, with regional areas not experiencing growth as high as metropolitan cities.

Adventure tourism, such as cycling has experienced significant growth globally in recent years. An increasing number of adventure tourists are embarking on both road and mountain biking and participating in cycling events. The Central Coast Council has a Cycling Strategy and cycling infrastructure, such as the integrated Central Coast Shared Pathway Network that provides an attraction for visitors and diversifies transportation options for locals.

On a State level, Tourism Tasmania identify food and wine related tourism as growth markets. Tasmania's high-quality produce is recognised globally. It is also important to note that caravan parks and camp sites are an essential facility for many visitors, particularly in the Central Coast. Caravan or camping visitors spend more nights in regional Australia than visitors using other forms of accommodation⁷.

In regional Tasmanian areas, parks and reserves are often the most important asset and driver for tourism. It follows that nature-based adventure tourism such as mountain biking/cycling, bushwalking, kayaking, cruising or alternative accommodation has the most significant potential to contribute to, and grow the Central Coast's visitor economy⁸.

Destination Marketing and Creating Competitive Advantage

Destination management methodology assists with intensifying marketing activities⁹. The wide variety of organisations involved and the complexity of tourism products has made the coordination and cooperation among them is a critical success factor. The umbrella incorporating all stakeholders is the Cradle Coast Authority; a destination management organisation (DMO), who have assumed a crucial role in fostering the development of local tourism systems in the region¹⁰. The tourism sector globally is characterised by increasing competition.

In marketing, a place is considered as a product that can be 'shaped' to achieve its competitiveness. Competitive advantage considers competitors and customers. The key to creating competitive advantage is to make the most of strengths that are different from the competitors. Destination marketing must lead optimisation of tourism impacts and the achievement of strategic objectives for all stakeholders¹¹.

⁶ United Nations World Health Organisation, <http://www2.unwto.org/>, website accessed 30 June 2016

⁷ Caravan Industry Association of Australia, <http://www.caravanindustry.com.au/marketing-to-government>, website accessed 15 June 2016

⁸ Tasmania Parks and Wildlife Service and Tourism Industry Council of Tasmania, (2014), '[Parks 21](#)', accessed 2 September 2016

⁹ Ritchie, J.R., and Crouch, G. I., (2010), '*A model of destination competitiveness/sustainability*', Brazilian Public Administration Review (RAP) 44(5), CAB International, pp. 1049-1066

¹⁰ Bruhalis, D., (2000), '*Marketing the competitive destination of the future*', Tourism Management, 22(1), pp. 97-116

¹¹ Bruhalis, D., (2000), refer above note 10

RATIONALE¹²

The table below outlines the current Central Coast profile:

Central Coast	
Population	<ul style="list-style-type: none"> . 262,595 residents over an area spanning 937km² in 2015 . 25% of the population in 2013 was aged under 19 years . 33% of the population in 2013 was aged between 20 and 49 years . 40% of the population in 2013 was aged between 50 and 84 years . 2% of the population in 2013 was aged over 85 years . 43 years old was the average resident age in 2011
Industry employment factors 2011	<ul style="list-style-type: none"> . 12% of employment was in the manufacturing industry . 12% of the population was employed in health care and social assistance . 11% of the population was employed in retail trade . 9% of the population was employed in education and training . 9% of the population was employed in construction . 7% of the population was employed in agriculture, forestry and fishing . 6% of the population was employed in accommodation and food services
Educational factors 2011	<ul style="list-style-type: none"> . 71% of the population did not complete Year 10 . 17% of the population held a certificate level qualification . 5% of the population held a bachelor degree . 5% of the population held a diploma or advanced diploma qualification . 2% of the population held a graduate certificate, graduate diploma or postgraduate degree
Labour force/ business factors	<ul style="list-style-type: none"> . The labour force participation rate in 2011 was 58.5% (the number of residents in the labour force expressed as a percentage of residents aged 15 years and over) . The unemployment rate in 2011 was 6.5% . Local businesses in 2015 totaled 1,379 . Local jobs in 2015 totaled 7,018 . 76% of residents volunteered their time to a charity or non-profit organisation in 2011
Visitation factors 2014	<ul style="list-style-type: none"> . 161,000 people visited the Central Coast . There were 239,000 overnight stays (220,000 overnight stays were by visitors from Australia) . The average spend per trip was \$193.00

¹² Baseline data sources: Australian Bureau of Statistics, [Census of Population and Housing](#) (2011); [Estimated Resident Population by Sex by Age Group by LGA, 2001-2013](#) (2013); [Industry of Employment by Sex \(LGA\)](#); (2011) [Selected Labour Force, Education and Migration Characteristics \(LGA\)](#) (2011); Tourism Research Australia, Tourism Research Australia, Tasmanian Visitor Survey, [Local Government area profiles](#) (2014); Profile i.d.(2016), <http://economy.id.com.au/central-coast>

CONTEXT

GLOBAL/NATIONAL LEVEL

Tourism Australia is the Australian Government agency responsible for attracting international visitors to Australia, both for leisure and business events. Tourism Australia's mission is 'to make Australia the most desirable destination on earth' and use emotionally driven human characteristics to present the brand to the target audience¹³.

Regional Australia deals with challenging issues that many metropolitan areas do not. The most significant of these is declining or static populations with a specific loss of young adults. Limited growth in populations, linked with the Australia-wide problems of ageing populations and diminishing birth rates is leading to a social and economic unease in many regional cities and towns that has long-term sustainability implications due to the lack of skilled workers and professionals.

STATE LEVEL

Tourism Tasmania have developed the 'Tasmania - go behind the scenery' tourism brand to market Tasmania. It merges together what Tasmania is well known for as well as 'behind the scenery' experiences; the nooks and crannies, the offbeat and original and Tasmania's natural beauty, set against the brutality of our convict past. The brand creates the direction for individual marketing campaigns¹⁴.

There are a number of Tasmanian strategy documents that relate to place marketing in the Central Coast. State strategies are outlined below:

Visitor Economy Strategy 2015-2020 (T21)

The Tasmanian Government and the Tasmanian tourism industry represented by the Tourism Industry Council Tasmania (TICT) set a target to increase visitor number to 1.5 million by 2020 to grow employment in tourism industries. Actions in the Tasmanian Visitor Economy Strategy 2015-2020 (T21) focus on four strategic priorities: generate more demand for travel to Tasmania; grow Tasmania's air and sea access capacity; invest in quality visitor infrastructure; and build capability, capacity and community¹⁵.

Engagement Strategy 2016

The Tasmanian Government Engagement Strategy 2016 emphasis's that high-quality visitor engagement plays a critical role in enhancing the overall visitor experience. The three priority actions for implementation are: reimagining our Visitor Information Centers; reviewing directional and wayfinding signage; and reviewing gateways (air and sea ports). Other priority actions include: digital strategy and collateral; drive journeys; and destination/experience advocacy¹⁶.

¹³ Tourism Australia, <http://www.tourism.australia.com>, website accessed 15 August 2016

¹⁴ Tourism Tasmania, <http://www.tourismtasmania.com.au>, website accessed 15 August 2016

¹⁵ Tasmanian Government (2015), 'Tasmanian Visitor Economy Strategy 2015-2020', website accessed 19 August 2016

¹⁶ Tasmanian Government, Department of State Growth (2016), [Tasmanian Visitor Engagement Strategy 2016](#), Website accessed 2 September 2016

Events Strategy 2015-2020

The Tasmanian Government Events Strategy 2015-2020 supports the creation of new events to help meet the target of 1.5 million visitors to Tasmania by 2020. It aims to become the boutique events capital of Australia, promoting Tasmania as a business events destination; highlighting the social and economic value of events that promote cultural, sporting and artistic pursuits; and to enrich Tasmania's keen sense of community¹⁷.

Parks 21

Parks and Wildlife Service and the Tasmanian tourism industry, represented by the Tourism Industry Council Tasmania (TICT), has identified a shared long-term goal to facilitate and enhance tourism activity and the overall visitor experience in Tasmania's national parks and reserves. Parks 21, the Joint Strategic Action Plan identifies three strategic objectives: enhanced tourism focus; sustainable experience delivery; and enterprise and economic activity¹⁸.

The Population Growth Strategy 2015

The Tasmanian Government has set a target to grow the population to 650,000 people by 2050 to drive economic growth, create jobs and improve the standard of living for all Tasmanians. The Population Growth Strategy 2015 outlines the approach to growing our population and builds on the State's existing investment in initiatives to grow jobs and the economy¹⁹. 50 actions are identified in three key areas: job creation and workforce development; migration; and liveability.

REGIONAL AND SUB-REGIONAL LEVELS

The Cradle Coast Authority DMO is the regional tourism organisation for the North West and West Coast of Tasmania responsible for implementing strategies to ensure that the region maximises its tourism potential. The Authority is guided by the Cradle Coast Tourism Executive creating local, regional and state partnerships. A Service Agreement also exists with Tourism Tasmania to deliver strategies and programs at regional and local levels²⁰. The Cradle Coast Authority developed the 'where will the stories take you' regional tourism brand.

The Cradle Coast Authority is developing the Cradle Coast Futures Plan that will provide the strategic direction to create sustainable economic development for the North West and West Coast of Tasmania. It is a networked approach, aiming to 'lift the living standards of everyone in our region by improving the productivity and competitiveness of our regional economy'.

¹⁷ Tasmanian Government (2015), '[Tasmanian Government Events Strategy 2015-2020](#)', website accessed 2 September 2016

¹⁸ Parks and Wildlife Service Tasmania, '[Parks 21](#)', refer above note 8

¹⁹ Department of State Growth, '[Tasmania's Population Strategy](#)', website accessed 2 September 2016

²⁰ Cradle Coast Authority, <http://www.cradlecoast.com>, website accessed 15 August 2016

LOCAL LEVEL

The Council's place marketing actions need to compliment and work within the broader national, State and regional context. However, it is also important to position and differentiate the Central Coast as a destination because we have our own strong sense of identity. The Council identified the following through the Strategic Plan 2014-2024²¹ community engagement process:

A Vision for Central Coast

Central Coast – Living our potential

We are a vibrant, thriving community that continues to draw inspiration and opportunities from its natural beauty, land and people and connected by a powerful sense of belonging to our place.

The Central Coast has the second highest population of any LGA in the region. The Central Coast has substantial manufacturing, service and agricultural sectors. There is an above-average reliance on employment in the manufacturing industry, accounting for 12.11% of employment in 2011²². The participation rate in 2011 was a relatively low 58.5% compared to the Australian rate of 61.4% in 2011. The Central Coast also has low levels of educational attainment.

²¹ Central Coast Council, '[Central Coast Strategic Plan 2014-2024](#)', Tasmania, pp. 6-8

²² Australian Bureau of Statistics, '[Selected Labour Force, Education and Migration Characteristics \(LGA\)](#)' (2011)

COAST TO CANYON BRAND REVIEW

The 2017 Coast to Canyon Brand Pyramid

As part of the Coast to Canyon Brand Review, the 2006 Coast to Canyon Brand Pyramid was reviewed to ensure that the Central Coast's distinct and appealing characteristics were still being reflected by the brand a decade after its development. Figure 4 illustrates the 2017 Coast to Canyon Brand Pyramid.

The Review was conducted in a Workshop of 27 stakeholders and community members. Analysis of Workshop outputs found that many of the Brand Pyramid's elements remained consistent with the 2006 model. There were two notable sentiment shifts. Firstly, the 'community' was found to be the primary reason for living high quality of life in the Central Coast. Secondly, there was a greater emphasis on the Central Coast's 'natural environment and resources'.

Figure 4: 2017 Coast to Canyon Brand Pyramid



In addition to the review of the Coast to Canyon Brand Pyramid that highlighted the Central Coast's defining characteristics of 'community' and 'natural environment and resources', the Coast to Canyon Review also found that:

- . Difficulties had been encountered using the place brand including: ease of access; understanding of application; and not being considered for use; and
- . The place brand needed strengthening with consensus for two elements: the need for a place definer such as Tasmania or Central Coast included in the logo; and that there was a lack of an engaging and representative slogan.

Findings from the Review informed revisions to the Coast to Canyon brand logo and new slogan development. These concept designs were focus tested and the broader community consulted. Feedback was incorporated, revisions to the brand design were made and further comments were sought. Figure 5 illustrates the place brand logo and slogan.

Figure 5: Coast to Canyon Place Brand



CAPITAL BRANDS

In the past, place brands have been used almost exclusively by the tourism industry. The revised Coast to Canyon place brand and slogan recognises and responds to the fact that we build our reputations in many ways and from many industry sectors and groups. This is the rationale behind the developing the Coast to Canyon Brand as a capital brand.

A capital brand is like an umbrella brand. For example, a company such as Macbook or Nivea have a lot of products but they focus on promoting their capital brand rather than the many individual products. This aims to embed the capital brand in the mind of the consumer. To improve leveraging from the Coast to Canyon place brand, the Council has developed a Capital Brand Framework (the Framework) to assist us to attract, for example: shoppers; visitors; businesses; investors; or families to relocate and live here.

THE CAPITAL BRAND FRAMEWORK

The Framework illustrated in Figure 6 includes the industry sectors and groups in our community that Workshop participants identified, see Attachment 2. The Framework shows how the Coast to Canyon place brand identity is at the heart of all marketing and promotional activities and this will ensure an aligned and consistent approach to using the place brand and slogan (tagline) across industry sectors and groups. This strategy aims to further embed the Coast to Canyon brand in the Central Coast community and create a greater reach and use for our promotions, marketing activities and communications.

For a capital brand to work the tagline must do several things:

- . It must speak to those it represents to build community confidence and pride;
- . It must deliver an honest and authentic promise of what will be found to the audiences it seeks to engage with; and
- . It must have a strong and consistent message that speaks to both inward and outward facing markets.

Figure 6: The Coast to Canyon Capital Brand Framework



Based on the Framework, Figure 7 provides an advertising example of how the Coast to Canyon place brand can be used to consistently target specific audiences using the ‘great natured place’ slogan and ‘it’s in our nature’ message. Further examples are provided in Attachment 4.

Figure 7: Advertising Example - Friendliness



This ad example shows how the Coast to Canyon's, 'Great natured place' slogan, with the 'It's in our nature' message can speak to a variety of audiences. It can be used to promote our welcoming community to: visitors; tourists; local business; event holders; and community members, whilst underpinning our connection to the 'great nature' of the Central Coast.

APPROACH

The Plan has been developed with engagement and reference to a number of community conversations and Workshops. It is the culmination of a learning journey where each step informed and guided the next. Stakeholders were engaged in processes that enabled all perspectives to be heard and understood.

Those engaged included representatives from: the Council; representative associations; local businesses; peak bodies; local community groups; service clubs and local residents.

The following specific events and activities have helped build the understanding, direction and development of the Plan:

Date	Activity	Who Involved	No involved
13 Jul 2016 & 10 Aug 2016	Central Coast Destination Action Plan - workshops	Stakeholders and community members	16
13 Sep – 27 Oct 2016	Place Marketing Framework	Council business unit staff	78
14 Dec 2016	Reinvigorating the Coast to Canyon Brand Workshop	Stakeholders and community members	29
TBC	Place Marketing Brand – Focus Testing	Stakeholders, community members and Council staff	40

DYNAMIC AND COLLECTIVE

This Plan is not just for the Council to deliver on. Many stakeholders, associations, businesses and community groups are already working on activities and actions that are making a positive difference to place marketing in the Central Coast.

The Plan is the roadmap to follow to achieve the vision and preferred future around this issue. Everyone can play a role and thus the energy and resources of our collective efforts can be harnessed.

The Plan will evolve and respond according to needs and opportunities. It is therefore, perpetual in nature and delivered through collective community efforts. This is part of the Council's approach where we build relationships; make productive use of our networks and work collaboratively to tackle shared issues.

VISION

WILLING AND ABLE

- . Place marketing is supported and actively promoted in our community; and
- . Whatever we are doing or wherever we are, there is visible link to our place brand or its values.

LOCAL BUSINESSES

- . Our industry sectors and community groups position marketing and promotional activities/communications to the place brand to maximise marketing power by leveraging from the brand; and
- . We work together, share knowledge and provide referrals to local businesses for the benefit of all in our community.

OUR IDENTITY

- . We socialise and enjoy a variety of unique identities and experiences in our communities; and
- . Our vibrant, thriving and genuine communities are visible and admired by both visitors and investors.

GUIDING PRINCIPLES

The following principles will guide the work and approaches of the Council, stakeholders and community groups towards achieving positive change for place marketing in the Central Coast. The first four guide the Council's SPF, with the fifth specific to the Plan.

MAKING A DIFFERENCE

- . Transforming the systems and relationships to produce social impact and better community outcomes;
- . Aligning practices, delivery systems and culture with the Central Coast vision; and
- . Taking action.

INNOVATION

- . Using the Plan to align effort across policy and service domains;
- . Identifying improved and new ways of working; and
- . Providing inspiration and incentives to encourage innovation to achieve agreed outcomes.

COLLABORATION

- . Working together to achieve positive outcomes;
- . Using a shared vision and purpose;
- . Building on existing assets/strengths;
- . Developing broad coalitions to identify and resolve key challenges; and
- . Developing service agreements, partnerships and other effective collaborative models.

LEARNING

- . Developing knowledge, skills and attitudes as a foundation to change;
- . Starting with young people while empathising lifelong learning;
- . Integrating learning and education into all approaches; and
- . Raising awareness through social marketing and cross-promotion.

A FOCUS ON PLACE MARKETING

- . Industry sectors and community groups position themselves to leverage from the place marketing brand;
- . Working together on relevant strategies to make a difference;
- . Aligning actions with local place values and identities; and
- . Doing with, not doing for.

FUTURE DIRECTIONS AND STRATEGIC OUTCOMES

SOCIAL PLANNING FRAMEWORK MODEL

The SPF places the Central Coast community vision at the center. The SPF model illustrated in Figure 8 links SPF priority areas (future directions) with dimensions of the Council’s Strategic Plan 2014-2024, World Health Organisation social determinants of health and the State Government’s Healthy Tasmania Plan to place-based needs.

Figure 8: Social Planning Framework Model



FUTURE DIRECTIONS

The Action Plan identifies actions and related tasks that the Council will be able to undertake within the three roles of provider, facilitator and advocate. These actions aim to achieve the associated strategic outcome. Actions are categorised under the four future directions identified by the SPF to make a difference for the Central Coast: active; engaged; included and learning.

Active

Opportunities and facilities to gather and participate in recreational activities and cultural experiences.

Engaged

Capabilities and networks to volunteer our time and skills and engage in decisions that affect us.

Included

Connectivity and inclusivity for our communities to access services, shops, education, work and play.

Learning

The knowledge, skills and commitment to learning needed to participate fully in society and reach our potential.

STRATEGIC OUTCOMES

Identifying strategic outcomes and indicators to measure enables evaluation of the Plan's implementation and whether a positive difference is being made for the community. The strategic outcomes are:

1. Enhancing place identity
2. Building inclusive communities
3. Using design of the public realm to create competitive advantage
4. Fostering community involvement, collaboration and networks
5. Supporting local entrepreneurs and businesses
6. Bringing education and business together
7. Developing investment opportunities

TIMINGS

Short-term	One year
Medium-term	One to three years
Long-term	One to five years (+)

KNOWING IF ANYONE IS BETTER OFF

The Council will take a Results Based Accountability (RBA) approach to measuring the performance of the Plan. This approach starts with the end ‘results’ desired for a community or population group and then identifies the indicators, which can be measured to quantify the achievement of desired results.

A measure of how well a program, agency or service system is working involves three types of interlocking measures shown below:

1. How much did we do?
2. How well did we do it?
3. Is anyone better off?

Performance Measures

	Quantity	Quality
Effort	How much service did we deliver?	How well did we deliver it?
Effect	How much change/effect did we produce?	What quality of change/effect did we produce?

ACTION PLAN

Active – Future Direction 1					SPF Priority Area	
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
Enhancing place identity	Activities	Place marketing brand	Revise the Coast to Canyon brand and develop new slogan	Provider	Complete	Community engagement
	Activities	Built and natural environment	Investigate feasibility for further development of the Leven Canyon as unique tourism experience	Provider	Short-term	Council collateral
	Activities	Well-being and liveability	Review the Central Coast Cycling Strategy	Provider	Medium-term	Policy
	Activities	Place marketing brand	Update place marketing suite of documents including Coast to Canyon Style Guide	Provider	Complete	Council collateral
	Activities	Place marketing brand	Integrate the Cost to Canyon 'it's in our nature' message in the Events Calendar	Provider	Short-term	Council collateral
	Activities	Destination management	Review the Events Brand Style Guide	Provider	Short-term	Council collateral
	Activities	Destination management	Develop a social media campaign to promote and embed the events brand in the community	Provider	Short-term	Council collateral
	Activities	Destination management	Organise and build on the Council's existing photo library	Provider	Short-term	Council collateral
	Activities	Destination management	Review the Visitor Interpretation Strategy	Provider	In progress	Policy

Active – Future Direction 1				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
	Activities	Destination management	Develop initiatives/activities to further embed the events brand in the community	Provider	Short-term	Council collateral
	Connection	Economic development	Lobby regional peak body to develop a Regional Liveability Strategy	Advocate	Medium-term	Policy
	Facilities	Well-being and liveability	Develop a business case for a local arts hub	Provider	Long-term	Policy
	Facilities	Well-being and liveability	Investigate feasibility to develop an astronomy hub	Provider	In progress	Policy
	Participation	Place marketing Brand	Review the Coast to Canyon brand	Facilitator	Complete	Community engagement
Using design of the public realm to create competitive advantage	Activities	Local and regional visitor services management	Plan to create new/unique visitor experiences	Provider	In progress	Community engagement
	Facilities	Built and natural environment	Re-branding Council owned/managed facilities/amenities with the place brand	Provider	Long-term	Budget estimates
	Facilities	Destination management	Review/Identify development opportunities for the Penguin Railway Station	Provider	Medium-term	Council collateral
	Facilities	Events	Investigate procurement of a marquee to increase the capacity of the Gnomon Pavilion and opportunities to host business events	Provider	Short-term	Council collateral

Active – Future Direction 1				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
	Facilities	Destination management	Review the location of Visitor Information Centers (VIC's) infrastructure as well as the role/purpose	Provider	Medium-term	Policy
	Facilities	Built and natural environment	Integrate the place marketing brand in Dial Regional Sports Complex Development plans	Provider	Short-term	Council collateral
	Facilities	Built and natural environment	Integrate the place marketing brand in implementation of the Ulverstone Civic Centre review findings	Provider	Short-term	Council collateral
	Facilities	Digital marketing	Create a highly visual digital display space at VIC's to promote the area as a great place to live, visit and invest	Provider	Medium-term	Budget estimates
	Facilities	Well-being and liveability	Review use and identify new visitor experiences for parks	Provider	Short-term	Council collateral
Fostering community involvement, collaboration and networks	Participation	Communications and engagement	Establish a Youth Leaders Development program	Provider	Medium-term	Policy
Supporting local entrepreneurs and businesses	Facilities	Place marketing brand	Update business packs (brochures): A place to live, visit; and A place to invest	Provider	Short-term	Council collateral
	Facilities	Built and natural environment	Support further development of the Central Coast Mountain Bike Club	Facilitator	In progress	Strategic alliances
	Participation	Events	Pursue the small convention market	Advocate	Long-term	Strategic alliances

Engaged – Future Direction 2				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
Building inclusive communities	Capabilities	Events	Continue to engage with community to achieve local arts and cultural outcomes	Facilitator	In progress	Community engagement
	Capabilities	Events	Develop strategies to leverage from the Regional Events Strategy	Provider	Long-term	Council
Using design of the public realm to create competitive advantage	Networks	Local and regional visitor services management	Review involvement in the Cradle Coast Tasting Trail	Provider	Short-term	Council collateral
Fostering community involvement, collaboration and networks	Networks	Local and regional visitor services management	Support the Central Coast Tourism Association	Facilitator	In progress	Strategic alliances
	Networks	Local and regional visitor services management	Develop/strengthen strategic partnerships and networks to create a community of practice	Facilitator	Long-term	Strategic alliances
	Networks	Communication and engagement	Facilitate an annual forum to engage with stakeholders around place marketing	Facilitator	Short-term	Community engagement
	Volunteers	Local and regional visitor services management	Develop a Central Coast Volunteer Strategy	Facilitator	In progress	Policy
	Volunteers	Local and regional visitor services management	Develop/support training initiatives/programs in customer service to enhance capacity and capability in our volunteers and business operators	Provider	Medium-term	Council collateral

Engaged – Future Direction 2				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
Fostering community involvement, collaboration and networks	Capabilities	Communication and engagement	Identify and support existing and emerging community leaders and brand champions	Facilitator	Medium-term	Community engagement
Supporting local entrepreneurs and businesses	Networks	Economic development	Cross promote local tourism businesses	Facilitator	Short-term	Council collateral
	Networks	Economic development	Lobby peak regional body to establish a Devonport and Cradle Country Cooperative Marketing Agreement	Advocate	Long-term	Council collateral
	Networks	Communications and engagement	Lobby the Cradle Coast Authority to cross promote councils digital marketing	Advocate	Medium-term	Strategic alliances
	Networks	Communication and engagement	Support business and community to exchange information exchange and collaborate	Facilitator	Long-term	Community engagement
	Capabilities	Economic development	Support business development and investment opportunities, particularly for new/niche opportunities	Provider	Long-term	Strategic alliances
Developing investment opportunities	Networks	Economic development	Lobby the Cradle Coast Authority for sub-regional relationships, delegations and trade shows and cross promote trade	Provider	Long-term	Strategic alliances
	Networks	Economic development	Engage and leverage from the Regional Futures Plan	Advocate	Long-term	Policy

Engaged – Future Direction 2				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
	Capabilities	Economic development	Encourage and support investment and value creation in recognised growth markets	Facilitator	Medium-term	Council collateral

Included – Future Direction 3				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
Enhancing place identity	Inclusion	Events	Review the Central Coast Events Strategy to integrate and define the utility of the events brand	Provider	Short-term	Policy
	Access	Place marketing brand	Review directional signage for towns and attractions to increase visitor numbers	Provider	Medium-term	Council collateral
	Access	Built and natural environment	Investigate improved road connections to Cradle Mountain	Provider	Long-term	Council collateral
	Connection	Place marketing brand	Develop brochures based on the capital brand framework using the ‘it’s in our nature’ message	Provider	Short-term	Council collateral
	Connection	Destination management	Develop Council strategies to build on the Central Coast Destination Action Plan: Towards 2020	Provider	Short-term	Policy
	Connection	Built and natural environment	Review Central Coast Community Plans	Provider	Long-term	Policy
	Connection	Built and natural environment	Implement the actions in the Ulverstone, Penguin and Forth Urban Design Guidelines	Provider	In progress	Council collateral
	Connection	Digital marketing	Review and redevelop the Coast to Canyon website	Provider	Complete	Council collateral
	Connection	Digital marketing	Review the Coast to Canyon Facebook Page	Provider	Short-term	Council collateral

Included – Future Direction 3				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
Enhancing place identity	Connection	Digital marketing	Update Coast to Canyon digital platforms and printed media to reflect brand changes	Provider	Short-term	Council collateral
	Connection	Digital marketing	Investigate new online place marketing tools/functionality	Provider	Medium-term	Council collateral
Building inclusive communities	Inclusion	Well-being and liveability	Continue development of the Central Coast Social Plan	Provider	In progress	Policy
	Inclusion	Well-being and liveability	Review the Central Coast Positive Ageing Strategy	Provider	In progress	Policy
	Inclusion	Well-being and liveability	Review the Central Coast Youth Strategy	Provider	In progress	Policy
	Inclusion	Well-being and liveability	Develop a Central Coast Disability Strategy	Provider	Short-term	Policy
	Access	Build and natural environment	Identify new experiences to enhance the Shared Pathway Network	Facilitator	In progress	Council collateral
	Access	Built and natural environment	Develop a range of promotional activities to encourage greater use of walking routes	Provider	In progress	Council collateral
Using design of the public realm to create competitive advantage	Connection	Built and natural environment	Review use and identify opportunities for cultural spaces and the public realm	Provider	In progress	Council collateral
Fostering community involvement, collaboration and networks	Connection	Digital marketing	Develop seasonal brochures using the ‘it’s in our nature message’	Provider	Short-term	Council collateral

Included – Future Direction 3				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
Supporting local entrepreneurs and businesses	Connection	Events/economic development	Support local events that bring life to central business districts	Provider	In progress	Council collateral

Learning – Future Direction 4				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
Enhancing place identity	Knowledge	Place marketing brand	Include question/s in the Council’s Community Survey to evaluate place marketing efforts	Provider	Medium-term	Policy
	Skills	Place marketing brand	Build capacity of key staff in developing place marketing/promotion activities	Provider	Short-term	Council collateral
Fostering community involvement, collaboration and networks	Skills	Communication and engagement	Train key Council staff in contemporary communication and engagement techniques	Provider	In progress	Council collateral
	Skills	Communications and engagement	Build resources in the communication and engagement intranet toolkit for Council staff	Provider	Complete	Council collateral
	Networks	Communications and engagement	Develop capacity in key Council staff for community-led development approaches	Provider	Medium-term	Council collateral
	Attitudes	Digital marketing	Develop a monthly social media campaign using the ‘it’s in our nature’ message	Provider	Short-term	Council collateral
Supporting local entrepreneurs and businesses	Knowledge	Economic development	Work collaboratively to improve community capability and innovation enterprise	Facilitator	Long-term	Community engagement
	Skills	Place marketing brand	Support local businesses to review their online presence and position to the place marketing brand	Facilitator	Medium-term	Council collateral

Learning – Future Direction 4				SPF Priority Area		
Strategic Outcome	SPF Dimension	Action	Related Task	Council Role	Timings	Resources
	Skills	Digital marketing	Promote the Digital Ready on-line training available on the Council's website and Facebook page	Provider	In progress	Community engagement
Bringing education and business together	Knowledge	Economic development	Support ongoing development of Switch (Cradle Coast Innovation)	Provider	In progress	Strategic alliances
	Knowledge	Economic development	Build stronger links between business, TAFE and UTAS	Advocate	In progress	Strategic alliances
	Skills	Economic development	Support the establishment of mentorships/internships to support local business	Advocate	Long-term	Strategic alliances
	Skills	Economic development	Support/investigate new intermediate labor market programs/initiatives	Facilitator	Medium-term	Strategic alliances
	Skills	Economic development	Work collaboratively to develop business improvement activities designed to strengthen businesses through advice/training for managers and employees	Facilitator	Long-term	Strategic alliances
Developing investment opportunities	Knowledge	Economic development	Provide targeted support and critical strategic information for locally owned growth businesses in growth markets	Facilitator	Medium-term	Council collateral

MEASUREMENT

Strategic Outcome	How much did we do?	How well did we do it?	Is anyone better off?
Enhancing place identity	<ul style="list-style-type: none"> . # of social media posts applying the 'It's in our nature' message . # of Community Survey questions 	<ul style="list-style-type: none"> . # of Council owned/managed assets displaying the place brand . Gap analysis of Community Survey question/s 	% of the population volunteering their time ²³
Building inclusive communities	# of community initiatives/programs developed/supported	# of community stakeholders engaged	# of new community leaders/champions developed
Using design of the public realm to create competitive advantage	# of local businesses leveraging from the place marketing brand	# of cross promotional activities	% increase in visitation to the Central Coast
Fostering community involvement, collaboration and networks	# of networking opportunities created	# of businesses working collectively to increase economies of scale	# of businesses referring clientele
Supporting local entrepreneurs and businesses	# of referrals Switch	# of cross promotional activities	# of services provided by Switch
Bringing education and business together	# of education and training opportunities supported	# of social media posts promoting educational opportunities	% increase in education attainment of Year 10 or above
Developing investment opportunities	# of promotional initiatives/activities	# of new business start-ups	% increase in workforce participation

²³ Indications of community identity and image can be measured by the community's level of co-operation and social cohesion. Wong, C., 2002, 'Developing Indicators to Inform Local Economic Development in England', Urban Studies, Vol 39 (10), pp. 1833-1863

CONTACTS

If you would like more information or want to share what you are doing please contact:

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ATTACHMENT 1

Reinvigorating the 'Coast to Canyon' Tourism Brand

Background Paper

Workshop held Wednesday, 14 December 2016

Between 9.30am and 2.30pm



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THE CONTEXT

A place brand establishes the distinctiveness of the area and its special qualities. A place brand is based on a framework that extends beyond logos or slogans, including:

- . Identifying our strengths and gets to the heart of what makes us who and what we are;
- . Enabling us to be far more focused, purposeful and effective in the way we communicate in areas that are important to us;
- . Giving us a sense of local identity;
- . Helping our community feel more recognised for its strengths and contributions;
- . Providing a valuable tool to help market our destination to create a presence in tourism and other sectors that are important to us; and
- . Reinforcing our consistency with the State's and region's strengths while building on the Central Coast's significant differences from others in regional Tasmania.

In effect, a place brand is a fundamental tool that is the starting point for strategic decision making. The place brand is the vehicle through which locals, visitors, investors and others can relate to the area's distinct and appealing characteristics. It is also a way to ensure that the Central Coast stays true to its values. At the same time, it builds on community strengths, social values and local identity.

Place marketing benefits the broader community as much as it benefits investors, developers and property owners. Place marketing is the conscious use of marketing to communicate selective images of specific geographical areas to a target audience. Place marketing builds community spirit, and can give investors and businesses the confidence to innovate and enhance the places in the Central Coast that we love.

THE CHANGE NEED

THE COAST TO CANYON BRAND

The 'Coast to Canyon - a place of plenty' place brand was developed in collaboration with the Central Coast community and endorsed by the Central Coast Council (the Council) in late 2006. The Coast to Canyon place brand illustrated in Figure 1 is aligned with the State tourism brand, 'Tasmania - Go behind the scenery' as well as the regional brand, 'Tasmania's North West - Where will the stories take you?'.



Figure 1: Primary Coast to Canyon Logo

REINVIGORATING THE COAST TO CANYON BRAND

A place brand is the vehicle through which locals, visitors, investors and others can relate to the area's distinct and appealing characteristics. The Coast to Canyon place brand incorporates our community; civic life; economy; and lifestyle to effectively market and promote the Central Coast area.

The Coast to Canyon brand should create an authentic, visual image of a promise of what a person will experience when visiting or associating with Central Coast as a destination. This workshop presents an opportunity to collectively review our 2006 understanding the culture, qualities and wisdom of our community and ways to communicate and deliver a shared vision.

It is important for all destinations to review and if needed, reinvest in their place brand to stay in tune with consumer and travel trends and to consider ways to differentiate themselves in crowded global marketplaces.

THE VISITOR ECONOMY

The visitor economy is a significant component of Tasmania's overall economy. While tourism is a volatile sector, since the introduction of budget airlines and two Spirit of Tasmania ferries, Tasmania continues to experience increasing visitor numbers. For the year ending June 2016:

- . There were 1.17 million visitors, up 2% from 1.15% for the year ending 2015;
- . Total nights spent by visitors in the state increased by 5% to 10.20 million;
- . Visitor expenditure increased by 9% to \$2.05 billion; and
- . The number of interstate visitors to Tasmania increased by 1% to 997,800 from 988,000 for the year ending 2015.

Tourism Tasmania identifies the following reasons for visiting Tasmania:

- . Visiting friends and relatives;
- . To see wilderness/wildlife and natural scenery;
- . To self-drive/tour around;
- . To do business or work;
- . Visit iconic destinations, such as Cradle Mountain; and
- . To attend sport and recreation events.

CENTRAL COAST VISITATION

Table 1 – Key Tourism Metrics 2014

	International	Domestic Overnight	Domestic Day	Total
Central Coast				
Visitors ('000)	2	47	112	161
Nights ('000)	19	220	-	239
Average stay (nights)	10	5	-	5
Spend (\$m)	1	19	11	31
Average spend per trip (\$)	492	403	91	193
Average spend per night (\$)	44	85	-	84
Average spend (commercial accommodation) per night (\$)	np	130	-	np
Tasmania				
Visitors ('000)	177	2,223	4,669	7,069
Nights ('000)	3,179	9,340	-	12,519
Average stay (nights)	18	4	-	5
Spend (\$)	262	1,791	517	2,570

Table 2 - Central Coast's percentages relative to Tasmania

Metric	Central Coast percentages relative to Tasmania
Visitors	<ul style="list-style-type: none"> . 1.1% - international visitors . 2.1% - domestic overnight visitors . 5.2% - domestic day visitors . 2.3% - total visitors to Tasmania
Nights	<ul style="list-style-type: none"> . 0.6% - international visitors . 2.4% - domestic overnight visitors . 1.9% - total visitors to Tasmania
Average stay (nights)	<ul style="list-style-type: none"> . Slightly under half the rate of international visitors . Slightly over half the rate of domestic visitors . 5 nights; comparable to total Tasmania average
Spend	<ul style="list-style-type: none"> . 2.6% -international visitors . 1.1% - domestic overnight visitors . 5.1% -domestic day visitors . 1.2% - total visitors to Tasmania

Tourism Research Australia, Tasmanian Visitor Survey (2014).

'np' the estimate is unreliable and cannot be published;

'-' data not available.

The 2014 Tourism Visitor Survey data indicates that the Central Coast visitor market segment is predominantly domestic visitors, anecdotally from leisure tourists visiting friends and relatives. Expenditure from domestic day visitors is the most lucrative segment for the Central Coast. Notably, the average length of stay in the Central Coast is five days, which is the State average.

INDUSTRY TRENDS

On a global scale, the World Tourism Organisation identifies cycling and nature based tourism as the two significant growth tourism markets. Both are forms of adventure tourism. An increasing number of adventure tourists are embarking on travel to cycle, either road based, mountain biking or participating in cycling events. Nature based tourism includes activities such as bushwalking, kayaking, cruising or alternative accommodation such as 'glamping' (upmarket camping).

Tourism Tasmania identify food and wine related tourism is a growth market on a State scale. Tasmania's high-quality produce is recognised globally. Culinary tourism focuses on the search for and enjoyment of prepared food and drink - visitors seek out unique and memorable eating and drinking experiences. Agri-tourism includes experiences around local produce including agriculture and aquaculture such as farmers' markets.

THE BRAND PYRAMID MODEL

The process used to develop the Coast to Canyon brand in 2006 was based on Brand Pyramid methodology. Figure 2 illustrates the Brand Pyramid and defines the Brand Pyramid elements. Local business and community representatives were engaged and development of the brand drew on the knowledge and understanding of those who have the greatest affinity for the area and the strongest connections with its strengths – those who live and work here. This is the same methodology and process that the place brand review will apply at this workshop.

Figure 2: Brand Pyramid



ESSENCE STATEMENT

The heart of the brand summed up in a few words – what makes us truly distinctive.

PERSONALITY

Taking everything we are and describing it as a person. Brands work because we have relationships with them.

CORE VALUES

Describes our tone and style – what we believe in and stand for.

BENEFITS

Describes what visitors and locals get by being associated with us.

ATTRIBUTES

The physical (tangible) strengths. This workshop will expand the attribute element to include emotional (intangible) strengths. This is commonly used in Brand Pyramid methodology.

By reviewing the brand pyramid model, we can ensure the Coast to Canyon place brand reflects any changes in the way the community perceive ourselves. Reviewing the brand pyramid ensures changing community sentiments are incorporated, effectively keeping the information behind the brand current.

CAPITAL BRANDS

Capital Branding (also known as Umbrella or Family Branding) is a marketing practice involving the use of a single brand name and value proposition to promote, add value or increase sales of related products, services or experiences. If used well, it is an effective leveraging tool.

Capital Branding allows the grouping of relatable brands making them more identifiable and valuable by association. This maximises both the marketing investment and efforts. There is a warning though - these related brands must be of the same quality and standards. Use of the capital brand needs to be selective and carefully managed to protect the established reputation.

Think about Apple Inc. Apple adds new products, for example Macbook Pro and Apple Watch to their line. Consumers use previous information and experiences to make an initial judgement of the new product with the same or associated brand name. Apple focuses on promoting the Capital Brand, rather than a multitude of individual product brands. The individual product brands leverage the credibility, reliability, trust and reputation of the Capital.

WHAT WORKS TO DO BETTER

A strategic, consistent and holistic approach to place marketing is necessary to help refine the way we collectively perceive and present ourselves as a destination and leverage from the Coast to Canyon place brand. The place brand guides the tone, style and image of all communications and marketing activities in a consistent approach to promoting Central Coast as a destination.

A well-developed brand that is embraced and effectively leveraged off by stakeholders and the community can create competitive advantage in the way the Central Coast is positioned to attract investment and visitors in the crowded marketplaces of the global economy. Reviewing and reinvesting in the Coast to Canyon place brand is the process that the Central Coast can continue to build on our community strengths, social values and capacity and ensure it truly reflects who we are.

THE RELATIONSHIP BETWEEN MARKETING AND COMPETITIVE ADVANTAGE

In marketing, a place is considered as a product that can be 'shaped' to achieve its competitiveness. In marketing terms, the idea of 'a product' covers all manufactured/crafted goods/services, experiences, people, places, organisations, information and thoughts. This means everything that may possibly become a medium of exchange, an item of use or an article of consumption, and everything that may satisfy needs and desires, is a product.

Competitive advantage considers competitors and customers. The key to creating competitive advantage is to make the most of strengths that are different from the competitors; the point of differentiation.

Stakeholders have a crucial role in effectively leveraging off the Coast to Canyon brand to support the development of local tourism and economic development in the Central Coast. The aim is to attract the attention of potential investors and tourists, encourage them to invest or visit here and to create loyal (repeat) visitors.

The tourism sector is very crowded, resulting in increased competition as destinations compete to attract visitors. The wide variety of organisations and stakeholders involved as well as the complexity of tourism products means that coordination and cooperation is a critical success factor to effectively compete in the international tourism market to achieve the aim. The same can be said for export and local trade markets.

Information and communication technology (ICT) plays a key role with important functions both in networking of stakeholders and in marketing the place and commercial products globally. Obviously, the internet has affected these functions as well as many activities, for example traditional (mainly printed) media have been transferred to web-based media on the internet. Other digital platform examples include websites, social media and listing on booking portals.

Destinations need to differentiate their 'products' and develop partnerships between the public and private sector locally to co-ordinate delivery. Taking advantage of new technologies and the internet enables destinations to enhance their competitiveness by increasing their visibility, reducing costs and enhancing local co-operation. Place marketing should optimise local economic impacts and the achievement of the strategic objectives for all stakeholders.

INTEGRATION

The Central Coast Council's (the Council) vision is *A Connected Central Coast*. The development of a Central Coast Place Marketing Plan will integrate findings of the Coast to Canyon Review and identify a range of specific initiatives relating to the priorities arising from the Central Coast Social Planning Framework.

The Council's Strategic Plan 2014-2024 identified and is already addressing a number of key outcomes. The Plan is linked and contributes to the following Strategy and action:

Council Sustainability and Governance

4. Effective communication and engagement:
 - . Review the Coast to Canyon Brand.

WHAT IS COUNCIL'S ROLE?

Broadly speaking, the Council can provide three kinds of goods or services and play three roles. The three different types of goods and services are more fully described in Table 3.

Type of good	Council role		
	Provider	Facilitator	Advocate
Public goods			
Mixed goods			
Private goods			

- . The **provider** role includes regulatory activities. The Council provides the good or delivers the service because they are required by legislation to do so;
- . As a **facilitator**, the Council cooperates with other groups to help deliver a good or service. The facilitating actions can be large or small; and
- . As an **advocate** the Council speaks up, lobbies and supports a cause or issue.

Table 3: Local Government goods and services

Type of good	Characteristics	Funding Sources	Notes/Examples
Public Goods	<ul style="list-style-type: none"> . Provided by government and could be described as core business; . There is wide community benefit; . Everyone has equal access; and . Market failure exists for the provision of the service. 	<ul style="list-style-type: none"> . Taxes; and . Rates. 	<ul style="list-style-type: none"> . Footpaths; . Roads; . Planning scheme; . Regulatory activities; and . Parkland (public land).
Mixed Goods	<ul style="list-style-type: none"> . Provision can be shared between government and the private sector; . It is discretionary for government; . There is community demand for the service that can politically justify government involvement; . Access is not necessarily equal for all; and . Part market failure exists for the provision of the good or service. 	<ul style="list-style-type: none"> . User charges; and . Community Service Obligations (CSO) 	<ul style="list-style-type: none"> . Public swimming pools; . Sporting facilities; . Museums; . On street parking; . Medical facilities; . Livestock sale yards; . Festivals and events; . Recycling and landfill sites; . A CSO is an allocation of funds by the Council from the general rate. It is a cross subsidy to make up operational shortfalls and the amount is a political decision; and . If a service becomes self-sufficient the CSO could be removed. In that case, the mixed good usually moves to become a private good.
Private Goods	<ul style="list-style-type: none"> . Provided by the private sector. No reason for government to be involved; . Market forces set demand for the service; . There is no market failure for the provision of the service or good; and . Access is not equal to all. 	<ul style="list-style-type: none"> . Prices. 	<ul style="list-style-type: none"> . If government is involved then revenues must be sufficient to fund the long-term needs of the business; . Sometimes councils end up providing private goods as the transition from mixed good takes place. An example could be off street car parks or animal sale yards; and . Once there is no market failure the asset should be sold and the funds reinvested in in public goods.

There will be some actions in the Place Marketing Plan that the Council will be able to undertake within their three roles of provider, facilitator and advocate. However, the Council could not and should not do everything. What stakeholders need to decide are the things that they would like to tackle and the supporting role the Council might play.

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ATTACHMENT 2

REINVIGORATING THE COAST TO CANYON BRAND

APPROVED WORKSHOP OUTPUTS

Workshop held on Wednesday, 14 December 2016



THE BRAND PYRAMID

Attributes

- | | |
|------------------------------------------------------------------|-------------------------------------------------------|
| . Family opportunity and experiences | . Industries |
| . Lifestyle - living in | . Resilience |
| . Stunning mix of landscapes | . Families |
| . Accessible/immediate | . Cleanliness |
| . Scenery/vistas | . Relaxed pace of life |
| . Natural beauty | . No visible poverty |
| . Café/food culture | . No traffic congestion |
| . Appropriate development | . Civic pride |
| . Safety | . Personal achievers |
| . Security of services | . Activities for all ages |
| . Welcoming communities | . Rich history i.e. rail |
| . Vibrant communities | . Cenotaph/parks |
| . Diversity of natural resources - rivers, beaches and mountains | . Commemoration |
| . Quality of life | . Friendly people |
| . Community energy | . Down to earth people |
| . Adventure tourism | . Proximity/accessibility to beaches, mountains towns |
| . Entrepreneurs | . CBD's - village atmosphere |
| . Beautiful views | . Training |
| . Gardens | . Hospital |
| . Nature walks | . Farmland |
| . Shared pathway | . Seasonal, temperate climate |



Reinvigorating the Coast to Canyon Brand Workshop
 Unedited Outputs
 Held on Wednesday, 14 December 2016

Functional Benefits

- . Short distance to travel
- . Quality of sport and recreation
- . Livability
- . Weather/climate
- . Environmental enablers
- . Good schools
- . Safe communities
- . Music scene/events
- . Positive Council
- . Approachable Councilors
- . Road network and low congestion
- . Central location
- . Vibrant cultural life
- . Fresh air/low pollution
- . Job opportunities
- . Wide range of sports facilities
- . Accessibility to services
- . Volunteer organisations

Emotional Benefits

- . Safety – likeminded neighbours
- . Peace
- . Serenity
- . Supportive networks
- . Community pride
- . Sense of belonging
- . Inclusiveness
- . Secure
- . Giving back/doing the right thing
- . Resilience
- . Happiness (visible)
- . Stress free
- . Health and wellbeing
- . Inspired
- . Connected
- . Proud
- . Family loyalty to the area
- . Quality produce
- . Relaxing
- . Looking out for each other
- . Welcoming communities
- . Friendliness
- . Objective engagement (interpersonal)
- . Euphoria/uplifting
- . Not racist or sexist
- . Neighbourly
- . Grateful
- . Easy to feel at home

Core Values

- . Family
- . Community support
- . The people
- . The natural environment
- . Remembrance
- . Lifestyle
- . Connection with clubs
- . Accessibility
- . Supporting health and well-being
- . Clean
- . Friendly
- . Affordability
- . Wharf Precinct
- . Natural environment (protection)
- . Livability – human rights
- . Clean environment
- . Penguin
- . Quality of life
- . Community inclusion
- . Honesty
- . Integrity
- . Embracing the past/future
- . Environment
- . Sense of belonging
- . People and places
- . Pride



Reinvigorating the Coast to Canyon Brand Workshop
Unedited Outputs
Held on Wednesday, 14 December 2016

- . Flora and fauna
- . Produce
- . Appropriate economic development
- . Freedom
- . Care
- . Connectivity
- . Sport and physical development
- . Sharing and caring
- . Generosity of spirit



Personality

- . Strong, warm middle aged female whose welcoming, energised (passionate), thoughtful and understated
- . Middle aged, hardworking farmer whose involved in some community activity
- . Middle aged resident whose involved in the community
- . Friendly retired female, waspy, Anglo-Saxon, mid-range education, conservative, strong sense of community and volunteering
- . Passionate, energetic, objective, empathetic, informed and knowledgeable
- . Eloquent and confident
- . 'Salt of the earth', retired, helpful and enjoying the outdoors and gardening
- . Objective and knowledgeable
- . Enthusiastic resident aged 35-50, laid back, positive outlook, friendly, sharing experiences
- . Semi-active outdoors oriented female 50-60 years old, high school educated, conservative and a volunteer
- . Generous, caring, friendly, considerate, sports-loving and conservative
- . Kind, fair, humorous, outdoor and 'down to earth'
- . Positive, open and energetic
- . Beautiful, fresh, alive, family orientated, someone you want to be around, a worker who enjoys recreation, proud, loved, respected, welcoming, encouraging and supportive
- . Older, salt of the earth story teller
- . Fit, energetic, enjoys fishing, swimming and camping, 'down to earth', easy going
- . Female over 60 years old, well educated, early retired, community minded, still interested in learning, volunteer, creates art and craft, enjoys a few drinks of wine with friends and cooking with local produce
- . Over 50 years old, enjoys the outdoors and 'has a go'
- . Friendly, proud of successful, inquisitive and a listener
- . Dependable, open, honest, tolerant, generous and a gardener
- . Community-minded, laconic, humorous, fit, interested, informed, open-minded and friendly
- . Outgoing, volunteer and middle-classed
- . Open, energetic and passionate
- . Outgoing, involved in the community and who has an overall view
- . Healthy, valuing the outdoors, family oriented, moderately aspirational, mid-range education, involved in a club (volunteer) and welcoming
- . Outgoing, welcoming, engaging, friendly, enthusiastic, knowledge of farms and communities



Essence

- . Friendly, all embracing community located in a world class environment with extensive recreational and social facilities
- . Picturesque, clam and safe place to visit and live
- . Central Coast is a collection of vibrant communities wherein we offer a warm land of friendship. She has unsurpassable natural beauty that is accessible to all
- . A wealthy, naturally beautiful place whose people feel included, supported and enjoy a wide variety of lifestyle options
- . Beautiful, great, friendly, safe place to live, work and play
- . Quiet, natural beauty and great produce with conservative communities that are respectful of others
- . Beautiful environment, friendly people, quality of life, efficient services, great sense of community and good food
- . Conservative, compact, beautiful; a true community
- . Down to earth, kind, tolerant, fair and majestic
- . Warmth, commerce, spirit, work/recreational balance, great municipal areas and services and healthy debate on future progress
- . Naturally stunning, accessible, conservative yet caring and inclusive; bursting with promise and possibility
- . A community of opportunity and a life of contentment and satisfaction
- . Culture rich, beauty rich; powerful
- . Paradise on earth
- . Enjoyable home life and work environment with friendly people and lots of great attributes
- . Welcoming, including, engaging, encouraging, listening and partnering
- . Great place to live
- . Diverse, stunning and sporting. Sense of community pride with great food and wine
- . A family experience that will take you above and beyond – river, coast, caves to canyon
- . A well located, beautiful place – it's successful, welcoming and adventurous
- . Enjoyable, 'normal' and rewarding
- . The people, community, lifestyle and a sense of belonging in the whole community



SECTORS OR GROUPS THAT COULD USE THE PLACE BRAND AS WELL AS BRAND USAGE

Sector or Group	How the brand might be used and what would be the message/benefit
<i>E.g. Real Estate</i>	<i>To identify the location of new property - Lots of houses here at Coast to Canyon</i>

Group Work Activity – Five Groups

Sector or Group	How the brand might be used and what would be the message/benefit
Tourism	<ul style="list-style-type: none"> . Lots to do . Fresh air . Climate . Water . Family/user-friendly . Pristine . Business opportunities . Strong Local Tourism Association
Agriculture	<ul style="list-style-type: none"> . Fresh food . Jobs . Accessible . Visible quality . Climate . Biosecurity
Retirees	<ul style="list-style-type: none"> . Safe . Community activities . Aged care facilities . Health services . Climate . Parking . Library . Service Tasmania . Lots of doctors



Sector or Group	How the brand might be used and what would be the message/benefit
Tourism	Promote area and involvement in areas activities, e.g. tourism app, branded road signs, cruise ships - “Exciting, adventurous and relaxing”
Agriculture	Promote value of agriculture, e.g. good food and local brands - “Clean, green, quality and great climate”
Events	Lots of facilities – promote this as an events area, e.g. good roads, open spaces, accommodation, food and beverage - “Well located and resourced for your event”

Sector or Group	How the brand might be used and what would be the message/benefit
Cycle tourism	<ul style="list-style-type: none"> . Road/lycra . Mountain/adventure . Coastal pathway
Events	<ul style="list-style-type: none"> . Sporting and convention’s (Masters, Dial etc.) . Venues . ‘Can do’ Council
Migrants	<ul style="list-style-type: none"> . Lifestyle/livability . Affordable . Safe . Welcoming . Facilities . Climate . Beauty . Health . Sea change/tree change



Sector or Group	How the brand might be used and what would be the message/benefit
Rural	To identify produce grown in Central Coast - "Great quality food and wine 'fresh' from the producers!"
Sporting	Identifying facilities - "Local facilities of world class standard that has produced world class athletes" (i.e. Amy Cure etc.)
Art and craft producers	Identify local arts and crafts from Central Coast made in the area - "Quality artisans and their creations"

Sector or Group	How the brand might be used and what would be the message/benefit
Tourism	Central location - 20 minutes and you're there e.g. variety of activities and attractions, natural beauty... "1 hour from everywhere"
Sports	<ul style="list-style-type: none"> . Accessible to all . Modern facilities . Variety of sports available . Many high achievers
Retail	<ul style="list-style-type: none"> . Range of shops . Free WI-FI . Free parking . Friendly natives



WHAT ARE THE OPPORTUNITIES AROUND MARKETING?

Group Work Activity – Five Groups

Marketing Opportunity	
Traditional Approach	Logo/label creation with local artisans, resident groups. These [logos/labels] are affixed to items/goods that are locally: <ul style="list-style-type: none"> . Grown . Made . produced
Unusual Approach	Tourist engagement. I.e. Penguin's 'Paint Break' – murals on breakwater with hidden characters to find. On return to the Information Centre correct answers = local business benefit <ul style="list-style-type: none"> - Could be a 'Coast to Canyon' adventure 'find them...'

Marketing Opportunity	
Traditional Approach	<ul style="list-style-type: none"> . Cross marketing . Council to promote local websites . Create local app. to promote
Unusual Method	Social media campaign – resources needed

Marketing Opportunity	
Traditional Approach	Online
Unusual Method	Promotional t-shirts e.g. for cycling - individual t-shirts 'ride' 'with' 'spirit' that when seen as a group, create a message

Marketing Opportunity	
Traditional Approach	<ul style="list-style-type: none"> . TV ads . Radio commercials . Printed e.g. Travelways
Unusual Method	<ul style="list-style-type: none"> . Catamaran to Stanley . Working with Circular Head tourism groups . 'Welcome' voucher books (mementoes) . Attending tourism expo's . Volunteers e.g. roving ambassadors



Marketing Opportunity	
Traditional Approach	Cooperative thought and budget
Unusual Method	Opportunity for virtual employment

WHAT HAVE BEEN THE DIFFICULTIES USING THE BRAND SO FAR?

Group Work Activity – Five Groups

Difficulty	<ul style="list-style-type: none"> . To identify ourselves apart from [Central Coast] NSW . The brand is too narrow – does it cover the whole region? . What does it mean/sell? . No emotional connection
Solution	Broaden the brand, e.g. Tasmania’s Central Coast “Be Spoilt”

Difficulty	<ul style="list-style-type: none"> . Lack of resources . No ‘brand champion’ – promoter . Brand doesn’t identify ‘where’ (the location)
Solution	<ul style="list-style-type: none"> . Update current logo! . Inability in the past for operator use permission – need to rectify!

Difficulty	<ul style="list-style-type: none"> . Not totally inclusive . Non-consenting parties . Cover for <u>all</u> attractions . Restricted use
Solution	<ul style="list-style-type: none"> . Needs to be eye catching . Slogan?? (good one)

Difficulty	Clarity of message: <ul style="list-style-type: none"> . Coast to Canyon poster . More consultation with Local Tourism Association . No slogan
Solution	<ul style="list-style-type: none"> . More nuts and bolts . Consultation . Develop a slogan



Reinvigorating the Coast to Canyon Brand Workshop
Unedited Outputs
Held on Wednesday, 14 December 2016

Difficulty	<ul style="list-style-type: none">. "Wow" factor missing. Representative of the wider municipality
Solution	<ul style="list-style-type: none">. Really grasp and be confident its exceptional. Catchy tag line (why? What's beyond)

ATTACHMENT 3

COAST TO CANYON LOGO OPTIONS

Logo Developed in 2006



Concept Design - Logo 2



Concept Design - Logo 3



COAST TO CANYON SLOGAN OPTIONS

Slogan Developed in 2006 - Option 1

A place of plenty

Slogan Option 2

Great natured place

Slogan Option 3

Live what you love

ATTACHMENT 4

Advertising Examples

RAISING EXPLORERS - IT'S IN OUR NATURE

Apis ent harunt labor mo tem qui sum ex-
cerat eossi dit, quatem net delitti aut vendiatur?
Alitate volo id ut landucias ab idebitas vollorit
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cusa conse dolestest, quis acimillis sape um.

coast to CANYON
tasmania
Great natured place

This ad example shows how the Coast to Canyon's, 'Great natured place' slogan, with the 'It's in our nature' message can convey what a fantastic place the Central Coast is to raise a family and how children can explore the outdoors and be connected to nature.



**THE PERFECT SHORT BREAK
IT'S IN OUR NATURE**

Apis ent harunt labor mo tem qui sum ex-
cerat eossi dit, quatem net deliti aut vendiatur?
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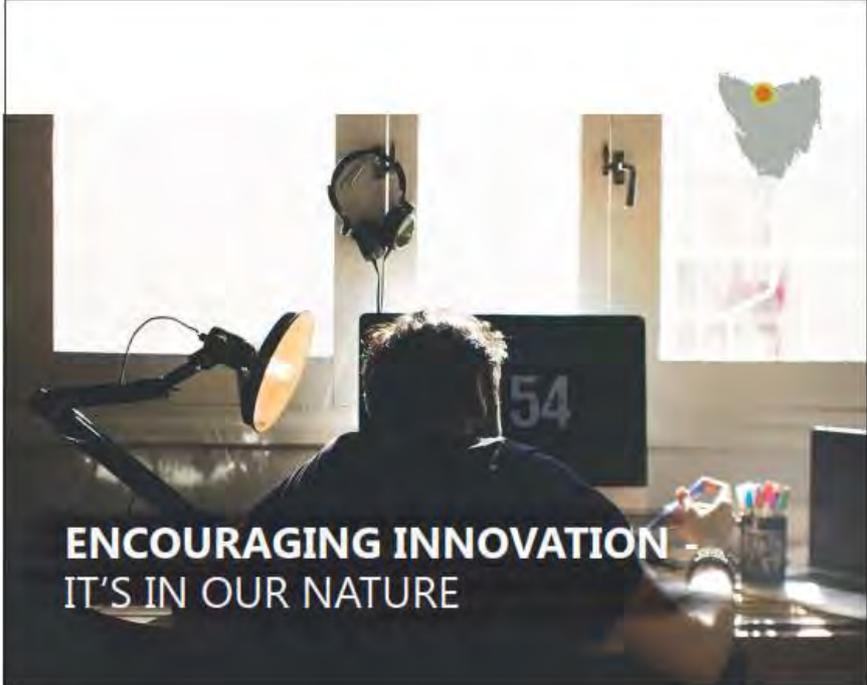
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cusa conse dolestest, quis acimilis sape um.



This ad example shows how the Coast to Canyon's, 'Great natured place' slogan, with the 'It's in our nature' message can be used to speak to: visitors; tourists; RV holiday makers; as well as the local community about what a great place this is to take a short break. It also speaks to the relaxed character of our community and could be used to; promote holidaying in our own patch; our great service providers; and the warm welcome they extend to visitors.



**ENCOURAGING INNOVATION
IT'S IN OUR NATURE**

Apis ent harunt labor mo tem qui sum ex-
cerat eossi dit, quatem net deliti aut vendiatur?
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cusa conse dolestest, quis acimilis saperum
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Alitate volo id ut landucias ab idebitas vollorit
facipsanda consediti a dolorec ullecepro cone
cusa conse dolestest, quis acimilis sape um.



This ad example shows how the Coast to Canyon's, 'Great natured place' slogan, with the 'It's in our nature' message can speak to: business; investment; and learning. It also speaks to how the nature of our place provides the perfect environment for: innovation; thinking outside the square; and creativity; as well as how this connection to place provides the perfect environment to: grow leaders; innovators; and original thinking.

COAST TO CANYON BRAND BOOK



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REINVIGORATING THE COAST TO CANYON BRAND

In December 2016, stakeholders, community members and Council representatives came together to review the **'Coast to Canyon'** place brand, developed in 2006.

The engagement workshop was designed to not only review the brand in the context of its original role as a tourism brand, but also to explore how the brand might be strengthened and applied as a capital brand across areas, sectors and industries that the group identified as areas of strength and opportunities for growth.

The reinvigorated **'Coast to Canyon'** brand recognises and responds to the fact that we build our reputations in many ways. The work of our community has allowed the development of a strong and consistent message that speaks to both visitors and investors, but also to the wonderful community the brand is designed to reflect.

The **'Coast to Canyon'** brand book outlines our visual identity and how this works to reflect our people and place. It shows how our brand can be used to further build our reputation and showcase our potential.

WHAT MAKES COAST TO CANYON **UNIQUE?**

The first step in articulating the '**Coast to Canyon**' identity was to understand what makes '**Coast to Canyon**' unique.

At the workshop held in December 2016 and through feedback opportunities in March 2017, the Central Coast '**Coast to Canyon**' community representatives gave feedback and related personal experiences to help identify and articulate the benefits and rewards of being a member of their community.

The two stand out benefits of '**Coast to Canyon**' were identified as being the people and the wonderful sense of community and belonging as well as the destinations great natural assets.

WHAT COAST TO CANYON OFFERS?

'Coast to Canyon' sits within the Local Government Area of Central Coast, Tasmania.

As the name reflects, **'Coast to Canyon'** extends from the beautiful Bass Strait beaches in the north to the magnificent Leven Canyon in the south. It passes through some of Tasmania's best agricultural land, bordered by the iconic Dial Range and carved by the powerful Leven and Forth Rivers.

Living amongst this stunning mix of landscapes and enjoying the seasonal temperate climate are a series of resilient, welcoming, safe, communities with a 'can do' attitude, who enjoy wonderful cafe and food culture, good schools, fantastic sport and recreation facilities and a vibrant cultural life.

The Central Business Districts of Ulverstone and Penguin are easily accessible and provide a great range of services without losing their village atmosphere.

Entrepreneurial thought combined with appropriate development continues to see the area grow, not surprising given it's central location and close proximity to great road networks and the readily accessible neighbouring port cities, of Burnie and Devonport.

THE BENEFITS

In a world that seems to constantly gets busier, we know that a sense of belonging and being connected and supported as well as having time for who and what we love is part of the recipe for health and well-being.

'Coast to Canyon' is the place where life can be like that.

There is landscape to inspire and provide a sense of peace and serenity.

There is time for family and friends to be connected and look out for each other.

There is time to give back to the community.

There is a strong community, a sincere welcome and a sense of belonging.

Time and place for the things I love.

WHAT MAKES US **WHAT WE ARE?**

'Coast to Canyon' is an area of great natural beauty blessed with fantastic natural resources. It is a place of opportunity and possibility.

It has been shaped historically by its peoples interaction with nature, requiring a desire and necessity to work together and providing the environment for the development of innovative and creative thinkers.

The connection to the surrounding environment provides great inspiration from this wild and bountiful land.

This combination has led to thriving, resilient, welcoming and connected communities.

WHAT IS THE **REAL** COAST TO CANYON?

... friendly, all embracing community located in a world class environment ...

... a collection of vibrant communities wherein we offer a warm land of friendship ...

.... unsurpassed natural beauty that is accessible to all ...

... A naturally beautiful place whose people feel included ...

... Beautiful, great, friendly, safe ...

... quiet, natural beauty, great produce, respectful of others ...

... beautiful environment, friendly people, quality of life, efficient services, great sense of community and good food ...

... compact, beautiful; a true community ...

... down to earth, kind, tolerant, fair and majestic ...

... warmth, commerce, spirit, work/recreational balance, great municipal areas and services and healthy debate on future progress ...

... naturally stunning, accessible, caring and inclusive; bursting with promise and possibility ...

... a community of opportunity and a life of contentment and satisfaction ...

... culture rich, beauty rich; powerful ...

... paradise on earth ...

... welcoming, including, engaging, encouraging, listening and partnering ...

... great place to live ...

... diverse, stunning and sporting ...

... sense of community pride with great food and wine ...

... a family experience that will take you above and beyond – river, coast, caves to canyon ...

... a well located, beautiful place – it's successful, welcoming and adventurous ...

... enjoyable, 'normal' and rewarding ...

... the people, community, lifestyle and a sense of belonging in the whole community ...

OUR PROPOSITION

THE PROPOSITION

=

WHAT WE OFFER

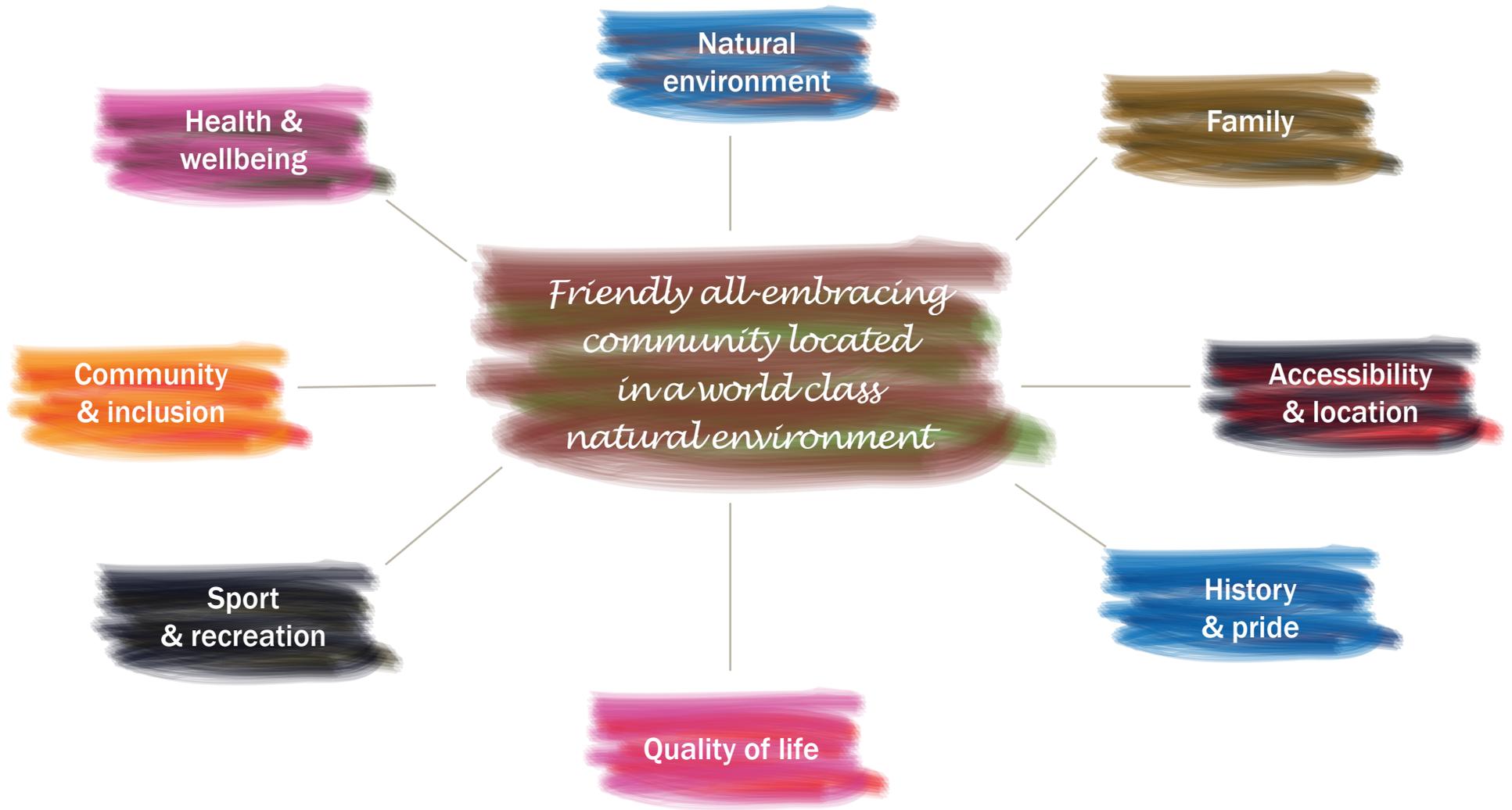
+

BENEFITS

+

WHAT MAKES US AUTHENTIC

THE ESSENCE OF OUR IDENTITY



OUR PROPOSITION

COAST TO CANYON... GREAT NATURED PLACE

'Coast to Canyon' is a place of majestic, inspiring,
nurturing and challenging nature.

From sea and beaches, agricultural lands,
magnificent rivers, the peaks and valleys of its mountains
and the depths of its canyon.

It is without a doubt - great nature.

The people here are also shaped by the **great nature** of their place.

They are fed by it, body and soul, inspired and
at times challenged by it.

They work it together and they live amongst it.

It has made them kind, resilient, creative,
innovative, strong and connected.

It has made them a community of **great natured** people.

'Coast to Canyon' - *Great natured place*, will underpin all aspects of how we talk about **'Coast to Canyon'**.

'Coast to Canyon' is a *Great natured place*, both in it's natural assets and in it's great natured people. By identifying these attributes in our advertising, promotions and positioning we can take every opportunity to present and promote what's great about us.

By presenting our place and our character in this way, we showcase what sits at the heart of who we are and engage our audiences in a true, honest and meaningful way. We show that we are a "*Great natured place*".

OUR PERSONALITY

Strong, warm, welcoming, energised, thoughtful, understated, hard working, farmer, community minded, passionate, energetic, objective, empathetic, informed, knowledgeable, eloquent and confident, 'salt of the earth', retired, helpful, enthusiastic, laid back, positive, friendly, sharing, generous, caring, considerate, sports-loving, conservative, kind, fair, humorous, outdoor and 'down to earth', positive, open and energetic, beautiful, fresh, alive, family orientated, someone you want to be around, proud, loved, respected, welcoming, encouraging and supportive, story teller, fit, energetic, fisherman, swimmer, easy going, learner, volunteer, artist, cooks with local produce, successful, inquisitive, a listener, dependable, open, honest, tolerant, generous, laconic, humorous, fit, interested, informed, open-minded and aspirational.

Great natured place

BRAND TOOL KIT



WHAT IS OUR **BRAND**?

Our brand is more than just our logo.

Our brand is all the written and visual communications that when combined tell the full **'Coast to Canyon'**. This section will explain the unique elements of the brand and how they can be used to tell our story.

Like all stories, it's important that all the elements are put together right, or it just won't make sense. So please read this section carefully before you start and contact the Central Coast Council and speak to a member of the Brand Team if you have any questions, or would like some feedback on your marketing or promotional idea.

WHAT'S IN THE **BRAND TOOL KIT?**

Name and tagline: Our name is '**Coast to Canyon**', and our tagline is, '*Great natured place*'.

Logo type: This appears above our tagline and states visually the essence of who we are.

Typography and layout: The headline and body copy fonts and how they should be used.

Colour palette: The colours that make up our logo.

Imagery: Photograph style and graphic elements that can be used to enhance visual communications.

Language: How should we talk about '**Coast to Canyon**' in a way that articulates the brand?

Applications: Some examples of how to use the brand.

OUR **LOGO**



THE HISTORY OF THE **COAST TO CANYON** LOGO

The '**Coast to Canyon**' logo was first developed in 2006 and has been revitalised in 2017 in response to engagement with our workshop participants and community consultation groups.

Feedback requested the addition of **Tasmania** as a place signifier, a deepening of the colour palette for greater impact and the addition of a 'coastline' to the top of the blue section, to reflect our position on the water and an increase to the size of the 'coast to' font.

All of these changes were incorporated and the logo updated.

ELEMENTS OF THE **COAST TO CANYON** LOGO

Blue section reflecting our position against Bass Strait and our beaches and rivers.



Green ferns and blue water fall reflect the bushland and rivers.

The large reddish brown panel captures our red soil and the scale of the canyon, whilst the rough edge symbolises it's rugged nature.

LOGO WITH TAGLINE

Where possible the **'Coast to Canyon'** logo should be used on a white back ground.





Where the **'Coast to Canyon'** logo must appear on a dark or busy back ground, then the 'white swoosh' should be used behind it to ensure the logo is clearly visible. Further guidelines for its use are contained in the Coast to Canyon Style Guide.

BRAND TYPEFACE - HEADLINES

There is only one typeface chosen to work with the '**Coast to Canyon**' logo.

For our headlines we use Franklin Gothic Heavy in the top line, and Franklin Gothic Book in the second line.

FANTASTIC FRESH PRODUCE -
IT'S IN OUR NATURE.

BRAND TYPEFACE - bodycopy

For our bodycopy we use Franklin Gothic Book.

Franklin Gothic Book has been chosen as the body copy font. As a member of the Franklin Gothic family, it provides a consistent typeface with our headlines. It is a clear and compact font, which reproduces well over a range of sizes and has a simple cut to complement the complexity of the **'Coast to Canyon'** logo.

Franklin Gothic Boook - abcdefghijklmnopqrstuvwxyz

ABCDEFGHIJKLMNOPQRSTUVWXYZ

Franklin Gothic Medium - abcdefghijklmnopqrstuvwxyz

ABCDEFGHIJKLMNOPQRSTUVWXYZ

Franklin Gothic Medium Condensed- abcdefghijklmnopqrstuvwxyz

ABCDEFGHIJKLMNOPQRSTUVWXYZ

Franklin Gothic Demi Condensed- abcdefghijklmnopqrstuvwxyz

ABCDEFGHIJKLMNOPQRSTUVWXYZ

Franklin Gothic Heavy - abcdefghijklmnopqrstuvwxyz

ABCDEFGHIJKLMNOPQRSTUVWXYZ

Frankling Gothic is available from www.fontshop.com.au

COLOUR PALETTE - LOGO COLOURS



NATURE
Pantone 576
CMYK C56 M0 Y91 K38



COAST
Pantone 293
CMYK C100 M56 Y0 K0



CANYON
Pantone 342
CMYK C0 M76 Y76 K60

IMAGE CREATION & SELECTION

The '*Great natured place*' tagline has been developed to work with the "... it's in our nature" statement line. Images developed or selected for use with the '**Coast to Canyon**' brand will reinforce this positioning. Images should contain people engaged in doing what they love, in a relaxed and natural way. Images should be editorial in style, rather than staged.

They should reinforce the story of our people doing what they love - be that challenging themselves on their mountain bike, playing with their children at a local park, taking a bush walk, walking their dog or watching a band. Images should contain people.

Local people should be used and images should focus on things that matter to the subjects. Subjects should be relaxed and engaged.

Image examples are given here. THESE IMAGES ARE NOT FOR REPRODUCTION AND ARE EXAMPLES ONLY. Should you require assistance with image selection or with finding a photographer, please contact the Brand Team at the Central Coast Council.



These are sample images only, sourced from stock libraries. They are not for reproduction and will be replaced as our image library is developed.

WORDS - WRITING FOR THE COAST TO CANYON BRAND

The language we use to talk about '**Coast to Canyon**' should describe what is wonderful about our place and our people. It should be conversational and welcoming in tone.

The headline framework makes it simple to get started.

For example, if promoting the Penguin Mountain Bike Park, consider what the experience will be like to ride there. Think about the adrenaline rush for the rider as they rode down through the bush...

ADRENALIN - IT'S IN OUR NATURE

To promote the friendliness of my cafe staff and my business then it might be....

FRIENDLINESS - IT'S IN OUR NATURE

Promoting the quality of fresh produce and pride in the product could be....

GREAT PRODUCE - IT'S IN OUR NATURE

To promote what a great place for children to explore and be in nature....

RAISING EXPLORERS - IT'S IN OUR NATURE

To promote taking a short break...

GREAT SHORT BREAKS - THEY'RE IN OUR NATURE

To promote our sporting clubs...

SPORTSMANSHIP - IT'S IN OUR NATURE

'Coast to Canyon' material where possible should always work with photography. When this is not possible, the strong headline proposition will still be able to be used to reinforce the **'Coast to Canyon'** message of *'Great natured place'*.

WORDS - IF YOU NEED INSPIRATION...

Here are some of the words and expressions used by the community in the workshop.

If you are stuck and require further assistance, please contact the Brand Team at the Central Coast Council who will be happy to help.

Resilience	Scenery/vistas	Community pride
Relaxed	Natural beauty	Sense of belonging
No traffic congestion	Café/food culture	Inclusiveness
Civic pride	Welcoming communities	Giving back/doing the right thing
Personal achievers	Vibrant communities	Happiness (visible)
Activities for all ages	Diversity of natural resources – rivers, beaches	Stress free
Rich history	and mountains	Inspiration
Cenotaph/parks	Quality of life	Connected
Commemoration	Community energy	Proud
Friendly people	Adventure tourism	Family loyalty to the area
Down to earth people	Entrepreneurs	Quality produce
Accessibility to beaches and mountains	Beautiful views	Relaxing
Village atmosphere	Gardens	Looking out for each other
Farmland	Nature walks	Welcoming communities
Seasonal, temperate climate	Industries	Friendliness
Family opportunity and experiences	Safety – likeminded neighbours	Euphoria/uplifting
Lifestyle	Peace	Neighbourly
Stunning mix of landscapes	Serenity	Grateful
Accessible/immediate	Supportive networks	Easy to feel at home

Great natured place

BRAND

EXAMPLES

HOW WE WILL USE OUR BRAND

There are many groups in the community who talk about **'Coast to Canyon'** and what the area offers. They may be aiming to attract tourists, shoppers, investors, business or families to relocate and make a home here.

The diagram across shows those community groups or industry sectors the revitalised brand could focus on.

The **'Coast to Canyon'** brand is now able to speak to these groups and will allow us to develop our reputation as a *'Great natured place'* in many ways.



WHERE WE WILL USE OUR BRAND

Our **'Coast to Canyon'** brand will work in many different situations.

Sometimes it may need to speak directly to a certain group of people because we want them to know what we offer that would appeal to them. This kind of communication usually takes the form of a considered campaign, using multiple types of media, including but not limited to; online, print media and advertisements etc.

Sometimes it will need to engage people around a specific event. We want them to come to the event and experience it and more of what **'Coast to Canyon'** has to offer.

At other times, it will work to strengthen the connection between **'Coast to Canyon'** and other identities within our community.

Sometimes the brand will be used to present and brand factual information.

THE BRAND AT WORK - EXAMPLES

TASK

To promote **'Coast to Canyon'** as a place to raise children with a connection to outdoor adventure, imagination and play.

EXAMPLE APPLICATION

Tourism promotion, relocation initiatives, community engagement, year round outdoor activity.

TEXT AND IMAGE SELECTION

The image has a relaxed and natural feel to it, it does not appear staged. The children are engaged in their environment enjoying the mud and adventure, energised and rugged up for the weather, which only adds to the adventure.



**RAISING EXPLORERS -
IT'S IN OUR NATURE**

Apis ent harunt labor mo tem qui sum excerat eossi dit, quatem net deliti aut vendiatur? Alitate volo id ut landucias ab idebitas vollorit facipsanda consediti a dolorec ullecepro cone cusa conse dolestest, quis acimilis saperum faceautas dolorum fugias explit.

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coast to
CANYON
tasmania
Great natured place

TASK

To promote bushwalking.

EXAMPLE APPLICATION

Tourism promotion, community health initiative, natural resource appreciation.

TEXT AND IMAGE SELECTION

The image has a relaxed and natural feel to it, it does not appear staged. The terrain looks accessible by most people.

The message is kept simple and reflects how close by and easily accessible the great walks of the area are.



**GREAT BUSHWALKS -
THEY'RE IN OUR NATURE**

Apis ent harunt labor mo tem qui sum excerat eos
sai dit, quatem net deliti aut vendiatur? Alitate volo id
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dolorec ullecepro cone cusa conse dolestest, quis
a dolorec ullecepro cone cusa conse dolestest, quis
acimilis sape um.



TASK

To promote the great produce grown here.

EXAMPLE APPLICATION

Tourism promotion, food markets, business promotion and exports.

TEXT AND IMAGE SELECTION

The image has a relaxed and natural feel to it, it does not appear staged. The produce and the grower have equal weight and the farmer is engaged with the camera in a natural way.



**GREAT PRODUCE -
IT'S IN OUR NATURE**

Apis ent harunt labor mo tem qui sum excerat eossi dit, quatem net deliti aut vendiatur? Alitate volo id ut landucias ab idebitas vollorit facipsanda consediti a dolorec ullecepro cone cusa conse dolestest, quis acimilis saperum faceautas dolorum fugias explit.

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coast to
CANYON
tasmania
Great natured place

TASK

Cross promotion between the Central Coast Chamber of Commerce and the Central Coast Council.

EXAMPLE APPLICATION

Promote support available to, and recognition of innovative thinking.

TEXT AND IMAGE SELECTION

This image has a strong focus. Here we see someone engrossed in new thinking and idea development and the text positions the **‘Coast to Canyon’** as being supportive of, and conducive to, these kinds of initiatives.



**ENCOURAGING INNOVATION -
IT'S IN OUR NATURE**

Apis ent harunt labor mo tem qui sum exerat eo-
ssi dit, quatem net deliti aut vendiatur? Alitate volo id
ut landucias ab idebitas vollorit facipsanda consediti a
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a dolorec ullecepro cone cusa conse dolestest, quis
acimilis sape um.



TASK

To promote 'Coast to Canyon' as a place develop a niche business.

EXAMPLE APPLICATION

The Central Coast Council and the Central Coast Chamber of Commerce promotion, new business support and developing niche markets.

TEXT AND IMAGE SELECTION

The image has a relaxed and natural feel to it, it does not appear staged. Product and person have equal weight and the product depicted is artisan and local.



**SUPPORTING SMALL BUSINESS -
IT'S IN OUR NATURE**

Apis ent harunt labor mo tem qui sum excerat eossi dit, quatem net deliti aut vendiatur? Alitate volo id ut landucias ab idebitas vollorit facipsanda consediti a dolorec ullecepro cone cusa conse dolestest, quis acimilis saperum faceautas dolorrum fugias explit.

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coast to
CANYON
tasmania
Great natured place

TASK

To attract visitors to events, to encourage the staging of events.

EXAMPLE APPLICATION

Festivals, large sporting fixtures and cultural events.

TEXT AND IMAGE SELECTION

This image shows people coming together in beautiful outdoor spaces. The golden light gives it an idyllic feel and the crowd appears relaxed and settled.



CELEBRATING TOGETHER
IT'S IN OUR NATURE

Apis ent hanunt labor mo tem qui sum exerat eo-
sai dit, quatem net deliti aut vendiatur? Alitate volo id
ut landucias ab idebitas vollorit facipsanda consediti a
dolorec ullecepro cone cusa conse dolestest, quis
acimilis saperum faceautas dolorum fugias explit.

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dolorec ullecepro cone cusa conse dolestest, quis
a dolorec ullecepro cone cusa conse dolestest, quis
acimilis sape um.



FOR MORE INFORMATION

'Coast to Canyon' - *Great natured place*, is designed to be used by those who wish to promote or talk about our people and place and what we have to offer.

If you would like to talk to us about using the brand or have questions around any part of this document please contact a member of the Brand Team.

For questions about permissions and useage please contact
Heidi Willard, Strategy & Policy Officer
Ph: 03 6429 8900 or email: brand@centralcoast.tas.gov.au

or for questions on creative or promotional material please contact
Jackie Merchant, Community Development Officer
Ph: 03 6429 8900 or email: brand@centralcoast.tas.gov.au



BRAND BOOK
VERSION 1.0 MAY 2017

COAST TO CANYON STYLE GUIDE





The '**Coast to Canyon**' brand has been developed to be used by those promoting what's great about our area.

The intellectual property of the '**Coast to Canyon**' brand and its design elements belongs to the Central Coast Council. The Council administers the brand to support those who wish to use the brand and to ensure it's consistent representation.

There are four easy steps to using the Coast to Canyon brand:



1. YOU HAVE A **GREAT IDEA**

You have a great idea on how you or your client can use the brand to tell your/their story about '**Coast to Canyon**'.



2. DOES IT FIT THE **GUIDELINES?**

Read the guidelines on page 5.

As more people access the brand, we will update the Style Guide with more great examples of the brand at work.



3. TALK TO THE COUNCIL'S **BRAND TEAM**

The next step is to get in contact with the Brand Team at the Council. The more we know who is using the brand, as well as how and why, the greater the impact will be. We can help you make sure that your idea is 'on message' and help with any questions you have about appropriate use and resources.

If you have any questions please contact the Brand Team at the Central Coast Council on *phone: 6429 8900 or email: brand@centralcoast.tas.gov.au*



4. READ THE **TECHNICAL SPECIFICATIONS**

The final step before you publish anything is to read and re-read the technical guidelines.

The brand is there to work for the benefit of all of us, so it needs to be used correctly.

If you have any questions regarding the appropriate file, colour, typeface or any aspects of putting your promotion together please contact the Brand Team at the Central Coast Council on *phone: 6429 8900 or email: brand@centralcoast.tas.gov.au*

THE GUIDELINES

‘Coast to Canyon’ - Great natured place, is designed to be used by those who wish to promote or talk about our people and place and what we have to offer. It will apply to several different objectives, a multitude of situations and any amount of applications, for example:

- To speak to certain groups about what our people and place offer, i.e. to those wishing to relocate or holiday here.
- To underline or make a connection between an event of activity that happens here.
- To underline or make a connection between groups that are doing things of benefit to the community, i.e. sporting organisations representing our destination or community service clubs working for our community.
- To promote business or tourism ventures, or to provide factual information.

If what you are proposing to talk about promotes an aspect of our people and place then using the **‘Coast to Canyon’ - Great natured place** will most likely be appropriate. Remember though, there are some areas where use of the brand; such as for political objectives may not be appropriate.

If you are in any doubt please ask the Brand Team.

Merchandising

Merchandising will be reviewed on a case-by-case basis.

If you have a merchandising proposal that you think may be appropriate, i.e. special momentos for a conference, please contact us to discuss.





The logo has been designed to work on a white background.

TECHNICAL SPECIFICATIONS - THE LOGO ON A DARK OR PHOTOGRAPHY BACKGROUND



Where it is not possible to place the logo on a white background, then the 'white swoosh' used above is available for placement behind the logo.

Please contact the Brand Team.



It's easy to calculate how much white space to leave around the **'Coast to Canyon'** logo.

As a minimum, simply leave half the height and width of the green fern square on top and bottom and either side of the logo, more where possible.



The **'Coast to Canyon'** brand has been developed to work wherever possible with photography. In instances where this is not possible, the type treatments remain the same and the paint effect is used as the element of visual interest to reflect the organic forms of nature and the energy of our environment and people.

BRAND TYPEFACE - HEADLINES

There is only one typeface chosen to work with the '**Coast to Canyon**' logo.

For our headlines we use Franklin Gothic Heavy in the top line and Franklin Gothic Book in the second line.

FANTASTIC FRESH PRODUCE -
IT'S IN OUR NATURE.

BRAND TYPEFACE - bodycopy

For our bodycopy, we use Franklin Gothic Book.

Franklin Gothic Book has been chosen as the body copy font. As a member of the Franklin Gothic family, it provides a consistent typeface with our headlines. It is a clear and compact font, which reproduces well over a range of sizes and has a simple cut to complement the complexity of the **'Coast to Canyon'** logo.

COLOUR PALETTE - LOGO COLOURS



NATURE
Pantone 576
CMYK **C56 M0 Y91 K38**



COAST
Pantone 293
CMYK **C100 M56 Y0 K0**



CANYON
Pantone 342
CMYK **C0 M76 Y76 K60**

To make sure type can be easily read on photographs, we've created a paint effect we call the 'swoosh', which can be placed behind your headline to make your text jump out.



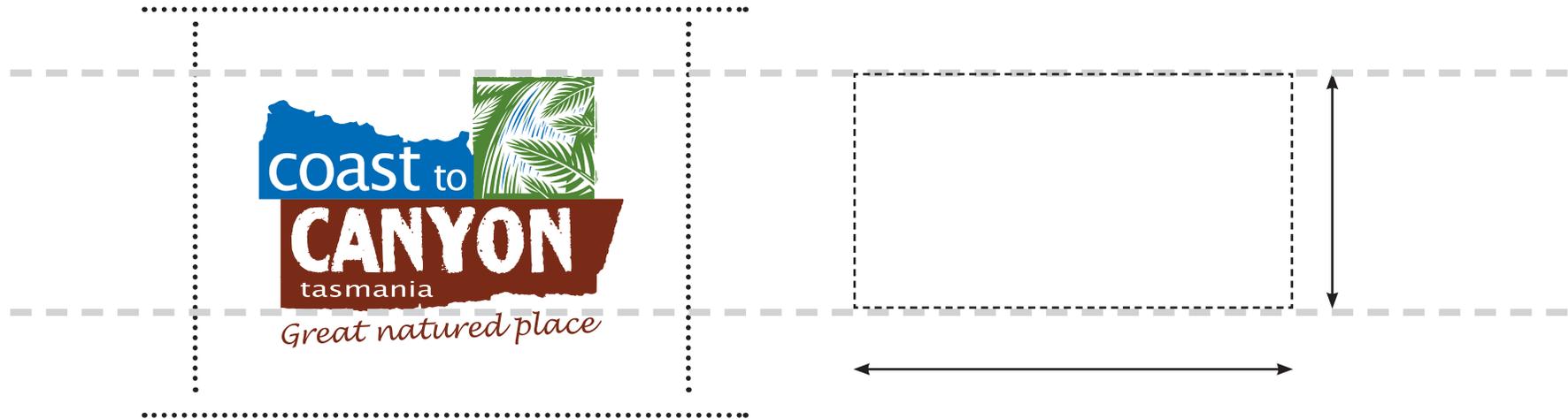
TECHNICAL SPECIFICATIONS - **LOCATION MAP**

So people know straight away where we are, we've designed a place signifier for all our communications. Please place it to the top right or top left.



TECHNICAL SPECIFICATIONS - **WORKING WITH OTHER LOGOS**

Use of the '**Coast to Canyon**' - 'Great natured place' logo and tagline alongside other logos comes down to a question of balance and using a few simple guidelines.



When using the '**Coast to Canyon**' logo with others, it's a matter of balance. Keep them to the same width and/or height where possible.



Talk with you about your idea and provide help with pulling it all together.



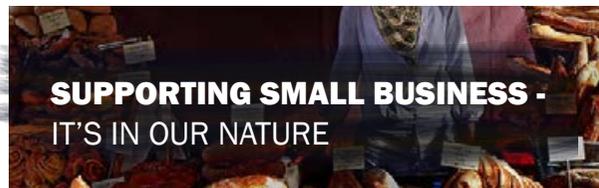
We can provide you with the **'Coast to Canyon'** - Great natured place logo and tagline file.

**WHEN PUTTING YOUR PROMOTION TOGETHER
HERE'S SOME OF THE WAYS WE CAN HELP**

We can let you know of opportunities to share resources, such as organising a photographer to take photos.



Provide a **location map** in a variety of file formats.



Provide a 'swoosh' paint effect to place behind your headline to make your text jump out.



Design elements for designing without photography.

'Coast to Canyon' - *Great natured place*, is designed to be used by those who wish to promote or talk about our people and place and what we have to offer.

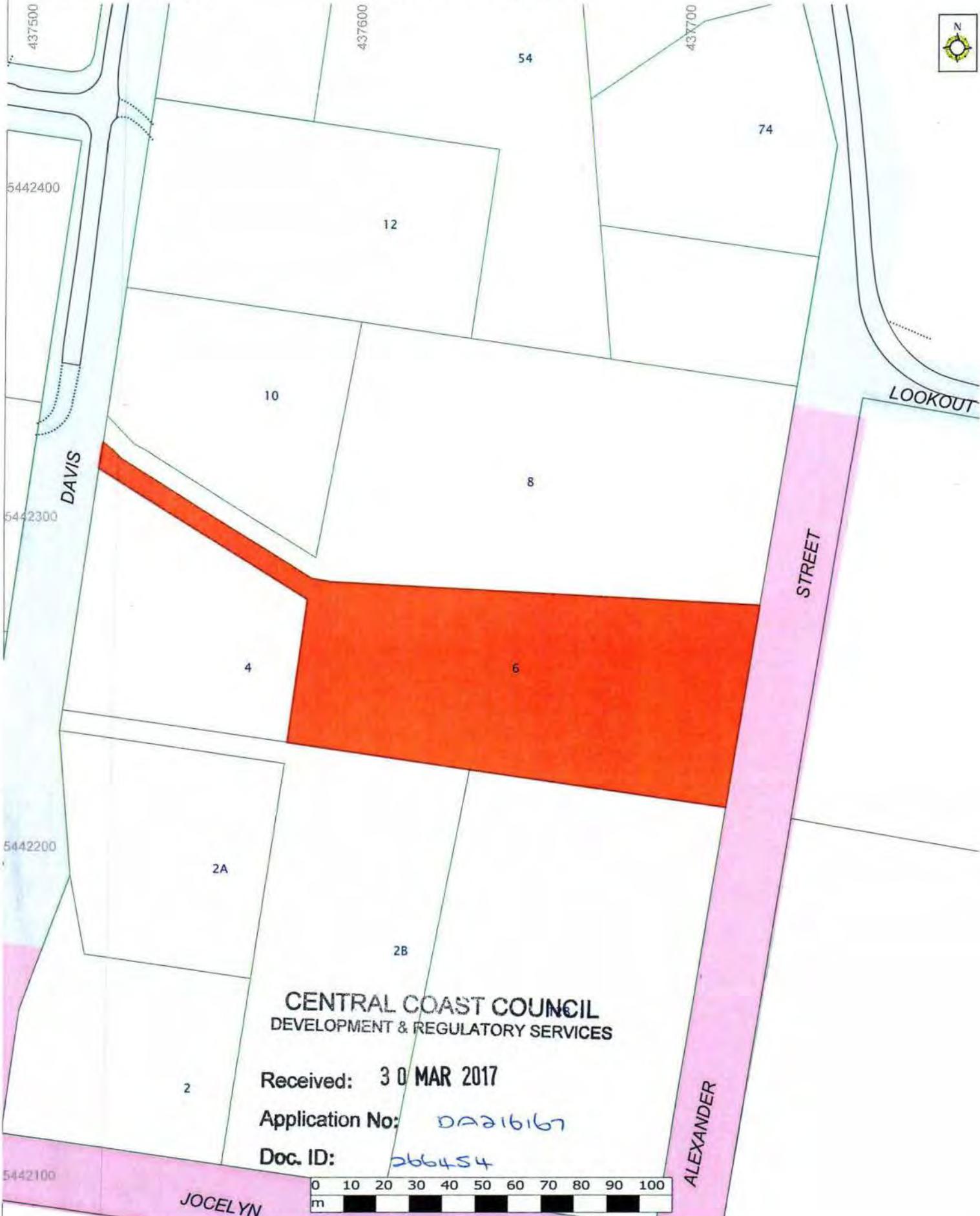
If you would like to talk to us about using the brand or have questions around any part of this document please contact a member of the Brand Team.

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or for questions on creative or promotional material please contact
Jackie Merchant, Community Development Officer
Ph: 03 6429 8900 or email: brand@centralcoast.tas.gov.au

Annexure 1

6 Davis Street, Leith



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAR 2017

Application No: DA216167

Doc. ID: 266454



DA216167

Annexure 2

CENTRAL COAST COUNCIL
PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



CENTRAL COAST COUNCIL

Land Use Planning and Approvals Act 1993

Central Coast Interim Planning Scheme 2013

PLANNING PERMIT APPLICATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 24 FEB 2017

Office Use Only

Application No DA 216167

Date Received 24/2/17

Zone Rural living.

Fee \$ _____

Permitted

Discretionary

NPR

Application No. DA216167

Use or Development Site: 266453

Site Address 6 Davis st Leith

Certificate of Title Reference 165361 2

Land Area 7984m2 Heritage Listed Property YES NO

Applicant/s

First Name Chloe Overton Middle Name _____
Surname or Company name Yaxley Design & Drafting Mobile 0419387746

Postal Address: 109a South Road Phone No: 63272701
penguin 7316

Email address: chloe@yaxleydrafting.com.au

Owner (Note – if more than one owner, all names must be indicated)

First Name Chris & Megan Middle Name _____
Surname Ross Phone No 0438425879

Postal Address: 7 Sunnyside Crt Devonport 7310

PERMIT APPLICATION INFORMATION

(If insufficient space, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Residential

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development

proposed excavation for new 2 Storey residence and pre-fab shed.

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$ house-\$400,000,00 Estimate/ Actual shed- \$ 13,570,00

Total floor area of the development358.m² (site coverage)

Notification of Landowner

If land is NOT in the applicant's ownership

I, Chloe Overton, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant

Date 24/02/17

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister

responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date

Applicants Declaration

I/ we Chloe Overton

declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s



Date 24/02/17

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP165361

PAGE 1 OF 1 PAGE

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the storm water and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the storm water and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

COVENANTS

Each Lot on the Plan is subject to the Restrictive Covenants created by SP137755, namely: The owner of each Lot on the Plan covenants with the subdividers David John Campbell and Alison Jayne Campbell and the owners for the time being of every other lot shown on SP137755 to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with each and every part of every other lot shown on SP137755 to observe the following stipulation:

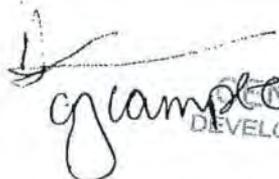
Not to erect any dwelling within the area marked A-B-C-D-E-F on the Plan.

FENCING PROVISION

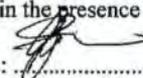
In respect to each Lot on the Plan the subdividers David John Campbell and Alison Jayne Campbell shall not be required to fence.

NO OTHER easements covenants or profits a prendre are created to benefit or burden the lots on the Plan.

SIGNED BY David John Campbell and Alison Jayne Campbell the registered proprietors of the land described in Certificate of Title Volume 137755 Folio 3 in the presence of:



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Witness: 

Witness name: Johann Jarbert

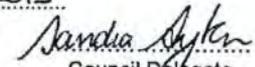
Witness address: 8 Lillico Road

Lillico 7310 in Tasmania

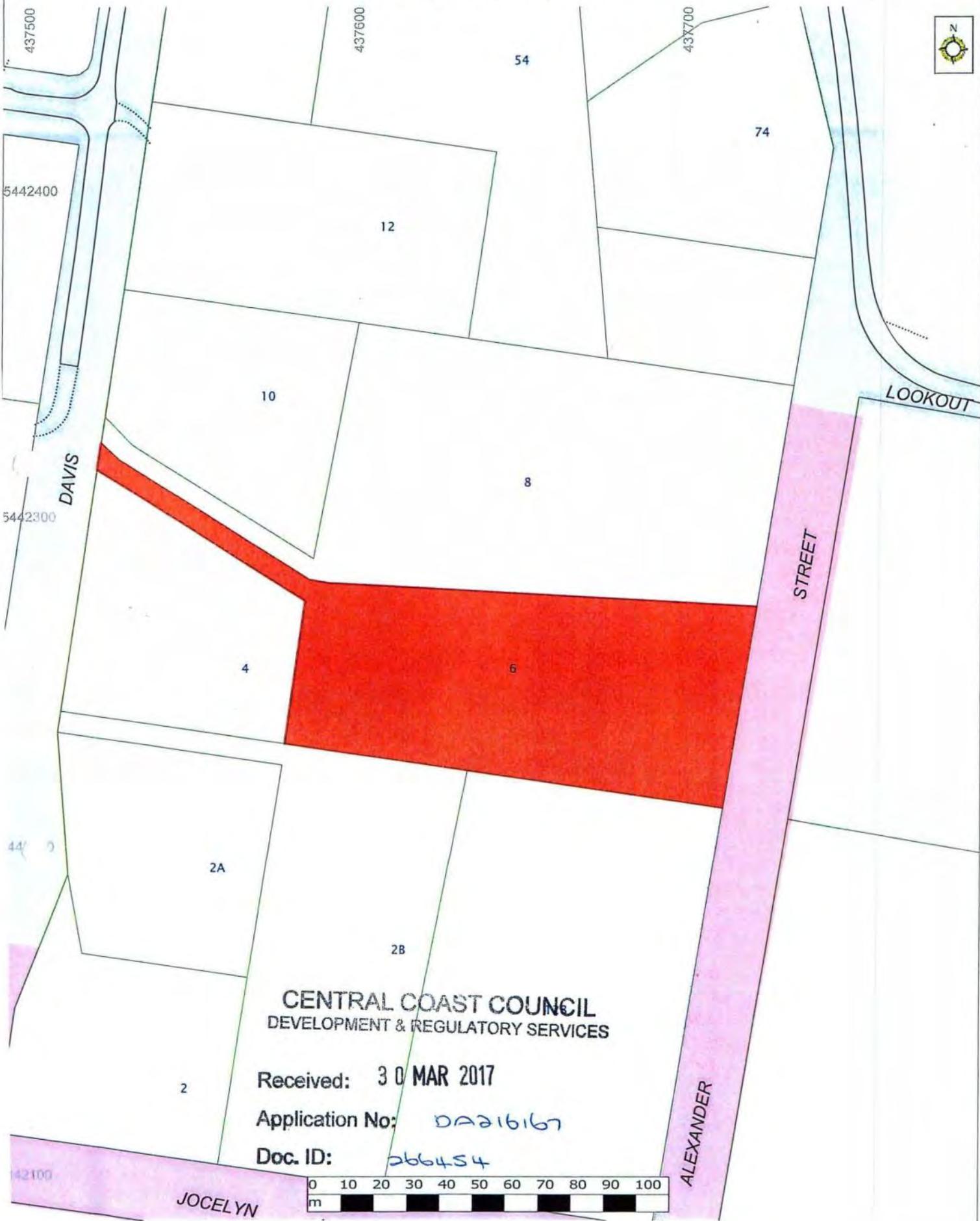
Witness occupation: Farm Hand

Received: 24 FEB 2017
Application No: DA216167
Doc. ID: 266453

(USE ANNEXURE PAGES FOR CONTINUATION)

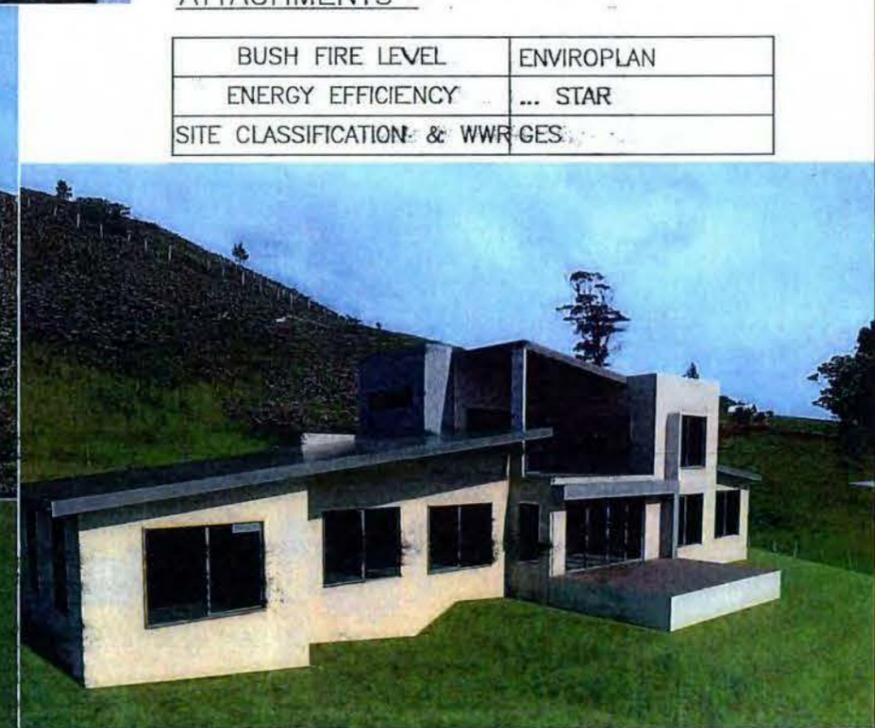
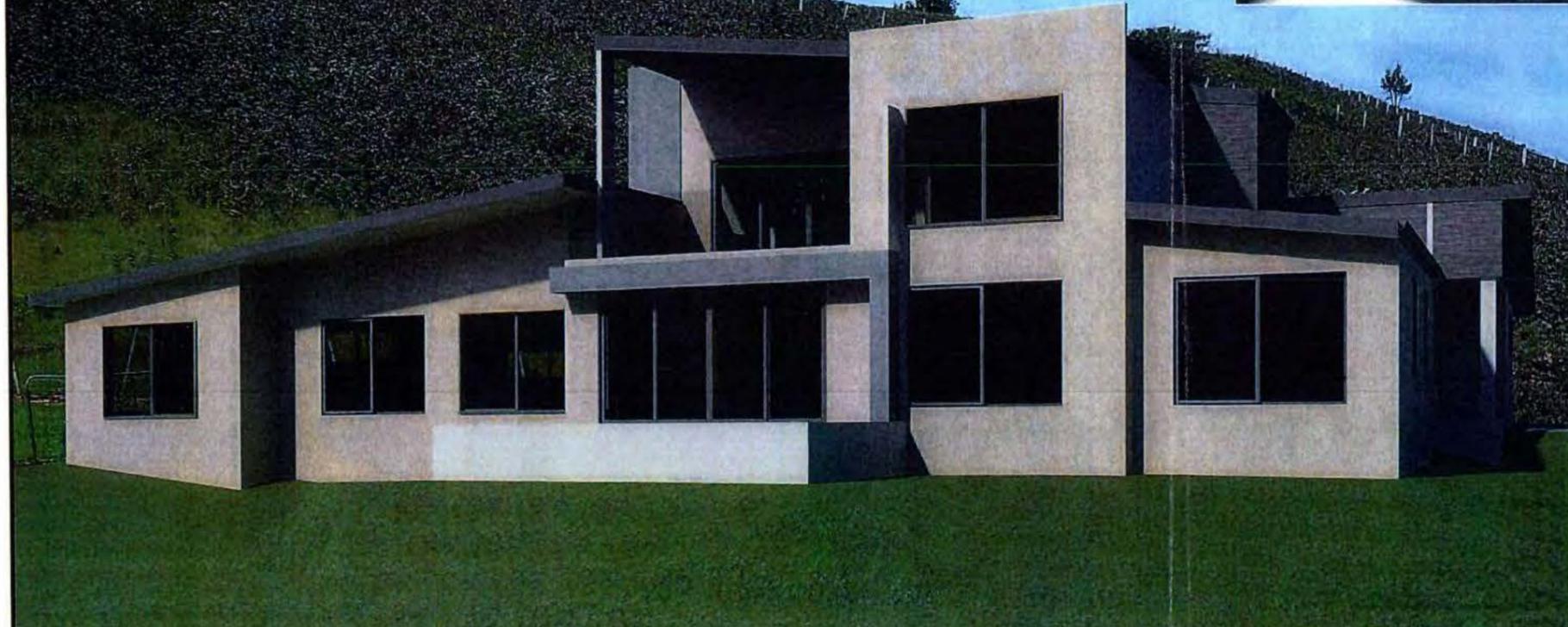
SUBDIVIDER: David John Campbell and Alison Jayne Campbell	PLAN SEALED BY: CENTRAL COAST COUNCIL
FOLIO REF: 137755/3	DATE: 4 February 2013
SOLICITOR & REFERENCE: Walsh Day James Mihal / EIK120571	DA 210 087 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

6 Davis Street, Leith



DA216167

PROPOSED TWO STOREY RESIDENCE 6 DAVIS ST LEITH, CHRIS & MEGAN ROSS



DRAWING INDEX

DRAWING No.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	DRAINAGE PLAN & REGULATORY SERVICES
4	GROUND FLOOR PLAN
5	FIRST FLOOR PLAN
6	ELEVATIONS
7	ELEVATIONS
8	FLOOR PLAN
9	COMBINATION PLAN
10	SECTION - A
11	SECTION - B
12	FLOORING PLAN
13	LIGHTING PLAN
14	SCHEDULES
15	LIGHTING CALCULATIONS
16	NCC NOTES
17	BAL NOTES

SITE INFORMATION

TITLE REFERENCE	165361/2
WIND CLASSIFICATION	N3
SOIL CLASSIFICATION	M
CLIMATE ZONE	7
BAL LEVEL	12.5

ATTACHMENTS

BUSH FIRE LEVEL	ENVIROPLAN
ENERGY EFFICIENCY	... STAR
SITE CLASSIFICATION & WWR GES	

REV.	AMENDMENT	DATE

TITLE DRAWING
COVER SHEET


 Ph: (03) 64372701
 Fax: (03) 64372788
 DESIGN & DRAFTING
 105A South Road Pungah TAS 7316
 ABN: 17 060 943 437
 TQC Accredited No. CC7088
 Email: 1.brian@yaxleydesign.com.au

DATE	NOV 16
DRAWN	C.S.O
CHECKED	
SHEET SIZE	A3
SCALE	
PROPOSED TWO STOREY RESIDENCE 6 DAVIS ST LEITH FOR CHRIS & MEGAN ROSS	

DRAWING No.	216212 -1 of #
REV.	1
DATE	MAR 17



STORMWATER OVERFLOW
TO FRONT STREET CULVERT

NOTES:

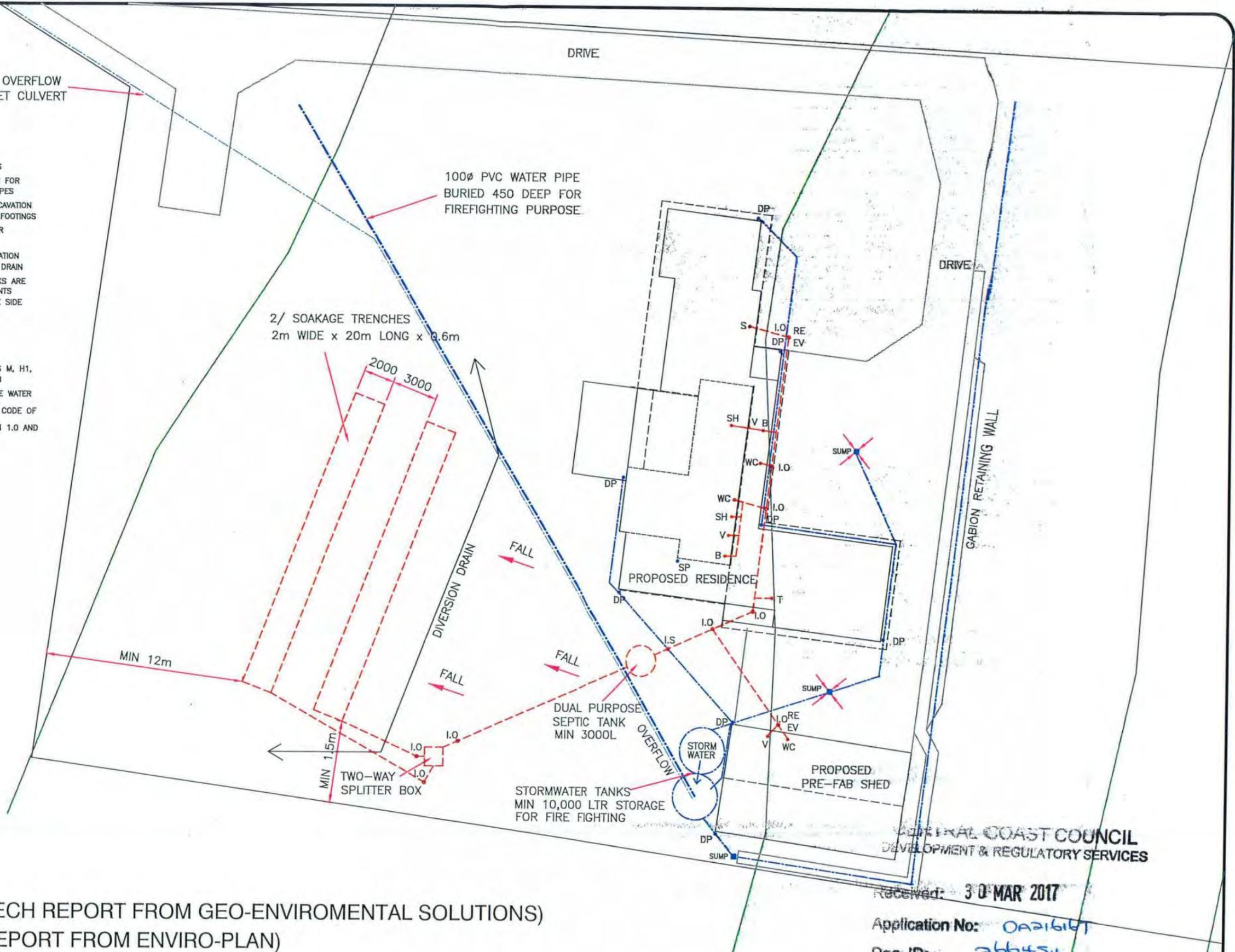
- ALL DRAINAGE WORK CARRIED OUT TO THE DESIGN & APPROVAL OF THE LOCAL AUTHORITIES
- INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OR DOWN PIPES
- PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELED PAD PRIOR TO COMMENCING FOOTINGS
- DOWNPIPES TO BE CONNECTED INTO STORMWATER AS SOON AS ROOF INSTALLED
- AG DRAINS INSTALLED PRIOR TO FOOTING EXCAVATION EXCAVATED MATERIAL PLACED UP-SLOPE OF AG DRAIN
- MATERIAL TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETED & USED AS FILL FOR ANY LOW POINTS INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL
- GROUND TO FALL AWAY FROM BUILDING IN ALL DIRECTIONS AS PER AS2870
- ORG RIM TO BE MINIMUM 150mm BELOW LOWEST SANITARY FITTING
- FLEXIBLE CONNECTOR REQUIRED FOR SOIL CLASS M, H1, H2 & P WHERE DRAINAGE EXITS CONCRETE SLAB
- ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02 -2002 VERSION 2.3 MRWA EDITION 1.0 AND TSWATER'S SUPPLEMENTS TO THESE CODES

LEGEND:

- WC - TOILET
- S - SINK
- V - VANITY
- B - BATH
- SH - SHOWER
- T - TROUGH
- RE - ROD EYE
- EV - EDUCT VENT
- I.O - INSPECTION OPENING
- ORG - OVERFLOW RELIEF GULLY
- DP - DOWN PIPE
- I.S - INSPECTION SHAFT
- FC - FLEXIBLE CONNECTOR

CONTOURS AT 5 METERS

(REFER TO GEO-TECH REPORT FROM GEO-ENVIROMENTAL SOLUTIONS)
(REFER TO BAL REPORT FROM ENVIRO-PLAN)



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAR 2017
Application No: 0A21616
Doc. ID: 266454

REV.	AMENDMENT	DATE

TITLE DRAWING

DRAINAGE PLAN

Ph: (08) 64372761
Fax: (08) 64372769

YXLEY

DESIGN & DRAFTING

108A South Road, Peralta TAS 7345
ABN: 17 080943 43X

TCC Accreditation No: CC7985
Email: info@yxleydesign.com.au

DATE: NOV 16
DRAWN: C.S.O.
CHECKED: [Signature]
SHEET SIZE: A3
SCALE: 1:250

PROPOSED TWO STOREY RESIDENCE
6 DAVIS ST LEITH
FOR
CHRIS & MEGAN ROSS

DRAWING No.	216212-3 of #
REV.	1
DATE	MAR 17



DAVIS ST

8'13"
8.13
132'40"
7.78

122'03'00"
68.27
DRIVE
74.96
302'03'05"

99'41"
6.00

ALL WEATHER SURFACE DRIVE
COMPACTED SUB-BASE

130.32
93'02'00"

FENCE

GATE

(23.69)

198'56'50"

NEIGHBOUR

7'53'29"
43.74

BUILDING ENVELOPE

PROPOSED RESIDENCE

GABION RETAINING WALL

2

7984m²

PROPOSED
PRE-FAB SHED

(49.13)

56.06
278'13'20"

12000

2165

(30.97)

180'00"

2000

5000

78.56
273'14'20"

61.84
198'20'20"

CONTOURS AT 5 METERS

SHED DETAILS:
3.6m HIGH TO EAVES
4.28m HIGH TO RIDGE
COLOR- OCEAN BLUE

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

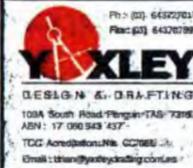
Received: 30 MAR 2017

Application No: 02216167

REV.	AMENDMENT	DATE

TITLE DRAWING

SITE PLAN

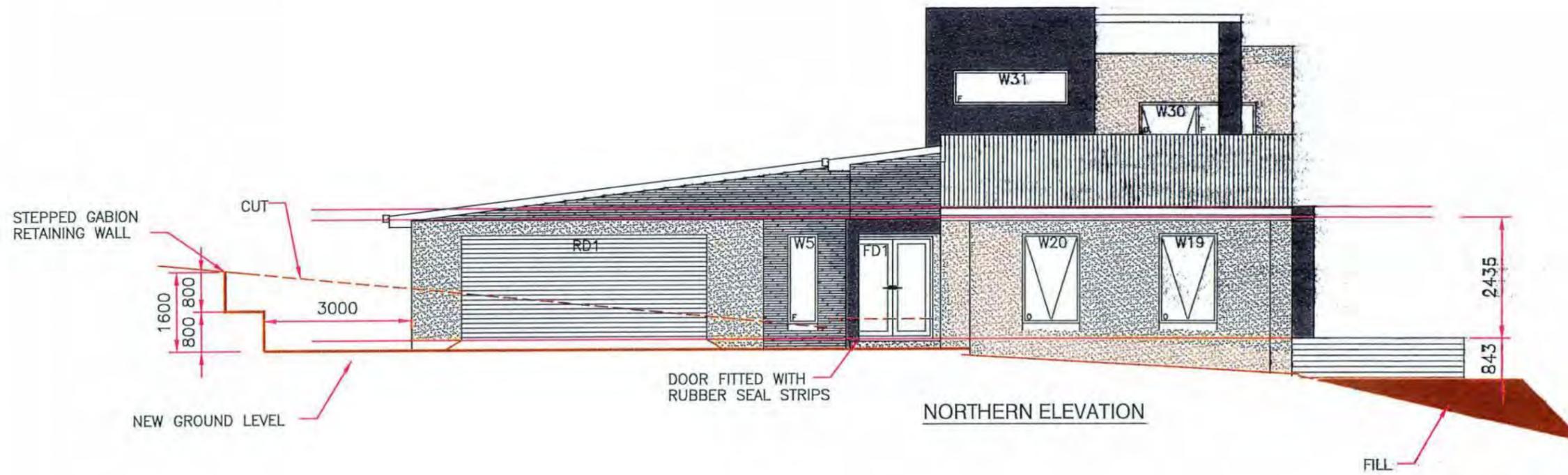


Ph: 030 6502924
Fac: 03 64326798
100A South Road, Pigeon Creek, VIC 3215
ABN: 17 090 949 457
TGC Accreditation No. CC21688
Email: info@yoxleydesign.com.au

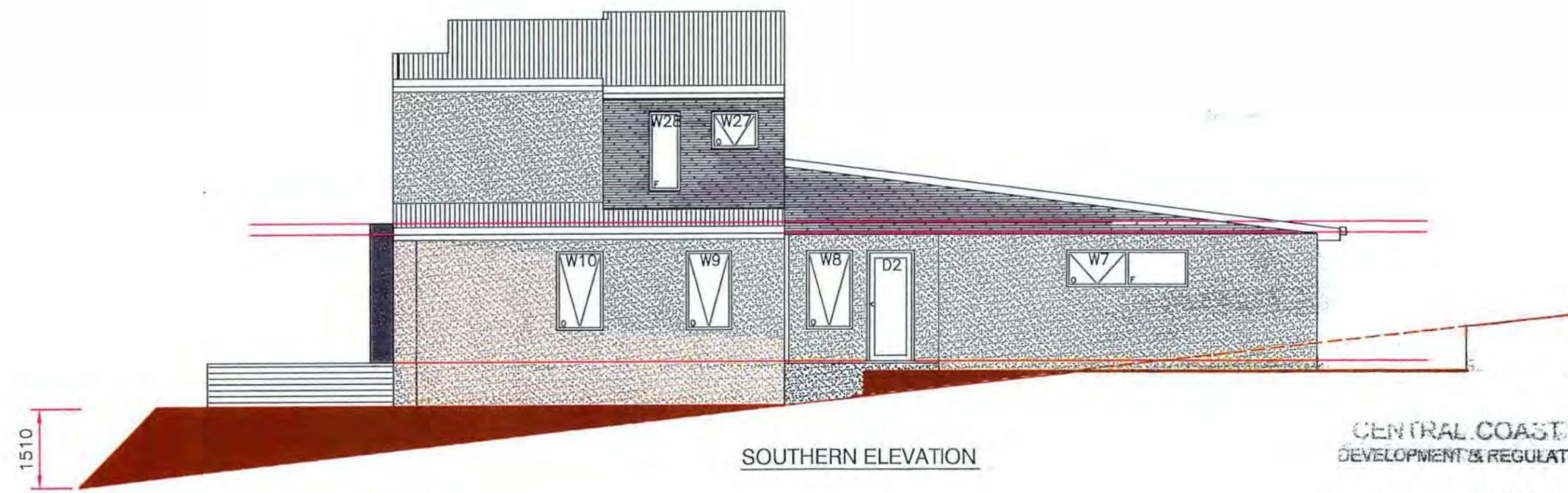
DATE: NOV. 16
DRAWN: C.S.O.
CHECKED:
SHEET SIZE: A3
SCALE: 1 : 600

PROPOSED TWO STOREY RESIDENCE
6 DAVIS ST LEITH
FOR
CHRIS & MEGAN ROSS

DRAWING No. 216212 -2 of #
REV. 1 DATE MAR 17



NORTHERN ELEVATION



SOUTHERN ELEVATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAR 2017

Application No: 02216167

REV.	AMENDMENT	DATE

TITLE DRAWING
ELEVATIONS

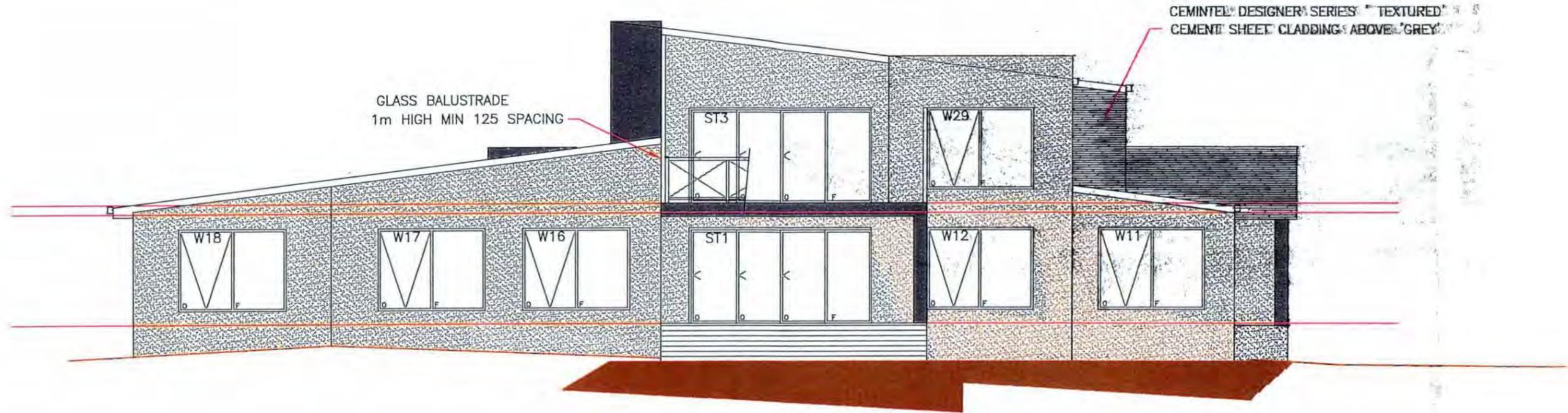
YXLEY
DESIGN & DRAFTING
105A South Road, Pigeon Point, VIC 3218
ABN: 17 091 942 437
TCC Accreditation No. 22092L
Email: brian@yxleydesign.com.au

DATE: NOV 16
DRAWN: C.S.O.
CHECKED: —
SHEET SIZE: A3
SCALE: 1:100

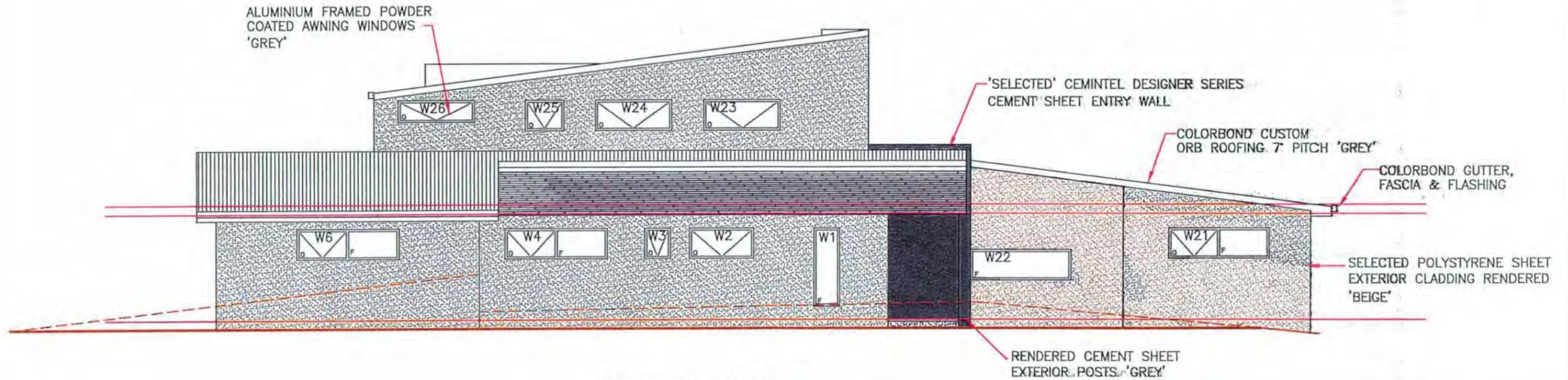
PROPOSED TWO STOREY RESIDENCE
6 DAVIS ST LEITH
FOR
CHRIS & MEGAN ROSS

Doc ID: 206454

DRAWING No. 216212-7 of #	
REV: 1	DATE: MAR 17



WESTERN ELEVATION



EASTERN ELEVATION

CENTRAL COUNCIL
DEVELOPMENT & PROPERTY SERVICES

Received: 30 MAR 2017

Application: D2216167

Doc ID: 266454

REV.	AMENDMENT	DATE

TITLE DRAWING

ELEVATIONS


 Ph: (81) 9437272
 Fax: (81) 9437295
WIXLEY
 DESIGN & CONSTRUCTION
 189A South Road, Penguin TAS 7216
 ABN: 17 050 943 437
 TOC Accreditation No. 02268
 Email: info@wixleydesign.com.au

DATE	NOV 16
DRAWN	C.S.O
CHECKED	
SHEET SIZE	A3
SCALE	1:100

PROPOSED TWO STOREY RESIDENCE
6 DAVIS ST LEITH
FOR
CHRIS & MEGAN ROSS

DRAWING No. 216212-6 of #	
REV.	DATE
1	MAR 17



LEGEND:

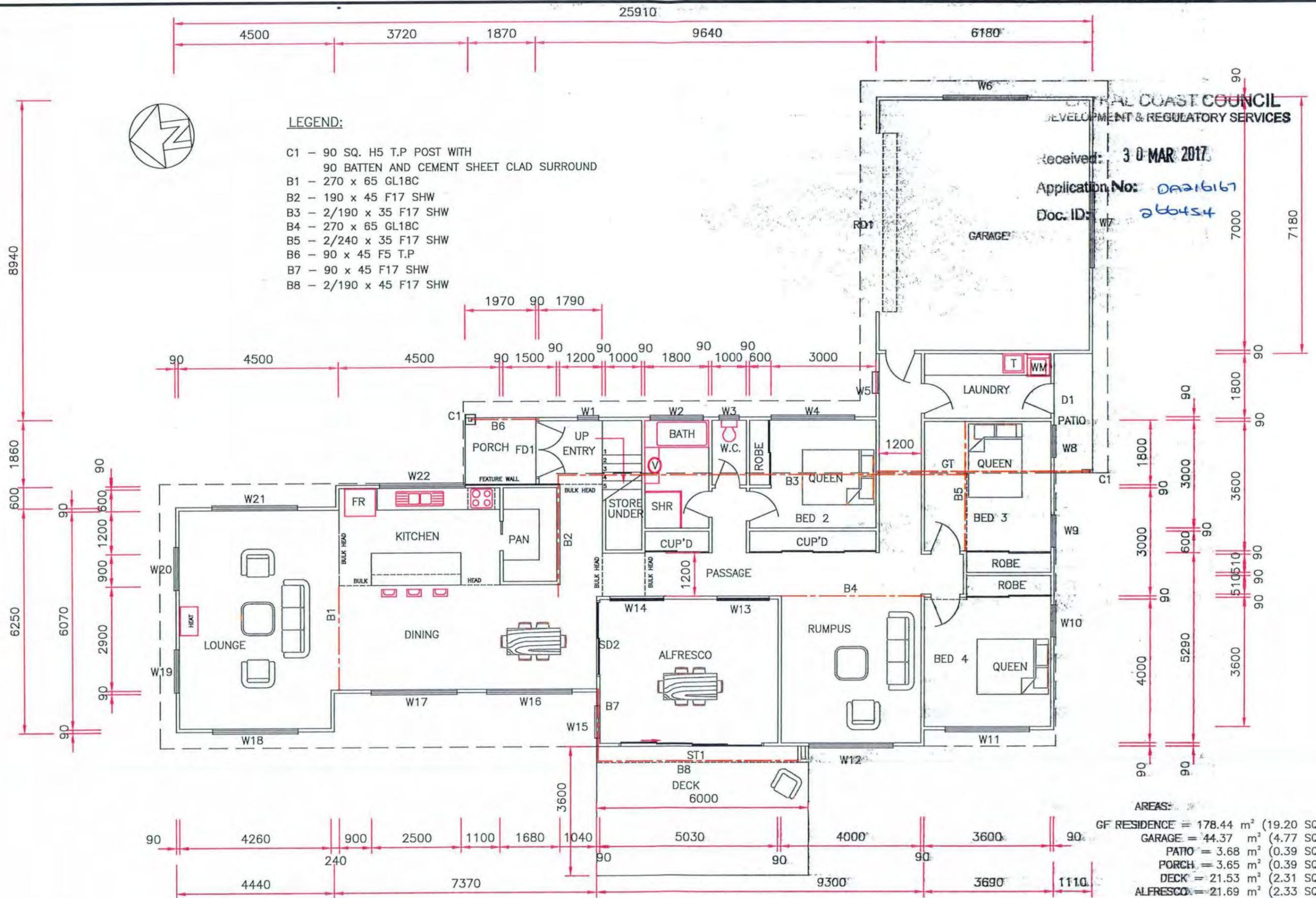
- C1 - 90 SQ. H5 T.P POST WITH
90 BATTEN AND CEMENT SHEET CLAD SURROUND
- B1 - 270 x 65 GL18C
- B2 - 190 x 45 F17 SHW
- B3 - 2/190 x 35 F17 SHW
- B4 - 270 x 65 GL18C
- B5 - 2/240 x 35 F17 SHW
- B6 - 90 x 45 F5 T.P
- B7 - 90 x 45 F17 SHW
- B8 - 2/190 x 45 F17 SHW

LOCAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

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Doc. ID: 26454



AREAS:

GF RESIDENCE	= 178.44 m ² (19.20 SQ.)
GARAGE	= 44.37 m ² (4.77 SQ.)
PATIO	= 3.68 m ² (0.39 SQ.)
PORCH	= 3.65 m ² (0.39 SQ.)
DECK	= 21.53 m ² (2.31 SQ.)
ALFRESCO	= 21.69 m ² (2.33 SQ.)

REV.	AMENDMENT	DATE

TITLE DRAWING

GROUND FLOOR PLAN

YXLEY
DESIGN & CONSTRUCTION
109A South Road, Penang, TAMPUN
ABN: 17 090 943 437
TCC Accreditation No. CC20052
Email: info@yxley.com.au

DATE: NOV 16
DRAWN: C.S.G.
CHECKED: [Signature]
SHEET SIZE: A3
SCALE: 1:100

PROPOSED TWO STOREY RESIDENCE
6 DAVIS ST LEITH
FOR
CHRIS & MEGAN ROSS

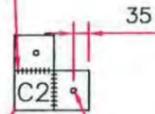
DRAWING No. 216212-4 of #

REV.	DATE

MAR 17

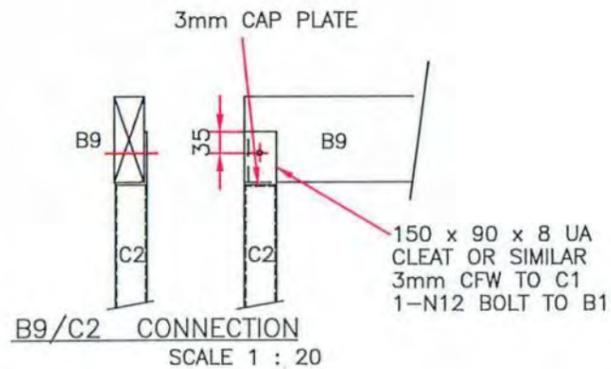


90 x 8 THICK PLATE
3mm CFW BOTH SIDES TO C2



LOCATE C1 TO SUIT
2-M12 DYNA BOLTS
50mm MIN EMBEDMENT

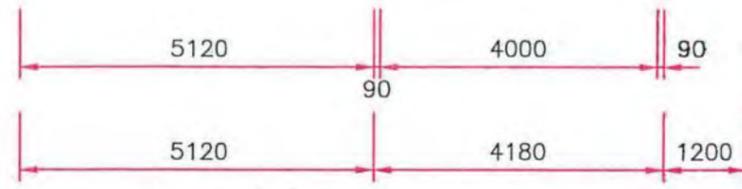
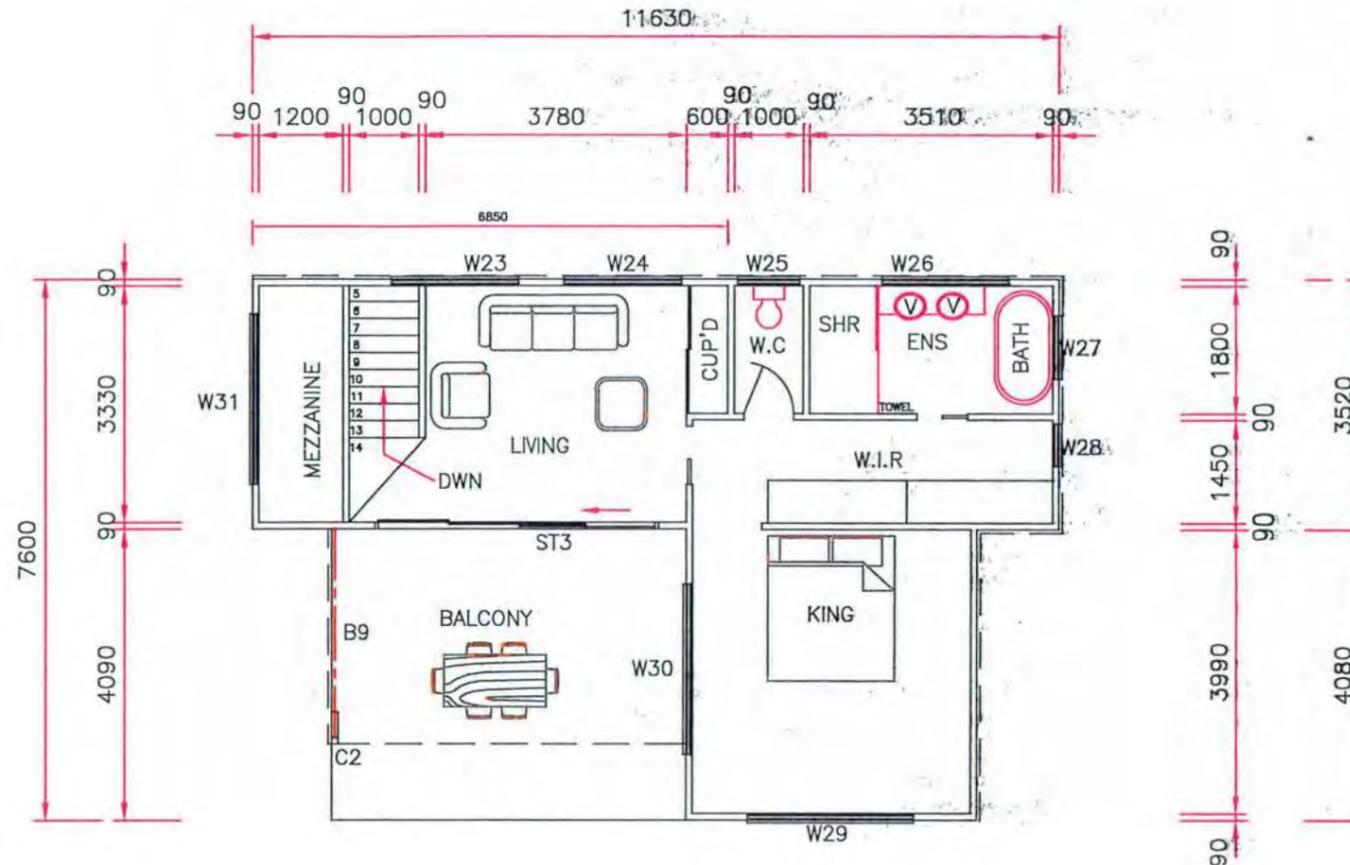
C2 BASE PLATE DETAIL



B9/C2 CONNECTION
SCALE 1 : 20

LEGEND:

C2 - 90 SQ. x 3 THICK DURAGAL POST
B9 - 240 x 45 F5 T.P



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

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Doc. ID: RESIDENCE = 57.92 m² (6.23 SQ.)
BALCONY = 20.94 m² (2.25 SQ.)
266454

REV.	AMENDMENT	DATE

TITLE DRAWING
FIRST FLOOR PLAN

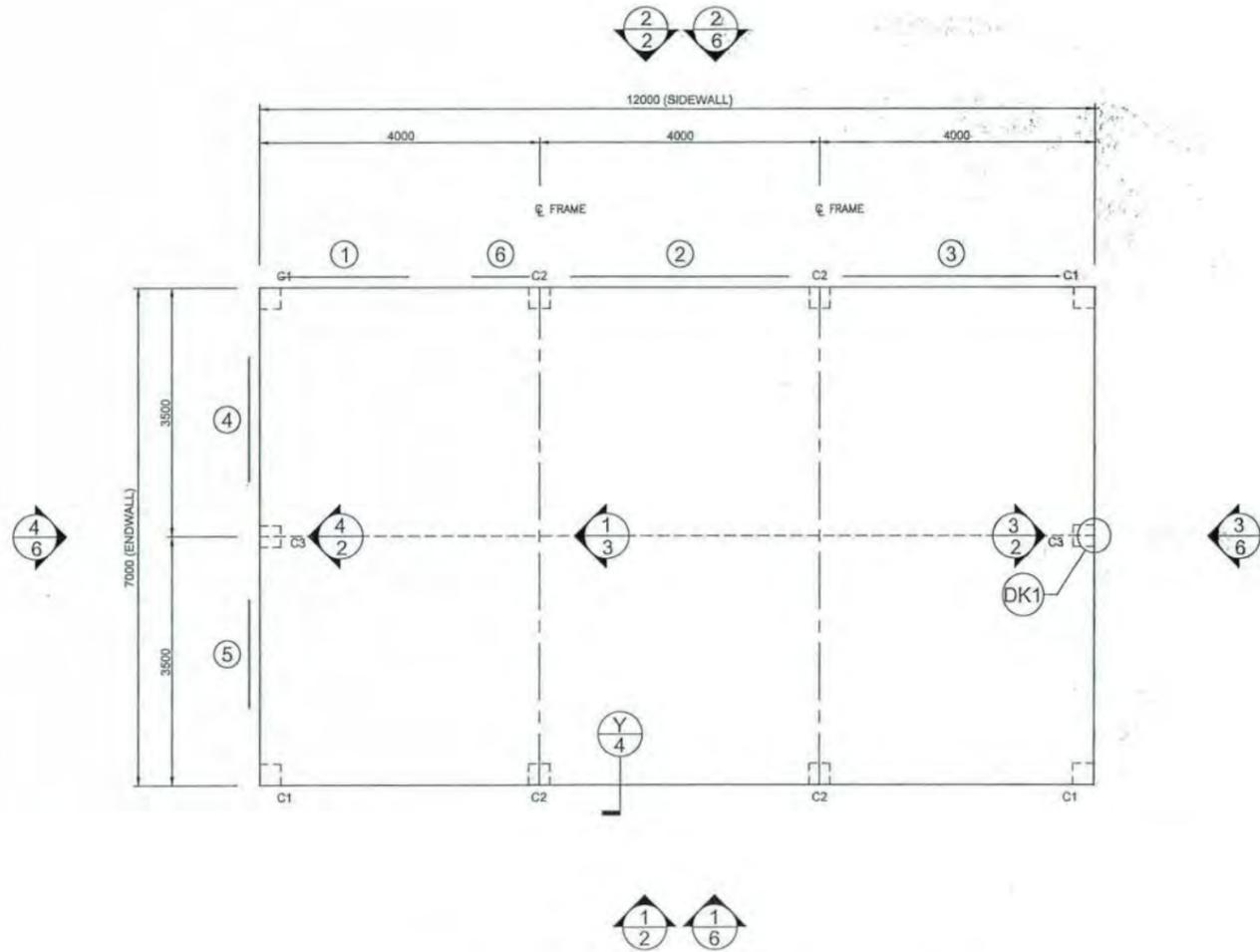
DATE: NOV 16
 DRAWN: C.S.D
 CHECKED:
 SHEET SIZE: A3
 SCALE: 1 : 100

PROPOSED TWO STOREY RESIDENCE
 6 DAVIS ST LEITH
 FOR
 CHRIS & MEGAN ROSS

DRAWING No. 216212-5 of #
DATE MAR 17

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IF IN DOUBT, ASK.



1 FOUNDATION PLAN AND MEMBER LAYOUT
1 SCALE: 1 = 100

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAR 2017

Application No: 0926167

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MEMBER LEGEND

C1	C15015
C2	C15024
C3	C15012

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

1 OF 6
SHEET

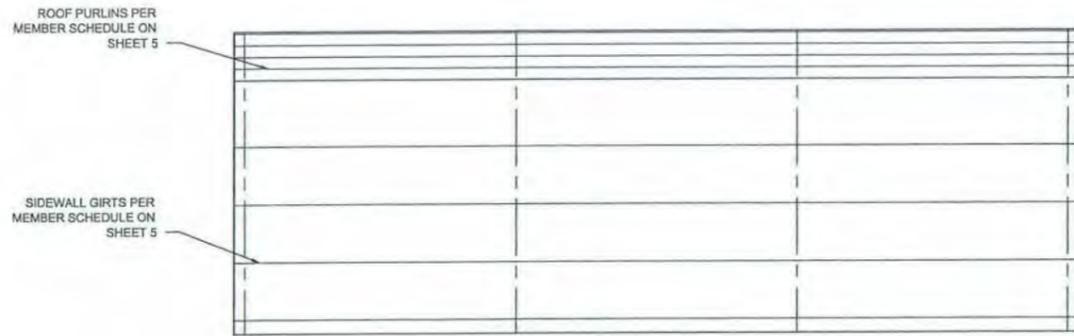
STEEL BUILDING BY (CONTACT)
DEVONPORT BUILDING SUPPLIES PTY LTD
FOR
03 64246664
CHRIS ROSS
AT
6 DAVIS STREET
LEITH



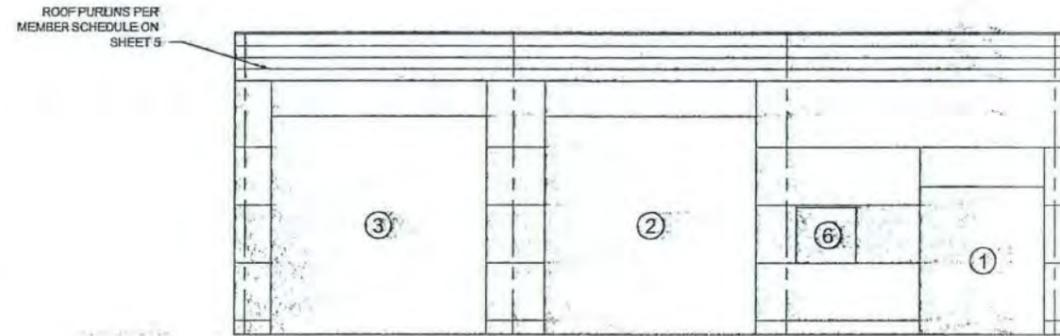
NORTHERN CONSULTING
engineers
Civil & Structural Engineers
50 Punari Street
Curralong, QLD 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 58

Mr Timothy Roy Messer BE MIEAust RPEQ
Registered Professional Engineer 2558980
Signature: *T. Messer*
Date: 16/3/2017
Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

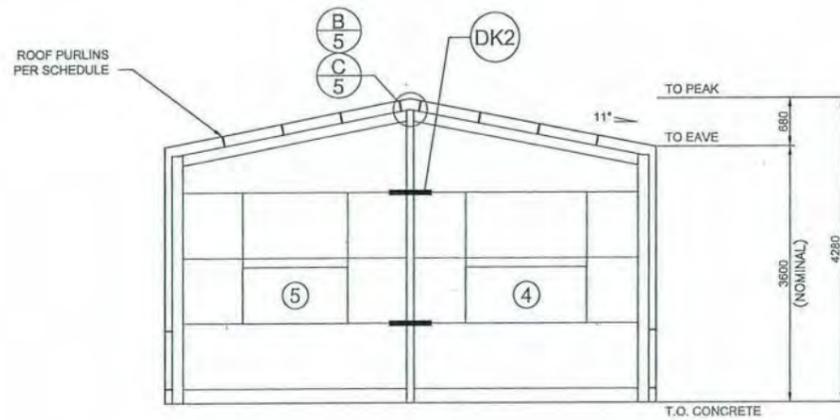
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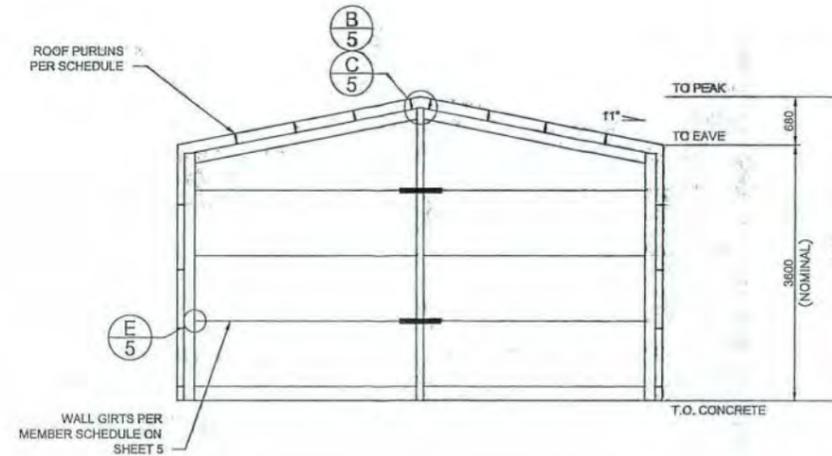
1 SIDEWALL EXTERIOR ELEVATION
2 SCALE: 1 = 100



2 SIDEWALL EXTERIOR ELEVATION
2 SCALE: 1 = 100



4 ENDWALL INTERIOR ELEVATION
2 SCALE: 1 = 100



3 ENDWALL INTERIOR ELEVATION
2 SCALE: 1 = 100

DIAGONAL X BRACING NOT REQUIRED IN THIS BUILDING.
CLADDING DIAPHRAGM SUFFICIENT. FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAR 2017
Application No: DA21667
Doc ID: 266454

2 OF 6	SHEET
	JOB NO. DEVN13737
DATE	16/3/2017
CHECKED	TM
DRAWN	FDS

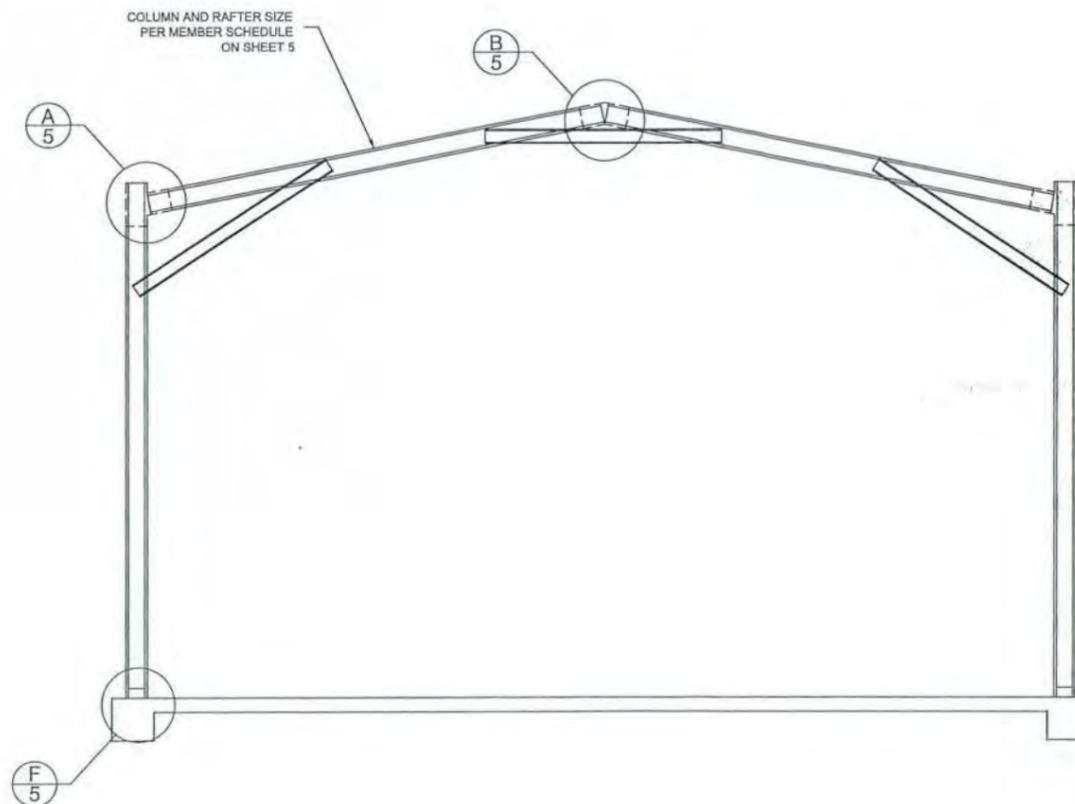
STEEL BUILDING BY (CONTACT)
DEVONPORT BUILDING SUPPLIES PTY LTD
FOR
03 64246664
CHRIS ROSS
AT
6 DAVIS STREET
LEITH



NORTHERN CONSULTING
engineers
Civil & Structural Engineers
50 Pinar Street
Cunajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN: 341 008 173 56
Regn. No. 25589801
Regn. No. 29857
Regn. No. 11837323
Regn. No. EC36932
Regn. No. CC564884

Mr Timothy Roy Messer BE MIEAust RPEQ
Registered Professional Engineer 2558980
Signature: *T. Messer*
Date: 16/3/2017
Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

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1 INTERNAL FRAME SECTION
3 SCALE: 1 = 50

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAR 2017

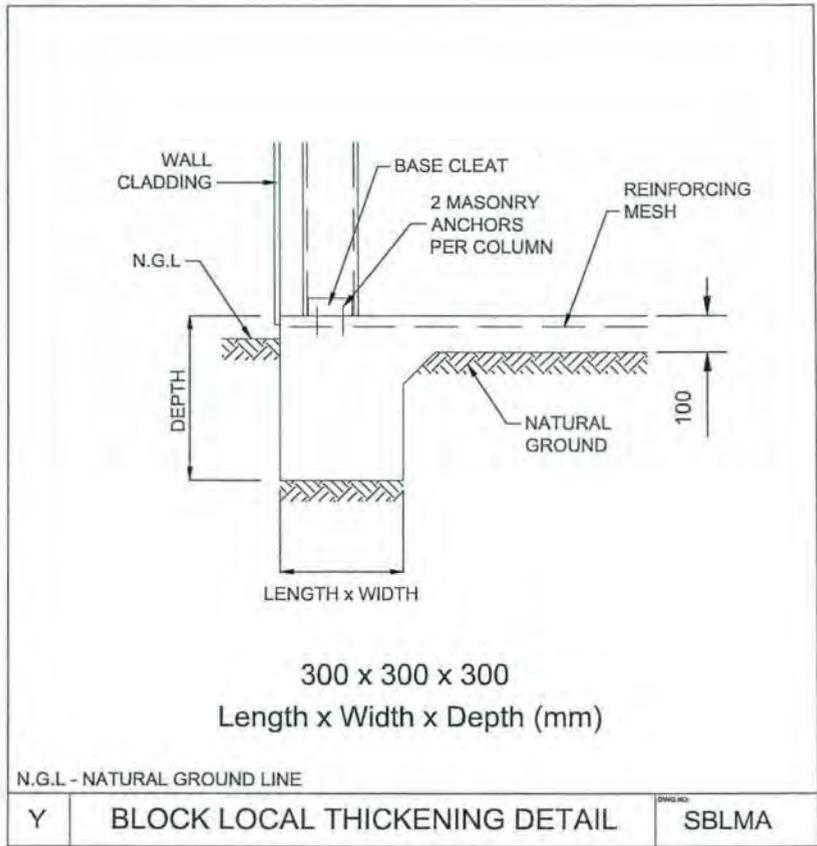
Application No: DA216167

Doc. ID: Refer to Sheet #4 for concrete specification.
266454

3 OF 6	SHEET	JOB NO. DEVN13737	DATE 16/3/2017	CHECKED TM	DRAWN FDS	STEEL BUILDING BY (CONTACT) DEVONPORT BUILDING SUPPLIES PTY LTD FOR 03 64246664 CHRIS ROSS AT 6 DAVIS STREET LEITH			Civil & Structural Engineers 50 Finlay Street Cairns, QLD 4872 Fax: 07 4925 5850 Email: design@nceng.com.au ABN: 341 009 173 561 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Consulting Engineer (Structural) N.T.S. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Mr Timothy Roy Messer BE MIEAust RPEQ Registered Professional Engineer 2558980 Signature: <i>T. Messer</i> Date: 16/3/2017 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
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STRUCTURAL GENERAL NOTE

- GOVERNING CODE:** NATIONAL CONSTRUCTION CODE (NCC), LOADING TO A ALL SECTIONS, BUILDING SURVIVABLE 75 EITHER A PRIVATE GARAGE CLASS 10a, OR A FARM SHED (CLASS 7 OR 8), OTHERWISE SPECIFICALLY NOTED. FOR USE AS A FARM SHED, IT MUST MEET THE FOLLOWING REQUIREMENTS:
 - BE LESS THAN 2000 SQM IN AREA (EXCLUDING OF ANY MEZZANINE FLOOR AREA).
 - MUST BE LOCATED ON A FARM AND USED IN CONNECTION WITH FARMING PURPOSES (AS DEFINED IN MCC 2016).
 - BUILDING IS NOT TO BE OCCUPIED FREQUENTLY NOR FOR EXTENDED PERIODS BY PEOPLE, WITH A MAXIMUM OF 1 PERSON PER 200 SQM OR 2 PERSONS MAXIMUM IN TOTAL MEZZANINE IS THE LESSER.
- DRAWING CHECKSHEET:** THESE DRAWINGS REMAIN THE PROPERTY OF FAIR (AUST) PTY LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF FAIR. DRAWINGS ARE PROVIDED FOR THE SOLE PURPOSES OF OBTAINING BUILDING PERMITS AND ALLOWS CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM FAIR.
- DRAWING SIGNATURE REQUIREMENTS:** THESE DRAWINGS ARE NOT VALID UNLESS SIGNED BY THE ENGINEER. THE ENGINEER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR DRAWINGS WITHOUT A SIGNATURE. EACH TITLE BLOCK CONTAINS A WATER MARK UNDER THE CUSTOMER'S NAME CONTAINING THE DATE OF PRODUCTION OF THE DRAWINGS; THE DRAWINGS ARE TO BE SUBMITTED TO COUNCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.
- CONTRACTOR RESPONSIBILITIES:** CERTIFIER AND CONTRACTOR TO CERTIFY (ON SITE) THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE AND CORRECT FOR THE ADDRESS IDENTIFIED IN THE TITLE BLOCK. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE OF THE UNDERSIGNED ENGINEERS. THE ENGINEER / FIRM TAKES NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL CONNECTIONS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED FINISHING SIZES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE DISTRIBUTION MANUAL.
- ENGINEERING:** THE ENGINEER / FIRM ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNED ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY FAIR. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY FAIR WITH OTHER PLANS AND/OR OTHER COMPANIES THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCY, THE LATEST DRAWINGS PROVIDED BY FAIR SHALL GOVERN. NO ALTERATIONS TO THIS STRUCTURE (INCLUDING REMOVAL OF CLADDING) ARE TO BE UNDERTAKEN WITHOUT THE CONSENT OF THE CERTIFYING ENGINEER.
- INSPECTIONS:** NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
- SOIL REQUIREMENTS:** SITE CLASSIFICATION TO BE A, S OR H ONLY. SOIL SAFE BEARING CAPACITY VALUES INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL V OF SHEET 4 THE MINIMUM PENETRATION DEPTH SHOULD BE 100mm INTO NATURAL GRADE OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED TO 150mm LAYERS TO A MAXIMUM DEPTH OF 500mm. CONCRETE FOUNDATION DEPTH SHOULD NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR SURFACED CASE SOILS EXIST. IN CASES OF DISCREPANCY, THE LATEST DRAWINGS PROVIDED BY FAIR SHALL GOVERN. IN THIS CASE SEEK FURTHER ENGINEERING ADVICE.
- CLASS 10a or Class 7 FOOTING DESIGN:** THE FOUNDATION DIMENSIONS IS ALSO APPROPRIATE FOR CLASS 10a or CLASS 7 BUILDING DESIGN OF 'M-0', 'B', 'H-D' OR 'E' CLASS SOILS, IF TOTAL SLAB AREA IS UNDER 100m² SQUARE AND THE MAXIMUM SLAB DIMENSION (LENGTH AND WIDTH) IS LESS THAN 12m. PLEASE BE AWARE THAT THE SLAB DESIGN FOR H & E CLASS SOILS IN THESE INSTANCES ARE DESIGNED TO DEVELOPE SOME CRACKING. THIS CRACKING IS NOT CONSIDERED A STRUCTURAL FLAW OR DESIGN ISSUE, AND IS SIMPLY COSMETIC IN NATURE. IF THIS IS A CONCERN TO THE CLIENT IT IS ADVISED THEY DISCUSS OTHER OPTIONS WITH THE RESPECTIVE DISTRIBUTER PRIOR TO THE WORKING OF THE SLAB.
- CONCRETE REQUIREMENTS:** ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH AS2870 AND AS3600. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1 & B1, 25MPa FOR EXPOSURE A2 & B2 AND 30MPa FOR EXPOSURE C. IN ACCORDANCE WITH SECTION 4, AS3600, CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLAB TO BE 80mm +/-15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN PROCEED, THE CURE GIVEN NOT TO OVER-HEATEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES 1 LAYER OF SLIT REINFORCING MESH IS TO BE INSTALLED ON STANDARD SLABS WITH A MINIMUM 30MM COVER FROM CONCRETE SURFACE. CONCRETE REINFORCING TO CONFORM TO AS 1302, AS1903 & AS 1304. ALL REINFORCING COVER TO BE A MINIMUM OF 30mm.
- STRUCTURAL STEEL REQUIREMENTS:** ALL STRUCTURAL STEEL, INCLUDING SHEETING THROUGH EXISTING CONCRETE REINFORCING, SHALL CONFORM TO AS 1337 (GRADE <= 1mm Cy = 550MPa, GRADE > 1mm < 1.5mm Cy = 500MPa, GRADE >= 1.5mm Cy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO AS4600. ALL BOLT HOLE DIAMETERS TO SUIT GENERAL PUNCHING.
- DESIGN WIND REQUIREMENT:** THE FRAME AS A BASIC STRUCTURE IS DESIGNED AS AN "AIR LEAKY BUILDING" IN COMPLIANCE WITH AS 1170.5.3, AS SUCH, SHOULD A WINDOW OR DOOR FAIL, INTEGRITY OF THE BUILDING WILL BE MAINTAINED.
- FOOT TRAFFIC:** FOR DESIGN AND MAINTENANCE PLEASE NOTE THE FOLLOWING DESIGN FOOT TRAFFIC ZONES:
 - CORRIDOR: WALK ONLY WITHIN ZONES OF SCREEN LINES. FEET SPREAD OVER AT LEAST TWO RIMS.
 - HALLWAY: WALK ONLY IN FWS, OR ON AISLE AT SCREEN LINES.



PROJECT DESIGN CRITERIA	
ROOF LIVE LOAD:	0.25 kPa
BASIC WIND SPEED:	VR 45 m/s
SITE WIND SPEED:	Vsilt B 39 m/s
WIND REGION:	Reg A
TOPOGRAPH FACTOR, k_1 :	1
SHIELDING FACTOR, k_2 :	1
MAX GROUND SNOW LOAD: NA	
MAX ROOF SNOW LOAD: NA	
SITE ALTITUDE: NA	
TERRAIN CATEGORY:	TCat 2.5
SOIL SAFE BEARING CAPACITY:	100 kPa
RETURN PERIOD:	1:500
LIMITING CPI 1:	-0.3
LIMITING CPI 2:	0
IMPORTANCE LEVEL:	2

DETAIL KEYS	
(DK1)	ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
(DK2)	FLYBRACING PER DETAIL L/5
(DK3)	X-BRACING IN ROOF ABOVE (SEE DETAIL W/5)
(DK4)	DOUBLE X-BRACING IN ROOF ABOVE (SEE DETAIL W/5)

DOOR SCHEDULE						
DOOR	WIDTH	HEIGHT	OPENING TYPE	HEADER GIRT	OPENING JAMBS	
①	1810	2100	2.101 X 1.810 STANDARD GLASS SLIDING DOOR		SINGLE	
②	3100	3100	3.101 X 3.100 OR SERIES A #		SINGLE	
③	3100	3100	3.101 X 3.100 OR SERIES A #		SINGLE	
④	1730	780	WINDOW		SINGLE	
⑤	1510	780	WINDOW		SINGLE	
⑥	820	780	WINDOW		SINGLE	

NOTE: 1) SEE SHEET 3 FOR DOOR OPENING FRAMING INFORMATION.
2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL GOVERNORMENT SIZE NOT OPENING SIZE.

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAR 2017
Application No: DA 216167
Doc. ID: 266454

4 OF 6 SHEET
JOB NO. DEVN13137
DATE 18/3/2017
CHECKED TM
DRAWN FDS
FOR AT

STEEL BUILDING BY (CONTACT)
DEVONPORT BUILDING SUPPLIES PTY LTD
FOR 03 64246864
CHRIS ROSS
AT 6 DAVIS STREET
LEITH



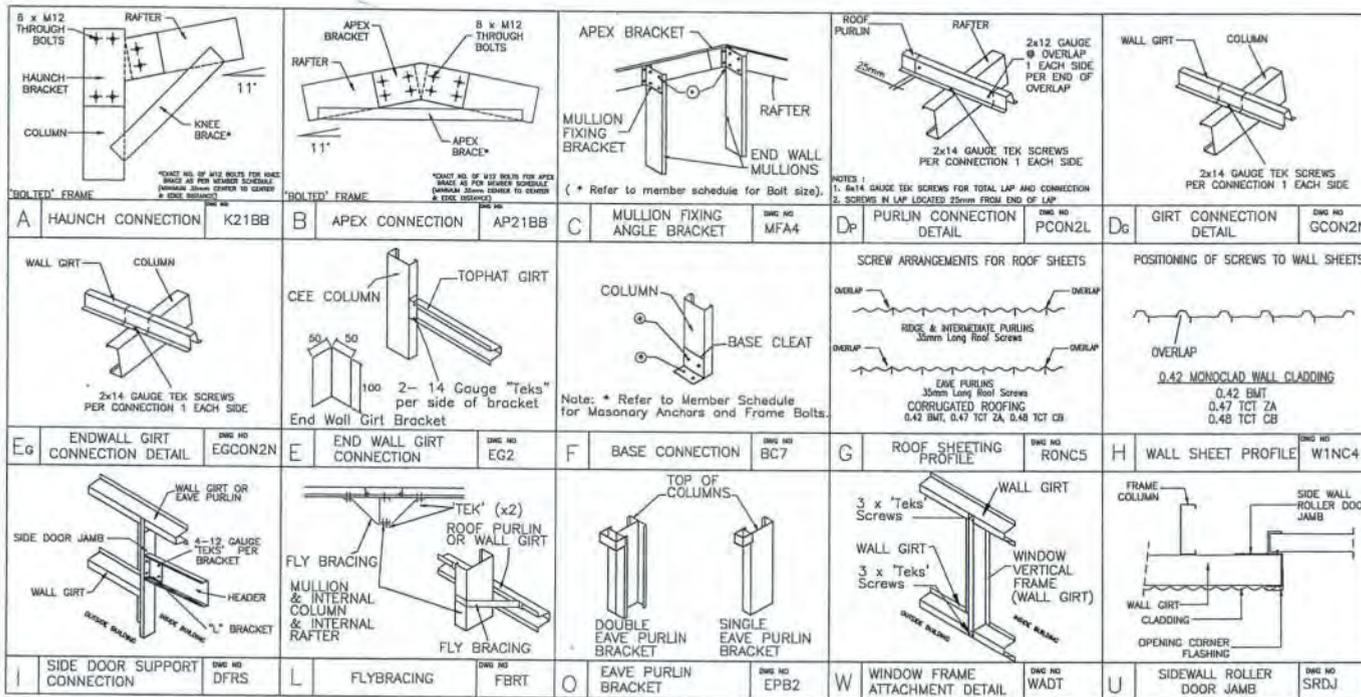
NORTHERN CONSULTING engineers
Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 34 1 008 173 56

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (CIVIL) VIC

Regn. No. 255980
Regn. No. 9085
Regn. No. 116378E
Regn. No. EC36692

Mr Timothy Roy Messer BE MIEAust RPEQ
Registered Professional Engineer 2558980
Signature: *T. Messer*
Date: 16/3/2017
Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register

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MEMBER AND MATERIAL SCHEDULE

1	END WALL RAFTER	Single C15015
2	C.S. FRAME RAFTER	Single C15019
3	END FRAME COLUMN (C1)	Single C15015
4	C.S. FRAME COLUMN (C2)	Single C15024
5	MULLION (C3)	Single C15012
6	C.S. FRAME KNEE BRACE	Single C10010 @ 1.78 LONG 2 bolts each end
7	KNEE BRACE HEIGHT UP COLUMN	2.81m
8	KNEE BRACE LENGTH UP RAFTER	1.35m
9	C.S. FRAME APEX BRACE	Single C10010 @ 1.68 LONG 2 bolts each end
10	APEX POSITION FROM RAFTER END	0.86m
11	ANCHOR BOLTS (IF PER DETS.)	Steeve Anchor 12.0x75 ZTY
12	EAVE PURLIN	C10015 (Eave Purlin Bracket 23mm down from top of column)
13	TYP. ROOF PURLIN SIZE	Tophat 64 x 1.0
14	MAIN BLDG. PURLIN SPACING	0.86 m. (4 rows) (Max Allow. 1.00m)
15	MAIN BLDG. PURLIN LENGTH	4.4 m. (0.4m Overlap)
16	TYP. SIDEWALL GIRT SIZE	Tophat 64 x 1.0
17	MAIN BLDG. SIDEWALL GIRT SPACING	0.82 m. (4 rows) (Max Allow. 1.04m)
18	MAIN BLDG. SIDEWALL GIRT LENGTH	4.1 m. (0.1m Overlap)
19	TYP. ENDWALL GIRT SIZE	Tophat 64 x 1.0
20	MAIN BLDG. ENDWALL GIRT SPACING	0.82 m. (4 rows) (Max Allow. 1.10m)
21	MAIN BLDG. ENDWALL GIRT LENGTH	3.38 m. (0.1m Overlap)
22	FRAME SCREW FASTENERS	14-13x22 Hex CS (SP HD S/16" Hex Drive)
23	FRAME BOLT FASTENERS	Puller Assy M12x30 ZSP
24	X-BRACING STRAP AND FASTENERS	Name required for this building. Cladding Diaphragm Sufficient.
25	WALL COLOUR	IRONSTONE
26	ROOF COLOUR	IRONSTONE
27	ROLLER DOOR COLOUR	IRONSTONE
28	WINDOW COLOUR	IRONSTONE
29	GLASS SLIDING DOOR COLOUR	IRONSTONE
30	DOWNPIPE COLOUR	DEEP_OCEAN
31	GUTTER COLOUR	DEEP_OCEAN
32	CORNER FLASHING COLOUR	DEEP_OCEAN
33	BARGE FLASHING COLOUR	DEEP_OCEAN
34	OPENING FLASHING COLOUR	DEEP_OCEAN
35	OPEN BAY HEADER HEIGHT	0.5

*"C.S." = CLEARSPAN "L" = LEFT "R" = RIGHT

DEVELOPMENT REGULATORY SERVICES

Received 20 MAR 2017
 Application No: DA216167
 Doc ID: 266454

5 OF 6 SHEET
 JOB NO. DEVN13737
 DATE 16/3/2017
 CHECKED T.M.
 DRAWN FDS

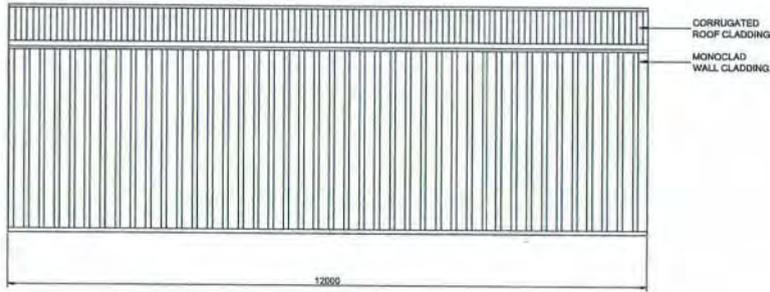
STEEL BUILDING BY (CONTACT)
DEVONPORT BUILDING SUPPLIES PTY LTD
 FOR 03 64246664
CHRIS ROSS
 AT 6 DAVIS STREET
 LEITH

fairdinkum
 SHEDS
 SHED SAFE

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 Registered Certifying Engineer (Structural) N.T.
 Registered Engineer - (Civil) VIC

Mr Timothy Roy Messer BE MIEAust RPEQ
 Registered Professional Engineer 2558980
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 Date 16/3/2017
 Registered on the NPBR in the areas of practice
 of Civil & Structural National Professional
 Engineers Register

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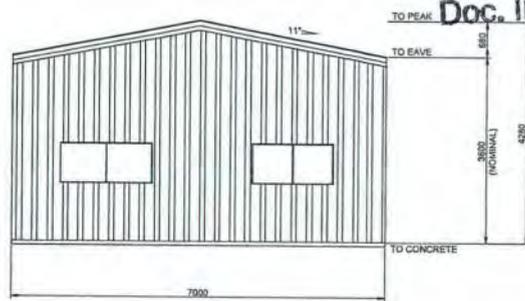
1 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



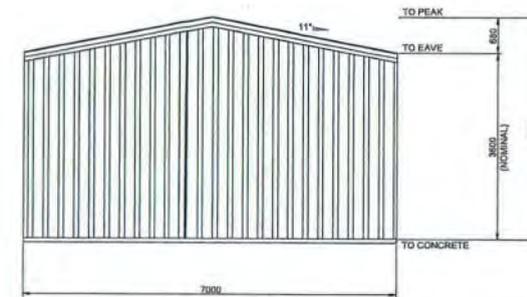
2 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 3 MAR 2017
Application no: DA216167
Doc. ID: 266454



4 ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100



3 ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100

BUILDING COLOURS	
WALL	IRONSTONE
ROOF	IRONSTONE
ROLLER DOOR	IRONSTONE
WINDOW	IRONSTONE
GLASS SLIDING DOOR	IRONSTONE
DOWNPIPE	DEEP OCEAN
GUTTER	DEEP OCEAN
CORNER FLASHING	DEEP OCEAN
BARGE FLASHING	DEEP OCEAN
OPENING FLASHING	DEEP OCEAN

6 OF 6
SHEET
JOB NO. DEVN13737
DATE 16/3/2017
CHECKED TM
DRAWN FDS

STEEL BUILDING BY (CONTACT)
DEVONPORT BUILDING SUPPLIES PTY LTD
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CHRIS ROSS
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Registered Engineer - (Civil) VIC

Regn. No. 2559980
Regn. No. 9985
Regn. No. 116373E5
Regn. No. EC36692

Mr Timothy Roy Messer BE MIEAust RPEQ
Registered Professional Engineer 2558980

Signature *T. Messer*

Date 16/3/2017
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NOTES:

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BRACING MATERIALS - THE SHED ERECTOR TO SUPPLY SPECIFIC BRACING. SUITABLE RIGID MEMBERS CAPABLE OF TENSION AND COMPRESSION OR OPPOSING CHAINS OR OPPOSING LOAD RATED RATCHET STRAPS TO BE USED. (RIGID BRACING AS SHOWN ON DIAGRAM) ROPE BRACING SUITABLE ONLY FOR SMALLER STRUCTURES IN IDEAL CONDITIONS.

BRACING LOCATION - TEMPORARY BRACING TO BE ERECTED AS CLOSE TO 45 DEGREE ANGLE AND FIXED TO THE TOP OF THE COLUMN OR MULLION TO ACHIEVE THE OPTIMUM EFFECTIVENESS. IF THERE IS NOT ENOUGH SPACE FOR A 45 DEGREE ANGLE, THEN 20 DEGREE ANGLE IS TO BE THE MINIMUM ANGLE ALLOWED (REFER TO DIAGRAM). RIGID TEMPORARY BRACING MEMBER TO BE BOLTED TO HEAVY ANGLE PEGS HAMMERED INTO THE GROUND OR TO A BRACKET, MASONRY ANCHORED TO THE SLAB.

BRACING REMOVAL - TEMPORARY BRACING TO REMAIN IN PLACE UNTIL CLADDING IS FULLY INSTALLED WHERE POSSIBLE. IN NO CASE SHOULD TEMPORARY BRACING BE REMOVED UNTIL ALL PURLINS, GIRTS (AND PERMANENT CROSS BRACING WHERE USED) ARE FIXED.

SITE SAFETY - DUE CONSIDERATION TO BE GIVEN TO SITE SAFETY IN REGARD TO LOCATIONS OF BRACING AND PEGS.

GUIDE APPLICATION - TEMPORARY BRACING AS DESCRIBED IS A MINIMUM REQUIREMENT FOR AN AVERAGE, STANDARD SITE CONDITION. PROVIDE ADDITIONAL BRACING FOR MORE SEVERE AND/OR HIGH EXPOSURE SITE CONDITIONS. ADDITIONAL BRACING TO BE USED AS AND WHERE NECESSARY TO ENSURE THAT ENTIRE FRAME IS RIGID THROUGHOUT CONSTRUCTION. RESPONSIBILITY FOR ENSURING STABILITY OF STRUCTURE REMAINS WITH THE BUILDER.

TILT UP METHOD

FOR STRUCTURES UNDER 9M SPAN, LESS THAN 3M HIGH AND LESS THAN 12M LONG

- ASSEMBLE THE FIRST SIDEWALL FRAME (COMPLETE WITH WALL SHEETING, BRACING AND GUTTER) ON THE GROUND AND LIFT ASSEMBLED SIDEWALL FRAME INTO POSITION. FIX OFF TEMPORARY SIDE BRACING TO EACH END (REFER TO DIAGRAM). FIX BASE CLEATS.
- ASSEMBLE THE SECOND SIDEWALL FRAME AS PER FIRST SIDEWALL FRAME. LIFT INTO POSITION. FIX OFF TEMPORARY WALL BRACING TO EACH END (REFER TO DIAGRAM) FIX BASE CLEATS.
- FIX GABLE END RAFTERS TO COLUMNS TO TIE WALLS. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- INSTALL REMAINING RAFTERS. AS EACH RAFTER PAIR IS INSTALLED, AT LEAST ONE PURLIN PER 3M OF RAFTER LENGTH IS TO BE INSTALLED TO SECURE RAFTERS.
- INSTALL REMAINING PURLINS
- INSTALL KNEE AND APEX BRACES IF AND WHERE APPLICABLE.
- REPEAT FOR LEANTO'S.

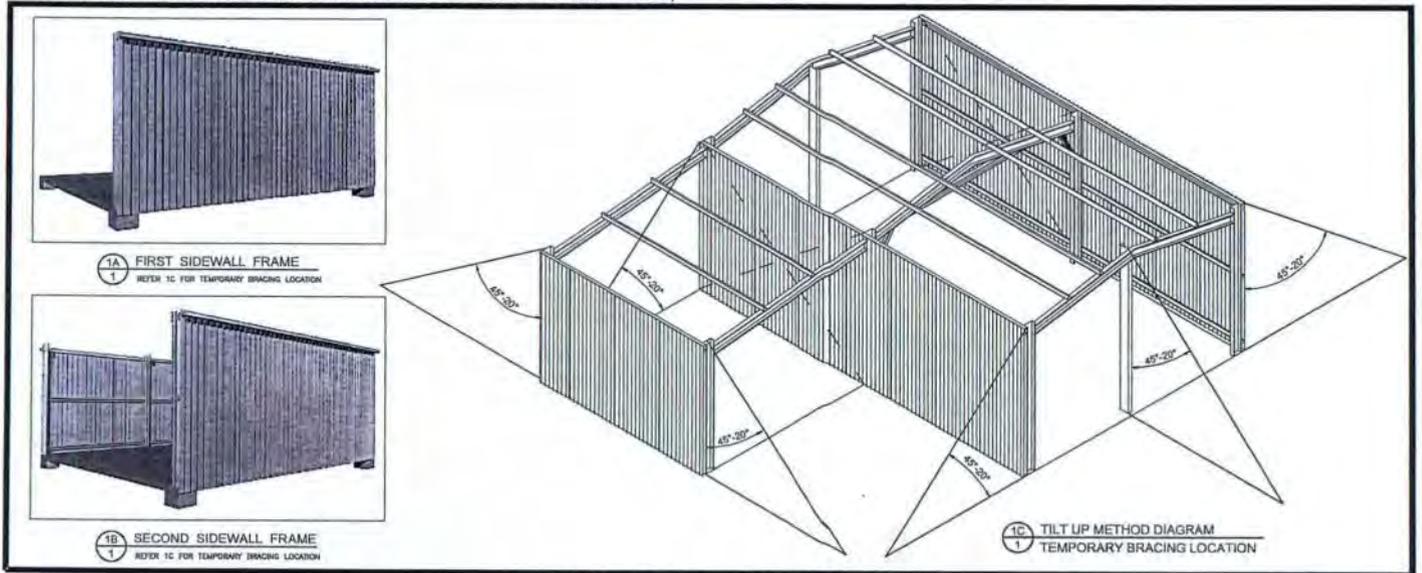
FRAME FIRST METHOD

FOR STRUCTURES OVER 9M SPAN, GREATER THAN 3M HIGH AND GREATER THAN 12M LONG

- ASSEMBLE PORTAL FRAMES ON THE GROUND (WITH KNEE AND APEX BRACES IF AND WHERE APPLICABLE). LIFT THE FIRST PORTAL FRAME ASSEMBLY INTO POSITION. FIX OFF TEMPORARY END BRACING (REFER TO DIAGRAM). FIX BASE CLEATS.
- PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- THE SECOND PORTAL FRAME ASSEMBLY TO BE LIFTED INTO POSITION. FIX EAVE PURLINS AND AT LEAST ONE PURLIN PER 3M OF RAFTER TO SECURE FRAME ASSEMBLY. FIX BASE CLEATS. FIX TEMPORARY SIDEWALL BRACING.
- STAND REMAINING PORTAL FRAME ASSEMBLY AS PER STEP C, FIXING TEMPORARY SIDE WALL BRACING TO EVERY SECOND BAY. BRACE OTHER END PORTAL FRAME AS PER FIRST PORTAL FRAME.
- INSTALL REMAINING PURLINS AND GIRTS.
- REPEAT FOR LEANTO'S.

GUIDE TO THE INSTALLATION OF TEMPORARY BRACING

(REFER TO FDHS INSTALLATION GUIDE MANUAL FOR THE TWO METHODS OF CONSTRUCTION)



1 TILT UP METHOD DIAGRAM
SCALE: NTS

2 FRAME FIRST METHOD DIAGRAM
SCALE: NTS

Application No: 00226167
ID: 266454

JOB NO.	DATE	CHECKED	DRAWN
DEVN1373	16/02/2017	TM	FDS

STEEL BUILDING BY
DEVONPORT BUILDING SUPPLIES PTY LTD
(CONTACT)
03 64246664
CHRIS ROSS
6 DAVIS STREET
LEITH

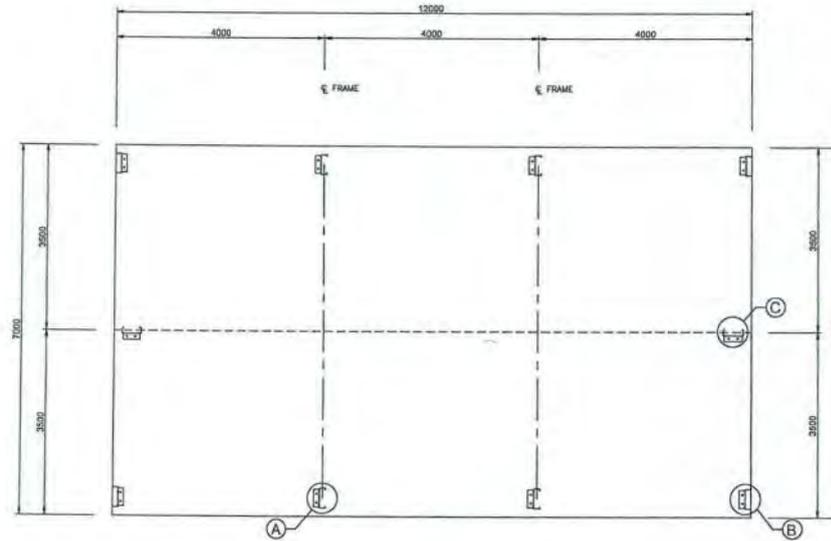
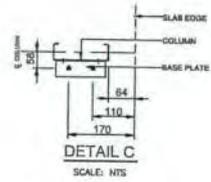
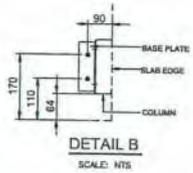
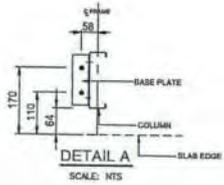


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Regn. No. 9985
Regn. No. 116373E5
Regn. No. EC56652
Rwen No. 07544904

Mr Timothy Roy Messer BE MIEAust RPEQ
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Date: 16/3/2017
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CENTRAL COAST COUNCIL BOLT LAYOUT PLAN
 DEVELOPMENT & REGULATORY SERVICES SCALE: 1 = 100

Received: 30 MAR 2017

Application No: DAD16167

Doc. ID: 266454

IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

JOB NO. DEVN19797	DATE 18/3/2017	CHECKED TM	DRAWN FDS	STEEL BUILDING BY DEVONPORT BUILDING SUPPLIES PTY LTD
				FOR 03 64246664
				CHRIS ROSS
				6 DAVIS STREET LEITH

6/3/2017



BOLT LAYOUT PLAN

Certificate of Specialist or Other Person (Building Work)

Regulation 16

Form **55**

To: Owner/Agent
 Address
 Suburb/Postcode

Certifier Details:

From:
 Address: Phone No:
 Fax No:
 Accreditation No: Email Address:

(if applicable)

Or qualifications and insurance details: (description from Column 3 of Schedule 1 of the Director of Building Control's Determination.)

Speciality area of expertise: (description from Column 4 of Schedule 1 of the Director of Building Control's Determination.)

Details of Work:

Address: Lot No:
 Certificate of title No:
 The work related to this certificate: (description of the work or part work being certified)

Certificate Details:

Certificate type: (description from Column 1 of Schedule 1 of the Director of Building Control's Determination.)

This certificate is in relation to an application for a new building permit. OR

This certificate is in relation to any stage of building work before completion.

Issuing this certificate the following matters are relevant -

Documents:
 CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES
 Approved: **30 MAR 2017**
 Relevant calculations:

References:

NCC 2016, AS/NZ4600-2005,
AS1170,AS1170.0,AS1170.1,AS1170.2,AS1170.3,AS1170.4,
AS2870-2011, AS3600-2009

Substance Of Certificate: *(what it is that is being certified)*

Structure plus foundation.

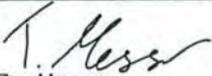
Scope and/or Limitations

Vu (Limit State Design) $< \text{ or } = 39.15 \text{ m/s}$.

I certify the matters described in this certificate.

Signed:
Certificate No.

Certifier:


Mr Timothy Roy Messer

CC5648M

Date:

16/3/2017

CERTIFICATE OF THE RESPONSIBLE DESIGNER - BUILDING WORK

Section 94
Section 129

To : Owner Name
 Address
 Suburb/postcode

Form
35A

Designer Details:

Name: **Timothy Messer** Category:
 Business name: **Northern Consulting Engineers** Phone No: **(07) 47 25 55 50**
 Business address: **50 Punari Street, Currajong**
Queensland **4812** Fax No: **(07) 47 25 58 50**
 Accreditation No: **CC5648M (Structural & Building Designer)** Email Address: **design@nceng.com.au**

Details of the proposed work:

Owner/Applicant: **CHRIS ROSS** Designer's project reference No: **DEVN13737**
 Address: **6 DAVIS STREET** Lot No:
LEITH **7315**

Type of Building work : Permit work Notifiable work (X one applicable)

NEW BUILDING (new building/ alteration/ addition/ repair / removal/ re-erection/ other)

Description of the Design Work (Scope, limitations or exclusions) :

Deemed-to-Satisfy : Alternative Solution : (tick the appropriate box)
 Steel Portal Frame Structure.
 7m span x 12m O/A length x 3.6m eaves height.
 Consisting of 3 bays at 4m spacing.

Design documents provided:

The following documents are provided with this Certificate -
 Document description :

Drawing numbers : 1 to 6	Prepared by : Fair Dinkum Sheds	Date : 16/3/2017
Schedules :	Prepared by :	Date :
Specifications :	Prepared by : <i>approved</i>	Date : 30 MAR 2017
Computations :	Prepared by : <i>approved</i>	Date : DA216167
Alternative solution proposals :	Prepared by : <i>approved</i>	Date : 266454

Performance Solutions Proposals :	Prepared by :	Date :
Test reports :	Prepared by :	Date :

Standards, codes or guidelines relied on in design process:	
NCC 2016, AS/NZ4600-2005,	
AS1170,AS1170.0,AS1170.1,AS1170.2,AS1170.3,AS1170.4,	
AS2870-2011, AS3600-2009	

Any other relevant documentation:	

Attribution as designer:	
--------------------------	--

I Tim Messer being a licensed services provider am responsible for the design of that part of the building work as described in this certificate.

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the Building Act 2016 and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance of this design with the requirements of the National Construction Code.

Designer: Signed: *T. Messer*

Date: 16/3/2017



GEO-ENVIRONMENTAL

S O L U T I O N S

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAR 2017

Application No: DA216167

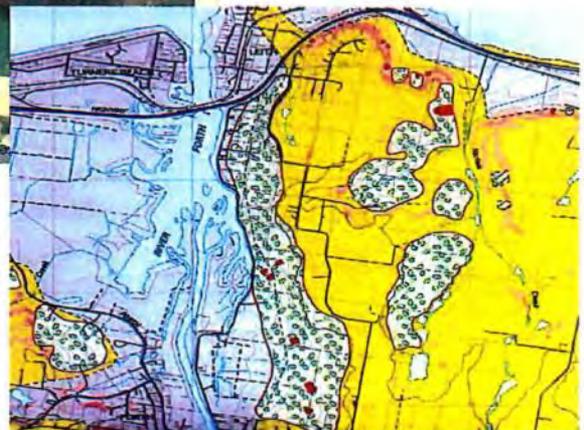
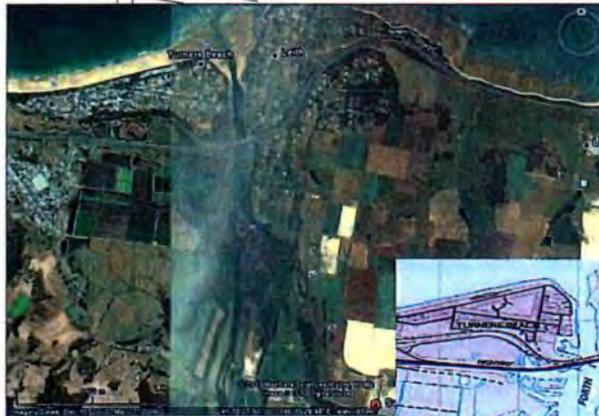
Doc. ID: 266454

GEOTECHNICAL ASSESSMENT

6 Davis St, Leith



March 2017



Introduction

Client: Megan and Chris Ross
Date of inspection: 02/02/17
Location: 6 Davis St, Leith
Land description: Approx 8052m² rural residential lot.
Building type: Proposed new dwelling
Investigation: Geo-Probe540UD
Inspected by: G. McDonald

Background information

Map: Mineral Resources Tasmania, Ulverstone sheet 1:25000
Rock type: Tertiary aged Basalt and Quaternary aged landslide deposits
Soil depth: Approx. 2+m
Planning overlays: Landslip Hazard – Medium Risk
Local meteorology: Annual rainfall approx 1000 mm
Local services: Mains water, onsite wastewater required.

Site conditions

Slope and aspect: Approx 11% to the West within the construction area
Site drainage: Moderately well drained
Vegetation: Pasture, weed and some native species
Weather conditions: Cloudy, approx <2mm rainfall received in preceding 7 days.
Ground surface: Slightly moist surface conditions

Geotechnical Assessment of site stability

Site and published geological information was integrated to complete a detailed geotechnical assessment of the site according to the principles outlined in AS1726-1993 *Geotechnical Site Investigations* and the *Australian Geomechanics Society* (2007).

Site location and context

The site is located in Leith on a steep west facing slope which lies between a higher basalt scarp and lower more recent quaternary sediments which terminate in the Forth River. The site is mapped as containing potentially unstable areas under the MRT 1:25000 Landslide Hazard Mapping Series (Mazengarb, 2010) and given the steep slope associated with the landform inherent land instability risks may be associated with site development. The proposed development has the main dwelling on the lower flat area on the western half of the block, with a proposed shed located towards the east (Appendix 2).

It is the scope of this assessment to consider:

- the risk of the proposed development contributing to land instability onsite or on neighbouring sites.
- the risk of land stability on neighbouring sites causing risk to any development onsite



Figure 1 – Site Location

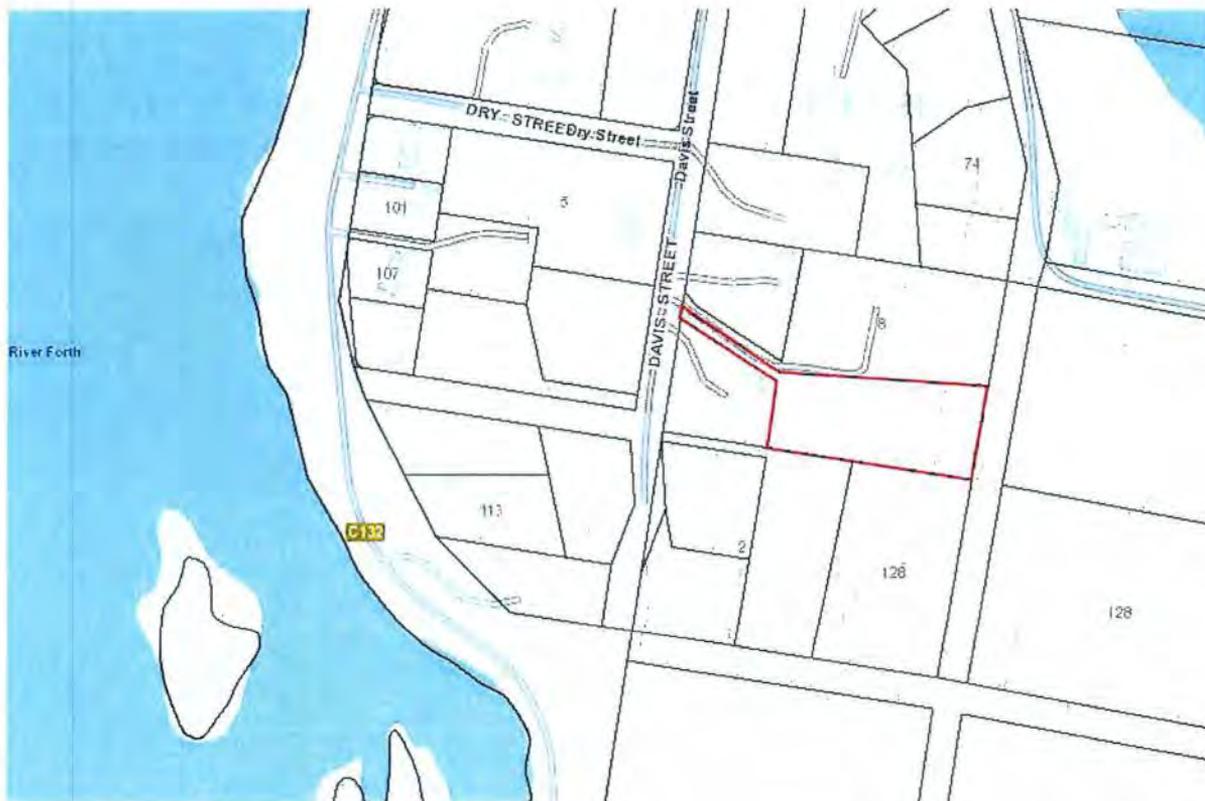


Figure 2 Site Location – Cadastral Parcel

Geological setting

The Mineral Resources Tasmanian Geological Map Series 1:25000 Ulverstone sheet shows the underlying geology of the area to consist of two related geological units. The first is highly weathered Tertiary Basalt which comprises the high scarp noted in the site location and context section above. The second is as well as Quaternary Landslide deposits predominantly derived from weathering of the Tertiary Basalt rock unit and denoted as Qxt. This is consistent with the field investigation of the site with unearthed highly weathered colluvial basalt rocks in a matrix of clays being observed at depth within bores. These basalt rocks have come from a large basalt flow associated with the escarpment to the east of the site rising to approximately 100 m AHD. It is from the face of this escarpment that landslides have occurred with basalt rocks within soil matrices moving downhill towards the west. These landslides have stabilised over time and the basalt rocks within it have further weathered thus developing the soil profile. It is noteworthy that research into the frequency of these events in the region has not been determined at this time which makes probability modelling in geotechnical risk assessments highly uncertain.

These soils are regolith material (ie loose heterogeneous material covering solid rock) the nature of the underlying bedrock beneath this landslide deposit is suspected to be a

combination of basalt bedrock at higher elevations and older Neo-proterozoic quartzwacke turbidite sequence of siltstone (denoted as Po) at lower elevations. The latter represents the older surface onto which the landslide has fallen and is represented extensively within the local region. This surface has been extensively uplifted and folded such that most bedding planes now slope downwards towards Bass Strait. As a result some of the overlying material has been incorporated into the upper levels of this older surface. The sedimentation processes controlling the development of the siltstone has created layers of differing density and hardness and consequently differential resistance to weathering. Some layers of these rocks are strongly consolidated whilst others were weak, relatively unconsolidated and highly weathered.

Published geological mapping of the immediate area indicates that it is not underlain by any fault lines where sediments may be weaker through fracturing. There were no significant indications of former instability observed on and adjacent to the site including slope benches, terracettes, as well as landslide crowns and toes.

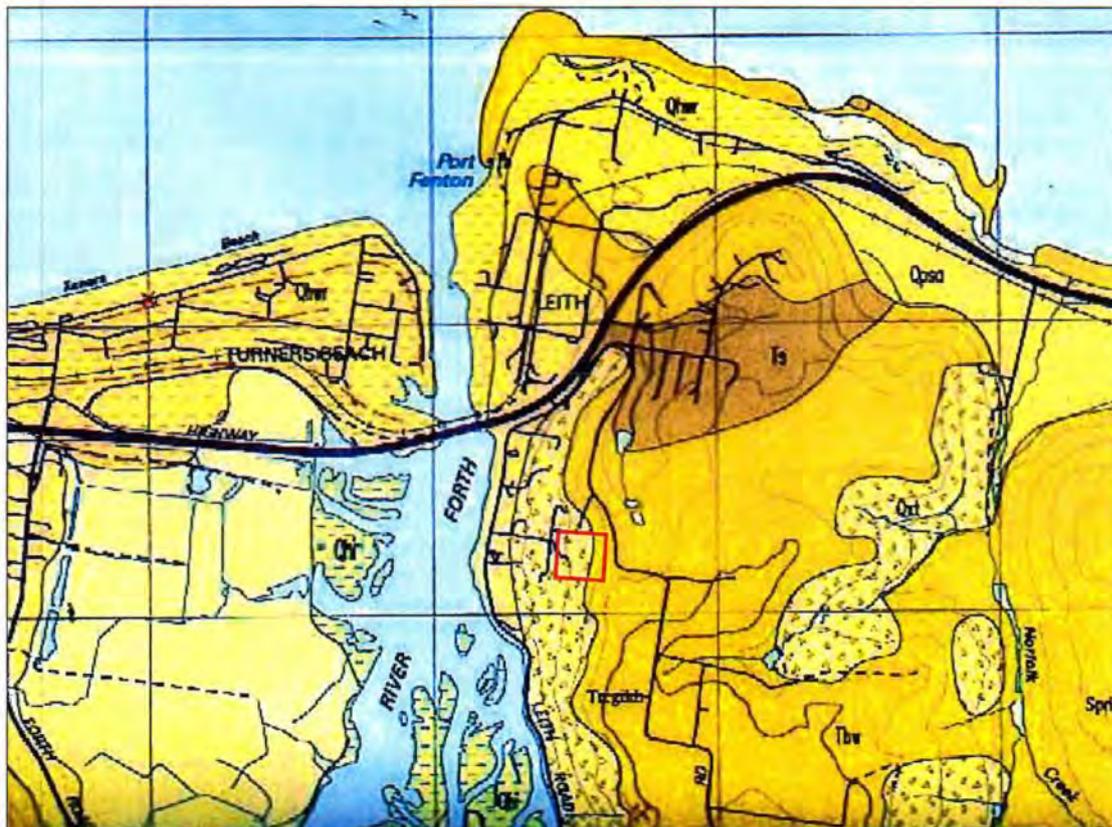


Figure 3 – Extract from Mineral Resources Tasmania 1:25000 Ulverstone Geological Sheet

Soils

Soil bore logs and their locations are shown in Appendix 3 with representative profiles described and samples taken for further analysis. Soils between bores were relatively uniform with respect to depth and horizon development and were not typical of landslide deposits with a lack of inter-banded rock, sand and clay stratigraphy indicative of previous instability. However, refusal was on relatively unweathered material which possibly indicates the presence of colluvial rock with neither bore revealing the deep weathering layers indicative of soils showing close geological association to underlying rock.

Linear shrinkage results across the site show moderate estimated design movement indicating highly reactive clay mineralogy in the 500-800mm natural soil horizon (estimated Y_s 40-50mm correlating to **Class H-1** under AS2870-2011). Soils will show a medium plasticity index between 25-35% requiring a moderate change in moisture content to affect conversion from solid to liquid states. Liquid limits are in the medium to high range of 50-65% indicating a good latent soil bearing potential and bearing capacity determination throughout this investigation showed subsoils below 600mm having moderate bearing capacities above 125Kpa.

Groundwater was not encountered through geotechnical drilling activities which is to be expected given the sites high relief in the localised landscape combined with site investigation occurring in summer. Management of surface and subsurface water is integral to the safe development of the site and is discussed in detail below.

Potential for landslip

Desktop Review

Landslide modelling by MRT has produced zones with distinct landslide risks shown in Figure 4 below. This models conceptual parameters to determine slope thresholds for geological units. The lower threshold, T_a (7 degrees for unconsolidated tertiary sediments), is the value below which the rock unit is unconditionally stable. The higher threshold, T_b (12 degrees for unconsolidated tertiary sediments), is an approximate median value at which landslides within in the study area occur.

Conceptual Diagram Illustrating Modelling Techniques for Identifying Landslide Hazard Zones

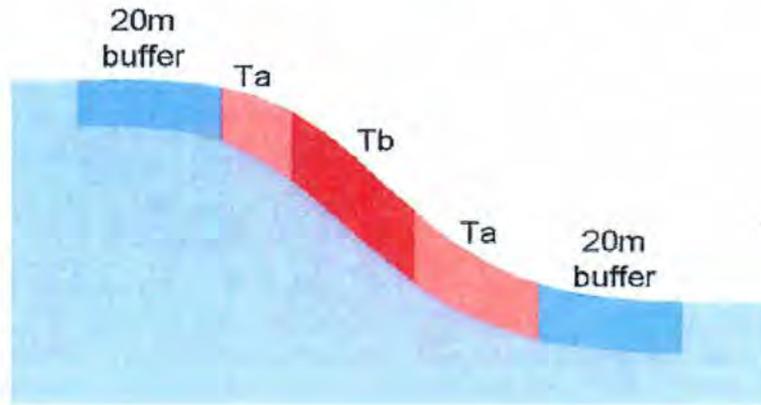


Figure 4 - Landslide zoning conceptual diagram (Mazengarb, 2004)

The site has a steep facing convex slope of up to 20° which is higher than both thresholds for slope instability for tertiary units. However it is noteworthy that the proposed buildings are located on the less steep area at the top of the site immediately down slope of Braddon's Lookout Road or the base of the slope both of which occupies the Ta/Buffer Zone areas (see exclusion zone on site plan in Appendix 2).

Reference was also made to the Tasmanian Landslide Stability Hazard Mapping Series 1:25000 Ulverstone-Kindred (Figure 5) published by Mineral Resources Tasmania and the previous report on the area of Ingles (2003). The site is mapped as Ancient Landslide Deposits with "morphological features that are typically subdued and have been modified by erosion processes" (indicated with green circles). Such deposits generally developed under different climatic conditions (or a change in climate conditions) thousands of years ago and are generally considered as dormant features but do have the potential for reactivation. It is noteworthy that there are several areas contained within this mapping unit that have "Recent-Active" status (indicated by red) the nearest of which is 500meters south of the site. At the time of this investigation no Advisory Landslide Zoning exists for the site.

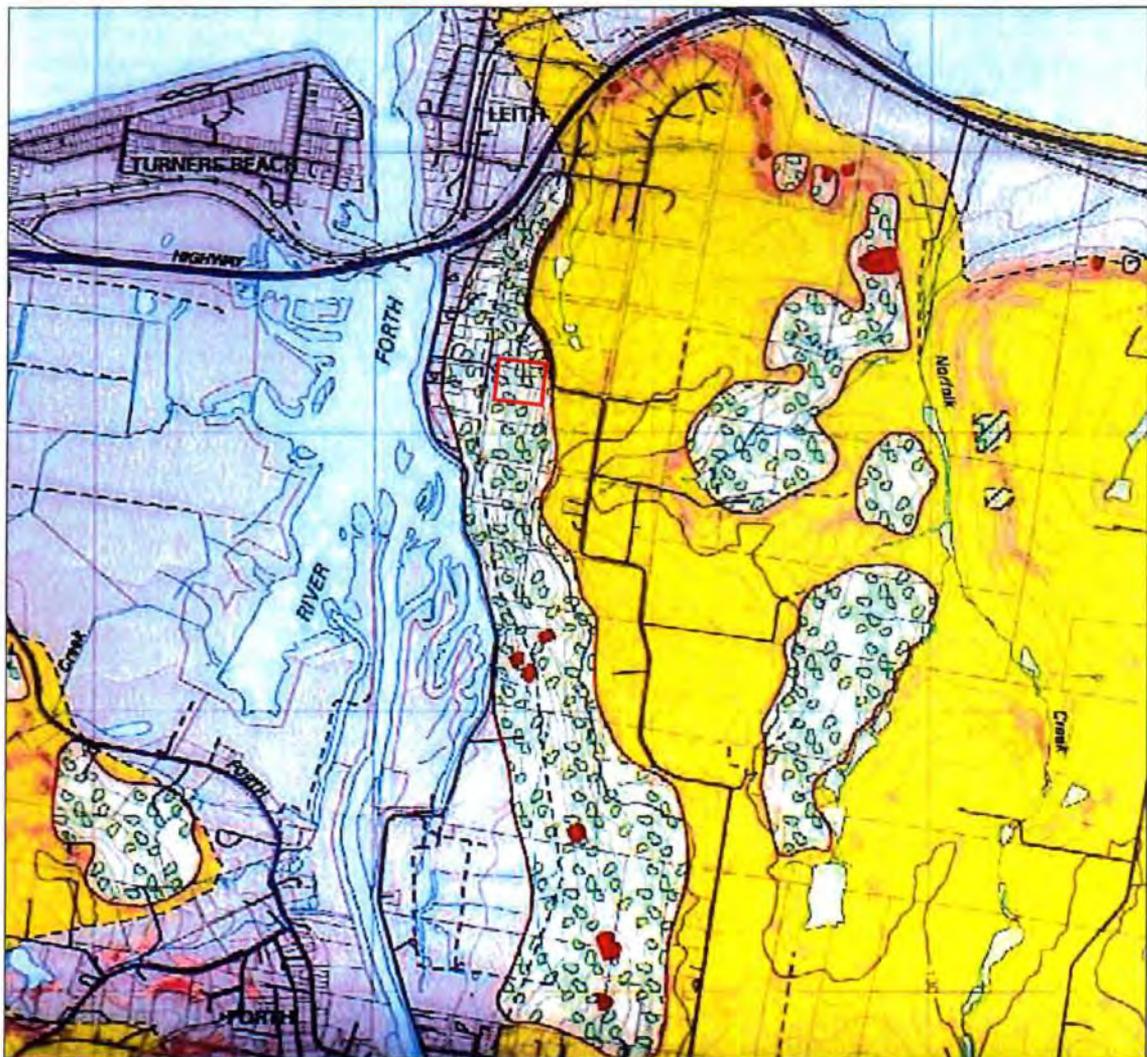


Figure 5. Landslide stability hazard map of the immediate area

Where landslide risk is present, ground movement is likely to occur from one of the following processes:

- **Deep Seated Landslides** – failures of geological units where the failure plane extends below any unmapped superficial soil or regolith material that may exist onsite usually exceeding 5 meters. This could occur due to down slope movement between beds of the underlying older bedrock and is considered unlikely. The potential for deep seated landslides on this site are significant, with internal movement of water over the contact between the regolith and bedrock having the potential to cause down slope movement of the entire soil column.
- **Debris Flows** – the action of boulders and finer material mixing with water after torrential rain and flowing down slope. Preferential flow

of water within the regolith material has the potential to cause washout and hence minor sliding or slumping.

- **Rockfalls** – an independent movement of rock or soil fragments through freefall, bouncing, rolling or sliding.

Field Reconnaissance

Geotechnical investigation of the site revealed that the average slope over the proposed development site was greater than the lower threshold for instability in Tertiary geological units. Geotechnical drilling found the existence of deep soils on site. At the time of investigation no groundwater was intercepted in soil bores however it is suspected that groundwater exists at significant depth onsite.

There was no evidence of historical landslide activity over the site both in bores as well as with surface morphological indicators of former instability such as transverse ridging, crowning, terracing, slumping or rotation.

The assessment of possible land instability has three possible risk classes; debris slide, deep seated movement, and rock fall hazard as well as

Potential for Deep Seated Landslides and Debris Flows

While hazard mapping has not been produced for each class of land instability within the region, the risk of the both deep seated and debris flows on site (or adjacent sites) is possible with increased site development and/or the mismanagement of water onsite. The existence of deep, stratified highly plastic clays on steep slopes can give rise to potential failure planes within the soil profile, which can move differentially and cause down slope movement of bulk sediments as translational landslides. This risk is heightened with extreme rainfall/groundwater flows further reducing soil shear strength and frictional forces between individual soil strata. The risk associated with these hazards, on both the subject sites as well as neighbouring properties, must be mitigated to acceptable levels for ongoing site development. Namely:

- Surface and groundwater must be captured and diverted away from the site through a series of surface and subsurface drains. These drains must be capable of dealing with peak loading associated with very adverse rainfall

events. Referring to the Bureau of Metrology data for daily peak rainfall events in Devonport since 1954, the highest daily rainfall recorded was on 19 March 1975 with a total of 70mm. This is significantly lower than the triggering value of 200mm/day used by Marzengarb, 2004. It is recommended that all site drainage, particularly storm water, have the capacity of dealing with the latter triggering value. This may require the augmentation of storm water guttering over the site given the existence of significant runoff surfaces and the plan to increase the roof area associated with the development plans. Failure of this guttering could lead to spill over onto the site. Furthermore any current stormwater drains running across the site must be checked for leaks and repaired if necessary.

- Further to this recommendation, all stormwater outlets must be connected as soon as rooves are sealed.
- Drainage of the ground surface and pavements must be designed to flow away from footing areas and towards stormwater discharge points.
- It is recommended that consideration be given to Water Sensitive Urban Design (WSUD) principles to minimise water accumulation from hard surfaces and potential weakening of sediments. This includes limitations being enforced upon gardening practices to limit irrigation.
- Landscaping should utilise deep rooted grass and ornamental species, but not large (>10m tree species) with shrubs or small tree species preferred for bulk landscaping
- Refer to Australian Geomechanics Practice note guidelines for Landslide Risk Management 2007 Appendix G – Some Guidelines for Hill Side Construction with particular reference to piling foundations onto underlying consolidated (not weathered) bedrock.
- Site cutting should be avoided on slopes and minimal excavation activities should occur over the site.

Potential for Rock falls

The risk of rock falls associated with the unexcavated land is considered low however soils on the site disturbed by construction and earthworks will increase risk through the liberation of boulders contained within soil profiles. As a result it is recommended that:

- Care should be taken in the removal, storage and disposal of boulders onsite during construction and earthworks to ensure that rock falls are not precipitated.
- Boulders should not be used for any construction purpose.
- All site cuts should be suitably stabilised with engineered retaining walls as soon as they are exposed in accordance with AS3798 – 2007 Guidelines for Earthworks on commercial and residential subdivision.

Potential for foundation movement

The steep slope and presence of highly reactive clay subsoils must be considered in the design of the footings, but both factors do not preclude the design of serviceable footings. Given the depth of the soils on site combined with this high reactivity the geotechnical risk relating to potential foundation movement is significant. As a result it is recommended that:

- The specifics of the required footings engineering design are beyond the scope and expertise of earth science professionals such that this report should form the basis of design solutions by an experienced structural engineer. Recommendations following Australian Geomechanics Society's Good Hillside Construction Practice for founding footings on bedrock should be followed.
- Where foundations are to be piled, piles should be driven into the underlying bedrock and may be designed to be frictional as well end bearing and compliant with *AS 2159-1995 – Piling Design and Installation*.
- All services and plumbing must be well maintained and regularly checked for leaks and defects which may change the soil moisture content immediately around the footings.
- Likewise all stormwater drains, guttering and downpipes should be free from obstructions.
- All landscaping adjacent to footings should be graded to divert water away from footing areas in line with recommendations for reactive clay sites in AS2870-2011 and the CSIRO in formation bulletin BTF-18.

The selection of appropriate trees and plants for gardens adjacent to footings is critical as vegetation can dry out soils or conversely can encourage irrigation and hence regular changes in soil moisture causing lateral surface movement and ultimately foundation cracking. It is therefore recommended that:

- Trees and shrubs should not be planted any closer to buildings than the distance of their mature height.
- The planting of large trees should be avoided and smaller ground covering shrubs promoted
- All vegetation currently existing down slope of the building envelopes should be retained.
- Mulches be used on garden beds to help maintain a constant soil moisture regime.
- The planting of trees, shrubs or plants with long and fibrous rooting systems near service pipes be avoided to minimise potential leakage.

Geotechnical Risk Assessment

The following quantitative risk assessment is based upon the Australian Geomechanics Society Sub-committee report (March 2007) Landslide Risk Management Concepts and Guidelines, Australian Geomechanics Journal 42 (1). The risk assessment has been undertaken for the most limiting hazard identified for the site – potential for Debris Flow Landslide and has been performed using the assumptions that the above recommendations have been adopted for the construction of future residential dwellings.

Landslide Risk Management Model

Adapted from AGS Sub-committee (March 2007) Landslide Risk Management Concepts and Guidelines. *Australian Geomechanics Journal* 42 (1)

Date 30/3/2017

Site 6 Davis Street Leith

Project Assessment of Slope Stability

Scoping Potential construction on Tertiary Basalt with slope angle > 12°

Hypothetical shallow (<5m deep) slide develops in soil on site

Hazard and risk to be quantified.

1. Hazard Identification

- | | |
|----------------------------------------------|-----------------------------------|
| a. Type of potential instability | Debris flow Landslide |
| b. Location | Within proposed building envelope |
| c. Estimated area affected (m ²) | 10 (5m across and 5 m down slope) |
| d. Estimated volume (m ³) | 250 (soil/sediments 5 m deep) |
| e. Initiating event(s) | Extreme heavy/prolonged rainfall |
| f. Estimated velocity of movement | Slow (5×10^{-5} mm/sec) |
| g. Estimated travel distance | 10m |

2. Frequency Analysis

- | | |
|-------------------------------------------|---------------------------|
| a. Estimated frequency of event (P_H) | 0.002 (1 in 500 yr event) |
| b. Justification of frequency | Minimal site disturbance |

3. Consequence Analysis

- | | |
|-----------------------------------------|-------------------------------------------------|
| a. Element at risk | Property, services & occupants |
| b. Value at risk (E) | \$300 000 (dwelling) |
| c. Temporal probability ($P_{T:S}$) | 0.5 (probability of occupation) |
| d. Property vulnerability ($V_{P:S}$) | 0.60 (proportion of property value lost) |
| e. Probability of effect ($P_{S:H}$) | 0.10 (probability of debris affecting building) |
| f. Human vulnerability ($V_{D:T}$) | 0.001 (probability of loss of life) |

4. Quantitative Risk Calculation

- | | |
|-----------------------------------------------------------------------------------------|-------------------------------------|
| a. Property [$R_{prop} = (P_H) \times (P_{S:H}) \times (V_{P:S}) \times (E)$] | = \$36(annual loss of dollar value) |
| b. Loss of life [$R_{DL} = (P_H) \times (P_{S:H}) \times (P_{T:S}) \times (V_{D:T})$] | = 1.0×10^{-7} |

5. Semi-quantitative risk estimation for property

- | | |
|----------------------------|--------------------------------------------|
| a. Likelihood of event | Level D- Unlikely (adverse conditions req) |
| b. Consequence to property | Level 3 – Medium (limited damage) |
| c. Combined level of risk | Low to Medium– risk acceptable |

6. Sensitivity Analysis

Most uncertainty surrounds frequency of event (item 2a)

7. Risk Evaluation (should the risk be accepted, reduced, avoided or rejected?)

From the assessment in 4a&4b the risk to life and property is acceptable

8. Risk Treatment

a. Options

- | | |
|---------------------|-----------------------------------------------|
| Accept risk | Recommended |
| Avoid risk | |
| Reduce likelihood | Yes – utilise drainage controls on site |
| Reduce consequences | yes – footing design based upon best practice |
| Transfer | |

b. Treatment Plan

Appropriately designed footings in line with best practice recommendations
 Installation of appropriate drainage surrounding dwelling
 Stormwater and wastewater correctly connected to council services
 Any site cuts to be adequately retained and fill minimised

c. Implement Plan

Yes

d. Monitoring

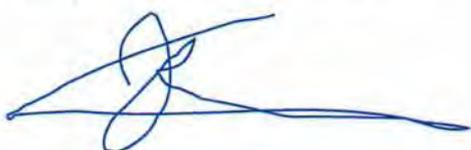
Project monitoring required – professional supervision of sensitive earthworks recommended

Conclusions

The geotechnical risk associated with development of the proposed building envelopes is classified as **low-medium** according to *Australian Geomechanics Society* Guidelines. The development is not expected to have any significant effect upon land stability on the subject or neighbouring properties provided that the recommendations contained within this report are followed. Namely:

- That adequate site drainage be installed capable of reticulating the landslide trigger value of 200mm per day and delivering the water to stormwater outlets.
- That all stormwater should be immediately directed to mains outlets upon the construction of hard surfaces to minimise any possible water accumulation and excess flows onto the steep slopes below
- That recommendations of the Australian Geomechanics Practice note guidelines for Landslide Risk Management 2007 Appendix G – Some guidelines for hill side construction be followed
- That site cutting/filling should be avoided.
- Careful attention should be paid to foundation design and drainage design to further eliminate the potential for foundation movement. This should occur after individual soil tests, compliant with AS2870-2011, to be commissioned at the buildings approvals stage.
- All earthworks on site must comply with AS3798-2007 and sediment and erosion control plan should be implemented on site during and after construction.

It is my opinion that the risk of land instability on either the subject site or neighbouring sites will not increase substantially as a result of development within the proposed building envelopes provided that current best practice for construction on sloping sites and soil and water management practices are followed as discussed in this report. Furthermore instability on adjacent sites is unlikely to have an impact upon any future development within the proposed building envelopes.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist

References

- AS1726-1993- Geotechnical Site Investigations
- AS2870-2011– Residential slabs and footings – construction
- AS1289.5.2.1 – Soil Testing for Engineering Purposes
- AS1289.6.1.1 Determination of Californian Bearing Ration of a Soil.
- AS3798 – 2007 “Guidelines for Earthworks on commercial and residential subdivision”
- AS 2159-1995 –Piling Design and Installation
- “Foundation Maintenance and Footing Performance: A Homeowners Guide” CSIRO Information sheet BTF 18
- Australian Geomechanics Society’s Good Hillside Construction Practice
- Australian Geomechanics Society Sub-committee report (2007) Landslide Risk Management Concepts and Guidelines. *Australian Geomechanics Journal* 42 (1) p49-92.
- Marzengarb, C (2004) Tasmanian Landslide Hazard Series Maps. Mineral Resources Tasmania. Department of Infrastructure, Energy and Resources Hobart.
- Bureau of Meteorology Website- Monthly Climate Statistics Burnie

Appendix 1 – AGS Geotechnical risk assessment terminology and Extracts from Good Hillside Practice

Geotechnical Risk Assessment – Example of Qualitative Terminology

Adapted from AGS Sub-committee (March 2007) Landslide Risk Management Concepts and Guidelines.

Australian Geomechanics Journal

Qualitative Measures of Likelihood

Level	Descriptor	Description	Indicative Annual Probability
A	Almost Certain	The event is expected to occur	$> \sim 10^{-1}$
B	Likely	The event will probably occur under adverse conditions	$\sim 10^{-2}$
C	Possible	The event could occur under adverse conditions	$\sim 10^{-3}$
D	Unlikely	The event might occur under very adverse circumstances	$\sim 10^{-4}$
E	Rare	The event is conceivable only under exceptional circumstances	$\sim 10^{-5}$
F	Not Credible	The event is inconceivable or fanciful	$\sim 10^{-6}$

Note: “~” means approximate

Qualitative Measures of Consequences to Property/Element at risk

Level	Descriptor	Description
1	Catastrophic	Structure completely destroyed or large scale damage requiring major engineering works for stabilization.
2	Major	Extensive damage to most of structure, or extending beyond site boundaries requiring significant stabilization works.
3	Medium	Moderate damage to some of structure, or significant part of site requiring large remedial works.
4	Minor	Limited damage to part of structure or part of site requiring some reinstatement or remedial works.
5	Insignificant	Little damage or effect.

Note: The “Description” may be edited to suit a particular case.

Qualitative Risk Analysis Matrix – Level of Risk to Property/Element at Risk

Likelihood	Consequences to Property				
	1: Catastrophic	2: Major	3: Medium	4: Minor	5: Insignificant
A – Almost Certain	VH	VH	H	H	M
B – Likely	VH	H	H	M	L-M
C – Possible	H	H	M	L-M	VL-L
D – Unlikely	M-H	M	L-M	VL-L	VL
E – Rare	M-L	L-M	VL-L	VL	VL
F – Not Credible	VL	VL	VL	VL	VL

Risk Level Implications

Risk Level	Example Implications
VH Very High Risk	Extensive detailed investigation and research, planning and implementation of treatment options essential to reduce risk to acceptable levels; may be too expensive and not practical
H High Risk	Detailed investigation, planning and implementation of treatment option required to reduce risk to acceptable levels
M Moderate Risk	Tolerable provided treatment plan is implemented to maintain or reduce risks. May be acceptable. May require investigation and planning of treatment options.
L Low Risk	Usually acceptable. Treatment requirements and responsibility to be defined to maintain or reduce risks.
VL Very Low Risk	Acceptable. Manage by normal site maintenance procedures.

- Notes: (1) The implications for a particular situation are to be determined by all parties to the risk assessment; these are only given as a general guide.
 (2) Judicious use of dual descriptors for likelihood, Consequence and Risk to reflect the uncertainty of the estimate may be appropriate in some case

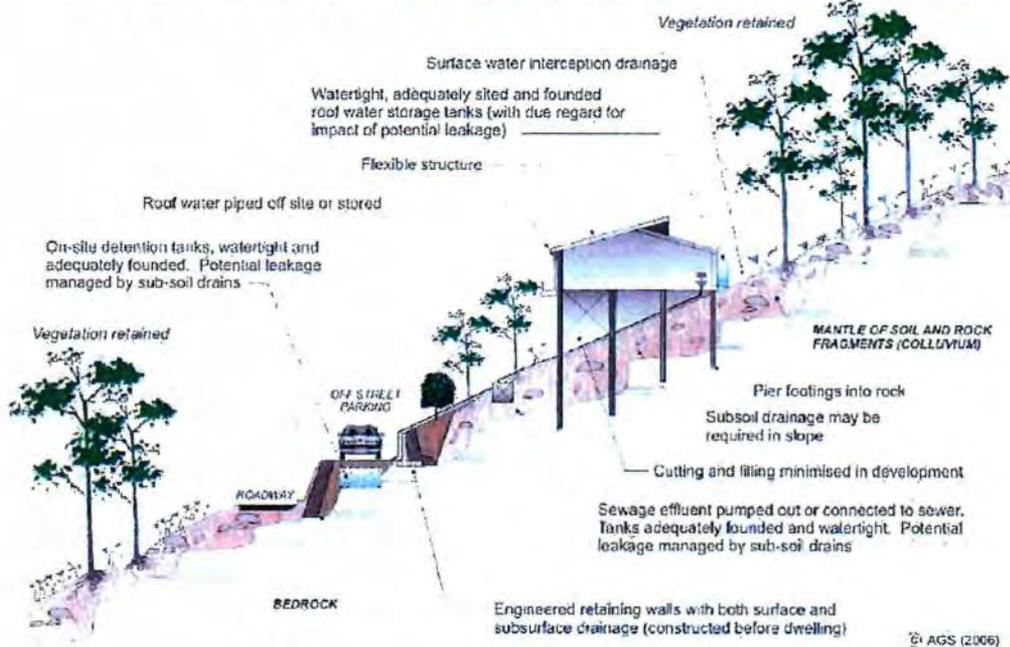
PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007

APPENDIX G - SOME GUIDELINES FOR HILLSIDE CONSTRUCTION

<i>GOOD ENGINEERING PRACTICE</i>		<i>POOR ENGINEERING PRACTICE</i>
ADVICE		
GEOTECHNICAL ASSESSMENT	Obtain advice from a qualified, experienced geotechnical practitioner at early stage of planning and before site works.	Prepare detailed plan and start site works before geotechnical advice.
PLANNING		
SITE PLANNING	Having obtained geotechnical advice, plan the development with the risk arising from the identified hazards and consequences in mind.	Plan development without regard for the Risk.
DESIGN AND CONSTRUCTION		
HOUSE DESIGN	Use flexible structures which incorporate properly designed brickwork, timber or steel frames, timber or panel cladding. Consider use of split levels. Use decks for recreational areas where appropriate.	Floor plans which require extensive cutting and filling. Movement intolerant structures.
SITE CLEARING	Retain natural vegetation wherever practicable.	Indiscriminately clear the site.
ACCESS & DRIVEWAYS	Satisfy requirements below for cuts, fills, retaining walls and drainage. Council specifications for grades may need to be modified. Driveways and parking areas may need to be fully supported on piers.	Excavate and fill for site access before geotechnical advice.
EARTHWORKS	Retain natural contours wherever possible.	Indiscriminatory bulk earthworks.
CUTS	Minimise depth. Support with engineered retaining walls or batter to appropriate slope. Provide drainage measures and erosion control.	Large scale cuts and benching. Unsupported cuts. Ignore drainage requirements
FILLS	Minimise height. Strip vegetation and topsoil and key into natural slopes prior to filling. Use clean fill materials and compact to engineering standards. Batter to appropriate slope or support with engineered retaining wall. Provide surface drainage and appropriate subsurface drainage.	Loose or poorly compacted fill, which if it fails, may flow a considerable distance including onto property below. Block natural drainage lines. Fill over existing vegetation and topsoil. Include stumps, trees, vegetation, topsoil, boulders, building rubble etc in fill.
ROCK OUTCROPS & BOULDERS	Remove or stabilise boulders which may have unacceptable risk. Support rock faces where necessary.	Disturb or undercut detached blocks or boulders.
RETAINING WALLS	Engineer design to resist applied soil and water forces. Found on rock where practicable. Provide subsurface drainage within wall backfill and surface drainage on slope above. Construct wall as soon as possible after cut/fill operation.	Construct a structurally inadequate wall such as sandstone flagging, brick or unreinforced blockwork. Lack of subsurface drains and weepholes.
FOOTINGS	Found within rock where practicable. Use rows of piers or strip footings orientated up and down slope. Design for lateral creep pressures if necessary. Backfill footing excavations to exclude ingress of surface water.	Found on topsoil, loose fill, detached boulders or undercut cliffs.
SWIMMING POOLS	Engineer designed. Support on piers to rock where practicable. Provide with under-drainage and gravity drain outlet where practicable. Design for high soil pressures which may develop on uphill side whilst there may be little or no lateral support on downhill side.	
DRAINAGE	Provide at tops of cut and fill slopes. Discharge to street drainage or natural water courses. Provide general falls to prevent blockage by siltation and incorporate silt traps. Line to minimise infiltration and make flexible where possible. Special structures to dissipate energy at changes of slope and/or direction.	Discharge at top of fills and cuts. Allow water to pond on bench areas.
SURFACE	Provide filter around subsurface drain. Provide drain behind retaining walls. Use flexible pipelines with access for maintenance. Prevent inflow of surface water.	Discharge roof runoff into absorption trenches.
SUBSURFACE	Usually requires pump-out or mains sewer systems; absorption trenches may be possible in some areas if risk is acceptable. Storage tanks should be water-tight and adequately founded.	Discharge sullage directly onto and into slopes. Use absorption trenches without consideration of landslide risk.
SEPTIC & SULLAGE	Control erosion as this may lead to instability. Revegetate cleared area.	Failure to observe earthworks and drainage recommendations when landscaping.
EROSION CONTROL & LANDSCAPING		
DRAWINGS AND SITE VISITS DURING CONSTRUCTION		
DRAWINGS	Building Application drawings should be viewed by geotechnical consultant	
SITE VISITS	Site Visits by consultant may be appropriate during construction/	
INSPECTION AND MAINTENANCE BY OWNER		
OWNER'S RESPONSIBILITY	Clean drainage systems; repair broken joints in drains and leaks in supply pipes. Where structural distress is evident see advice. If seepage observed, determine causes or seek advice on consequences.	

PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007

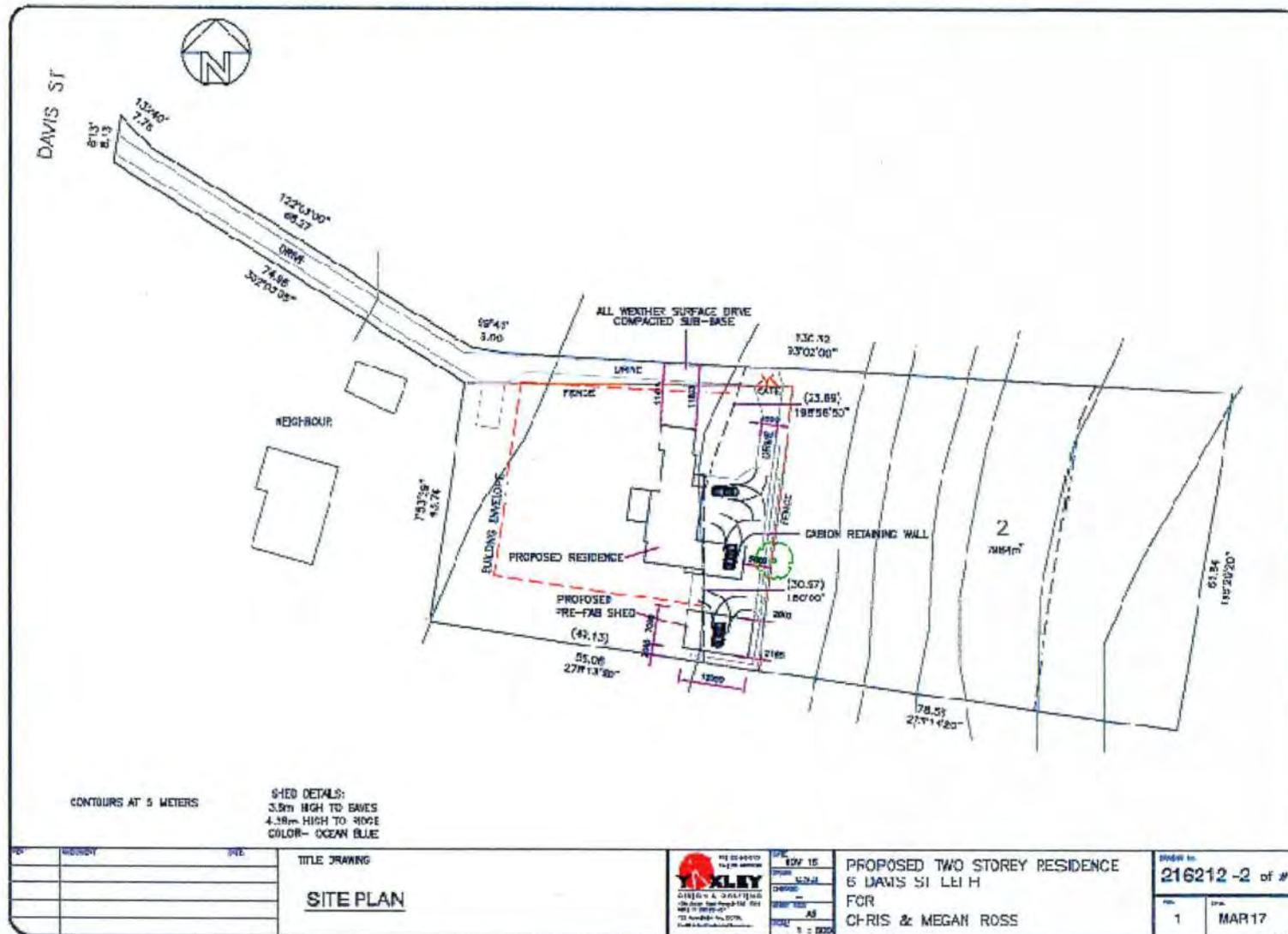
EXAMPLES OF **GOOD** HILLSIDE PRACTICE



EXAMPLES OF **POOR** HILLSIDE PRACTICE



Appendix 2 – Proposed Site and Development Plans



Appendix 3 Bore Logs

Profile summary

Hole 1 Depth (m) Wastewater	Horizon	Description
0.0 – 0.20	A1	Brown Clayey SAND (SC) , weak polyhedral structure, slightly moist, dense consistency, gradual boundary to
0.20 – 0.90	B2	Strong Brown CLAY (CL) , strongly developed polyhedral structure, slightly moist, stiff consistency, medium plasticity, gradual boundary to
	B2 ₁	Strong Brown and Brown CLAY (CL) , weak polyhedral structure, slightly moist, stiff consistency, medium plasticity, charcoal fragments, ~10% gravels, lower boundary undefined
0.90-2.00+	B2 ₁	Strong Brown with Yellowish Brown lenses CLAY (CL) , moderate polyhedral structure, slightly moist, stiff to hard consistency, medium plasticity, trace of gravels, lower boundary undefined.

Profile summary 2

Hole 2 Depth (m) House	Horizon	Description
0.0 – 0.10	A1	Brown Clayey SAND (SC) , weak polyhedral structure, slightly moist, dense consistency, gradual boundary to
0.10 – 0.90	B2	Strong Brown CLAY (CL) , strongly developed polyhedral structure, slightly moist, stiff consistency, medium plasticity, gradual boundary to
	B2 ₁	Strong Brown and Brown CLAY (CL) , weak polyhedral structure, slightly moist, stiff consistency, medium plasticity, charcoal fragments, ~10% gravels, lower boundary undefined
0.90-2.00+	B2 ₁	Strong Brown with Yellowish Brown lenses CLAY (CL) , moderate polyhedral structure, slightly moist, stiff to hard consistency, medium plasticity, trace of gravels, lower boundary undefined.

Profile summary 3

Hole 3	Horizon	Description
Depth (m) House		
0.0 – 0.10	A1	Brown Clayey SAND (SC) , weak polyhedral structure, slightly moist, dense consistency, gradual boundary to
0.10 – 0.80	B2	Strong Brown CLAY (CL) , strongly developed polyhedral structure, slightly moist, stiff consistency, medium plasticity, gradual boundary to
0.80-2.00+	B2 ₁	Strong Brown and Brown CLAY (CL) , weak polyhedral structure, slightly moist, stiff consistency, medium plasticity, charcoal fragments, ~10% gravels, lower boundary undefined
	B2 ₁	Strong Brown with Yellowish Brown lenses CLAY (CL) , moderate polyhedral structure, slightly moist, stiff to hard consistency, medium plasticity, trace of gravels, lower boundary undefined.

Introduction

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Client: Alison Campbell
Date of inspection: 1/6/11
Location: 54 Braddons Lookout Road, Ulverstone
Land description: Approx 1.90 ha lot.
Building type: Proposed new dwelling and boundary adjustment
Investigation: 50 mm core sampler
Inspected by: Mark Barnett (Tasmanian Field Exploration)

Received: 24 FEB 2017
Application No: DA216167
Doc. ID: 266454

Background information

Map: Mineral Resources Tasmania, Ulverstone sheet 1:25000
Rock type: Tertiary aged Basalt and Quaternary aged landslide deposits
Soil depth: approx. 4+m (possible refusal on colluvial rock)
Landslide zoning: Unzoned however mapped as Ancient (fossil) landslide (Mazengarb, 2004)
Local meteorology: Annual rainfall approx 1000 mm
Local services: Reticulated water and services on site.

Site conditions

Slope and aspect: Variable moderate to steep slope, 20-45% to the West
Site drainage: Good fall, moderate subsoil drainage
Vegetation: Pasture, weed and some native species
Weather conditions: Fine, approx 10mm rainfall received in preceding 7 days.
Ground surface: Dry surface conditions

Geotechnical Assessment of site stability

Site and published geological information was integrated to complete a detailed geotechnical assessment of the site according to the principles outlined in AS1726-1993 *Geotechnical Site Investigations* and the *Australian Geomechanics Society* (2007).

Site location and context

The site is located in Leith on a steep west facing slope which lies between a higher basalt scarp and lower more recent quaternary sediments which terminate in the Forth River. The site is mapped as containing potentially unstable areas under the MRT 1:25000 Landslide Hazard Mapping Series (Mazengarb, 2010) and given the steep slope associated with the landform inherent land instability risks may be associated with site development. For the purposes of this investigation it is proposed that building envelopes be located at either the top of the site or on the lower flat area as approximately indicated in Appendix 2.

It is the scope of this assessment to consider:

- the risk of future development within the proposed envelope contributing to land instability onsite or on neighbouring sites.
- the risk of land stability on neighbouring sites causing risk to any development onsite



Figure 1 – Site Location

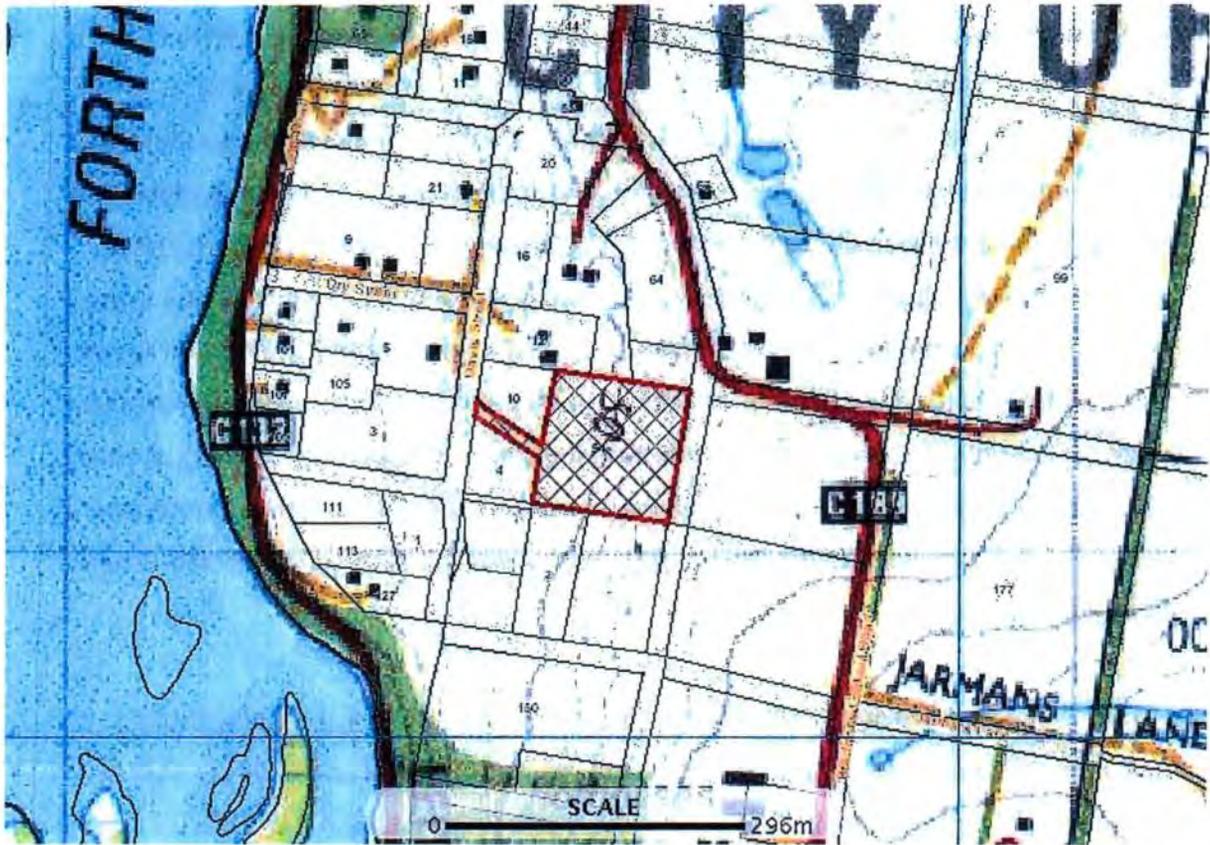


Figure 2 Site Location – Cadastral Parcel

Geological setting

The Mineral Resources Tasmanian Geological Map Series 1:25000 Ulverstone sheet shows the underlying geology of the area to consist of two related geological units. The first is highly weathered Tertiary Basalt which comprises the high scarp noted in the site location and context section above. The second is as well as Quaternary Landslide deposits predominantly derived from weathering of the Tertiary Basalt rock unit and denoted as Qxt. This is consistent with the field investigation of the site with unearthed highly weathered colluvial basalt rocks in a matrix of clays being observed at depth within bores. These basalt rocks have come from a large basalt flow associated with the escarpment to the east of the site rising to approximately 100 m AHD. It is from the face of this escarpment that landslides have occurred with basalt rocks within soil matrices moving downhill towards the west. These landslides have stabilised over time and the basalt rocks within it have further weathered thus developing the soil profile. It is noteworthy that research into the frequency of these events in the region has not been determined at this time which makes probability modelling in geotechnical risk assessments highly uncertain.

These soils are regolith material (ie loose heterogeneous material covering solid rock) the nature of the underlying bedrock beneath this landslide deposit is suspected to be a combination of basalt bedrock at higher elevations and older Neo-proterozoic quartzwacke turbidite sequence of siltstone (denoted as Po) at lower elevations. The latter represents the older surface onto which the landslide has fallen and is represented extensively within the local region. This surface has been extensively uplifted and folded such that most bedding planes now slope downwards towards Bass Strait. As a result some of the overlying material has been incorporated into the upper levels of this older surface. The sedimentation processes controlling the development of the siltstone has created layers of differing density and hardness and consequently differential resistance to weathering. Some layers of these rocks are strongly consolidated whilst others were weak, relatively unconsolidated and highly weathered.

Published geological mapping of the immediate area indicates that it is not underlain by any fault lines where sediments may be weaker through fracturing. There were no significant indications of former instability observed on and adjacent to the site including slope benches, terracettes, as well as landslide crowns and toes.



Figure 3 – Extract from Mineral Resources Tasmania 1:25000 Ulverstone Geological Sheet

Soils

Soil bore logs and their locations are shown in Appendix 3. From these logs representative profiles were described and samples taken for further analysis. Soils between bores were relatively uniform with respect to depth and horizon development and were not typical of landslide deposits with a lack of inter-banded rock, sand and clay stratigraphy indicative of previous instability. However, refusal was on relatively unweathered material which possibly indicates the presence of colluvial rock with neither bore revealing the deep weathering layers indicative of soils showing close geological association to underlying rock.

Linear shrinkage results across the site show moderate estimated design movement indicating highly reactive clay mineralogy in the 500-800mm natural soil horizon (estimated Y_s 40-50mm correlating to **Class H-1** under AS2870-2011). Soils will show a medium plasticity index between 25-35% requiring a moderate change in moisture content to affect conversion from solid to liquid states. Liquid limits are in the medium to high range of 50-65% indicating a good latent soil bearing potential and bearing capacity determination throughout this investigation showed subsoils below 600mm having moderate bearing capacities above 125Kpa.

Groundwater was not encountered through geotechnical drilling activities which is to be expected given the sites high relief in the localised landscape combined with site investigation occurring in summer. Management of surface and subsurface water is integral to the safe development of the site and is discussed in detail below.

Potential for landslip

Desktop Review

Landslide modelling by MRT has produced zones with distinct landslide risks shown in Figure 1 below. This models conceptual parameters to determine slope thresholds for geological units. The lower threshold, T_a (7 degrees for unconsolidated tertiary sediments), is the value below which the rock unit is unconditionally stable. The higher threshold, T_b (12 degrees for unconsolidated tertiary sediments), is an approximate median value at which landslides within in the study area occur.

Conceptual Diagram Illustrating Modelling Techniques for Identifying Landslide Hazard Zones

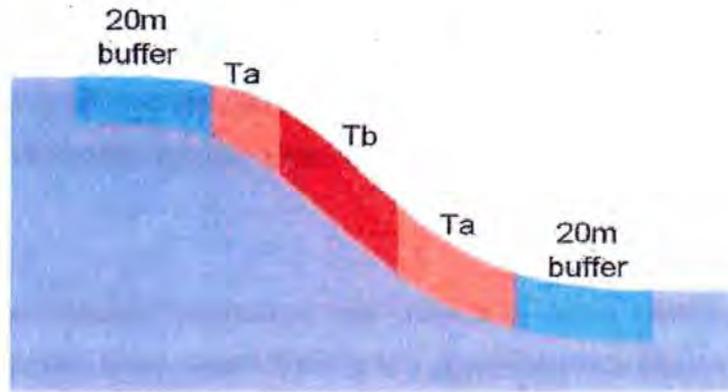


Figure 4 - Landslide zoning conceptual diagram (Mazengarb, 2004)

The site has a steep facing convex slope of up to 20° which is higher than both thresholds for slope instability for tertiary units. However it is noteworthy that the proposed building envelopes are located on the less steep area at the top of the site immediately down slope of Braddon's Lookout Road or the base of the slope both of which occupies the Ta/Buffer Zone areas (see exclusion zone on site plan in appendix 2).

Reference was also made to the Tasmanian Landslide Stability Hazard Mapping Series 1:25000 Ulverstone-Kindred (Figure 4) published by Mineral Resources Tasmania and the previous report on the area of Ingles (2003). The site is mapped as Ancient Landslide Deposits with "morphological features that are typically subdued and have been modified by erosion processes" (indicated with green circles). Such deposits generally developed under different climatic conditions (or a change in climate conditions) thousands of years ago and are generally considered as dormant features but do have the potential for reactivation. It is noteworthy that there are several areas contained within this mapping unit that have "Recent-Active" status (indicated by red) the nearest of which is 500meters south of the site. At the time of this investigation no Advisory Landslide Zoning exists for the site.

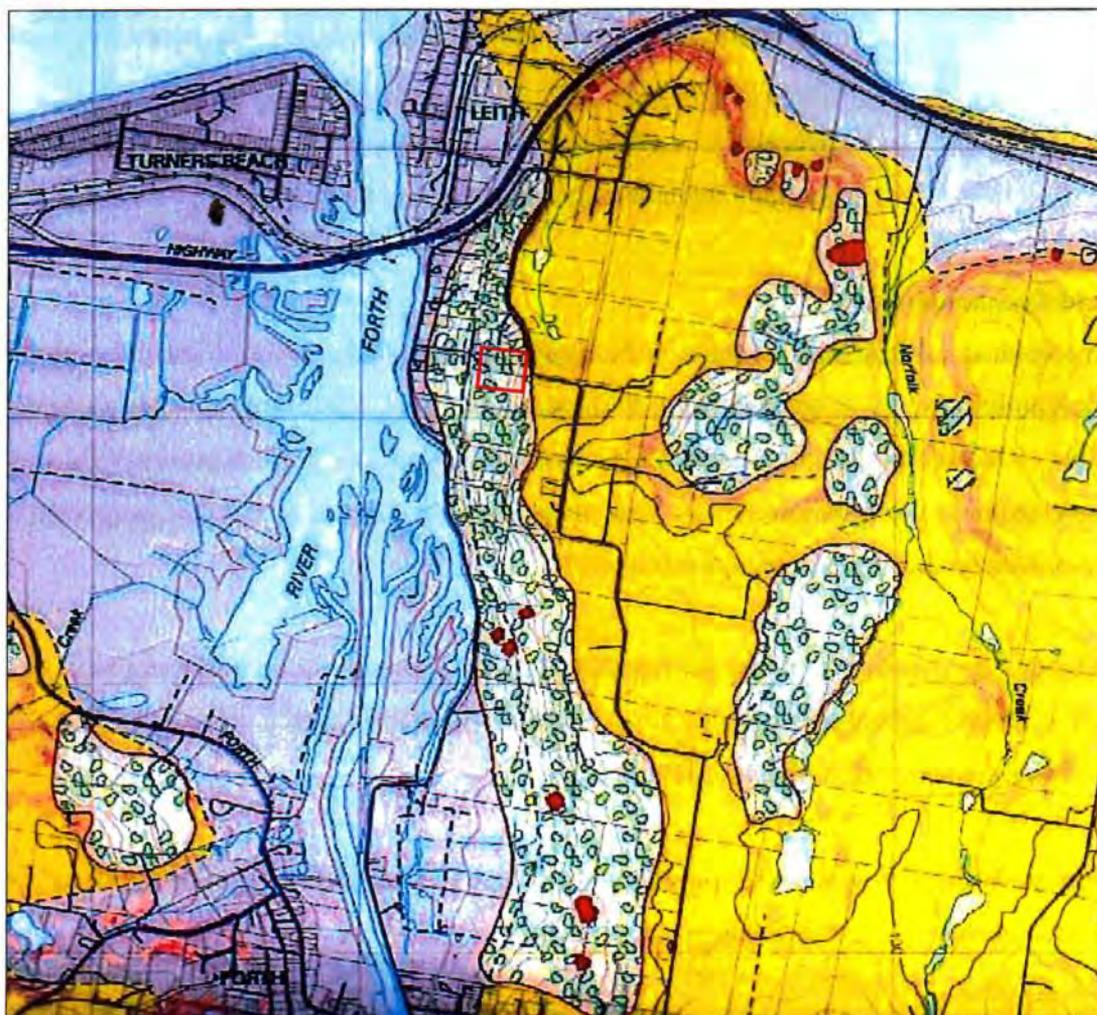


Figure 5. Landslide stability hazard map of the immediate area

Where landslide risk is present, ground movement is likely to occur from one of the following processes:

- **Deep Seated Landslides** – failures of geological units where the failure plane extends below any unmapped superficial soil or regolith material that may exist onsite usually exceeding 5 meters. This could occur due to down slope movement between beds of the underlying older bedrock and is considered unlikely. The potential for deep seated landslides on this site are significant, with internal movement of water over the contact between the regolith and bedrock having the potential to cause down slope movement of the entire soil column.
- **Debris Flows** – the action of boulders and finer material mixing with water after torrential rain and flowing down slope. Preferential flow

of water within the regolith material has the potential to cause washout and hence minor sliding or slumping.

- **Rockfalls** – an independent movement of rock or soil fragments through freefall, bouncing, rolling or sliding.

Field Reconnaissance

Geotechnical investigation of the site revealed that the average slope over the proposed development site was greater than the lower threshold for instability in Tertiary geological units. Geotechnical drilling found the existence of deep soils on site however at the time of investigation no groundwater was intercepted in soil bores and it is suspected that groundwater exists at significant depth onsite.

There was no evidence of historical landslide activity over the site both in bores as well as with surface morphological indicators of former instability such as transverse ridging, crowning, terracing, slumping or rotation.

The assessment of possible land instability has three possible risk classes; debris slide, deep seated movement, and rock fall hazard as well as

Potential for Deep Seated Landslides and Debris Flows

Whilst hazard mapping has not been produced for each class of land instability within the region, the risk of the both deep seated and debris flows on site (or adjacent sites) is possible with increased site development and/or the mismanagement of water onsite. The existence of deep, stratified highly plastic clays on steep slopes can give rise to potential failure planes within the soil profile, which can move differentially and cause down slope movement of bulk sediments as translational landslides. This risk is heightened with extreme rainfall/groundwater flows further reducing soil shear strength and frictional forces between individual soil strata. The risk associated with these hazards, on both the subject sites as well as neighbouring properties, must be mitigated to acceptable levels for ongoing site development. Namely:

- That surface and groundwater must be captured and diverted away from the site through a series of surface and subsurface drains. These drains must be capable of dealing with peak loading associated with very adverse rainfall

events. Referring to the Bureau of Metrology data for daily peak rainfall events in Devonport since 1954, the highest daily rainfall recorded was on 19 March 1975 with a total of 70mm. This is significantly lower than the triggering value of 200mm/day used by Marzengarb, 2004. It is recommended that all site drainage, particularly storm water, have the capacity of dealing with the latter triggering value. This may require the augmentation of storm water guttering over the site given the existence of significant runoff surfaces and the plan to increase the roof area associated with the development plans. Failure of this guttering could lead to spill over onto the site. Furthermore any current stormwater drains running across the site must be checked for leaks and repaired if necessary.

- Further to this recommendation, all stormwater outlets must be connected as soon as rooves are sealed.
- Drainage of the ground surface and pavements must be designed to flow away from footing areas and towards stormwater discharge points.
- It is recommended that consideration be given to Water Sensitive Urban Design (WSUD) principles to minimise water accumulation from hard surfaces and potential weakening of sediments. This includes limitations being enforced upon gardening practices to limit irrigation.
- Landscaping should utilise deep rooted grass and ornamental species, but not large (>10m tree species) with shrubs or small tree species preferred for bulk landscaping
- Refer to Australian Geomechanics Practice note guidelines for Landslide Risk Management 2007 Appendix G – Some Guidelines for Hill Side Construction with particular reference to piling foundations onto underlying consolidated (not weathered) bedrock.
- Site cutting should be avoided on slopes and minimal excavation activities should occur over the site.

Potential for Rock falls

The risk of rock falls associated with the unexcavated land is considered low however soils on the site disturbed by construction and earthworks will increase risk through the liberation of boulders contained within soil profiles. As a result it is recommended that:

- Care should be taken in the removal, storage and disposal of boulders onsite during construction and earthworks to ensure that rock falls are not precipitated.
- Boulders should not be used for any construction purpose.
- All site cuts should be suitably stabilised with engineered retaining walls as soon as they are exposed in accordance with AS3798 – 2007 Guidelines for Earthworks on commercial and residential subdivision.

Potential for foundation movement

The steep slope and presence of highly reactive clay subsoils must be considered in the design of the footings, but both factors do not preclude the design of serviceable footings. Given the depth of the soils on site combined with this high reactivity the geotechnical risk relating to potential foundation movement is significant. As a result it is recommended that:

- The specifics of the required footings engineering design are beyond the scope and expertise of earth science professionals such that this report should form the basis of design solutions by an experienced structural engineer. Recommendations following Australian Geomechanics Society's Good Hillside Construction Practice for founding footings on bedrock should be followed.
- Where foundations are to be piled, piles should be driven into the underlying bedrock and may be designed to be frictional as well end bearing and compliant with *AS 2159-1995 – Piling Design and Installation*.
- All services and plumbing must be well maintained and regularly checked for leaks and defects which may change the soil moisture content immediately around the footings.
- Likewise all stormwater drains, guttering and downpipes should be free from obstructions.
- All landscaping adjacent to footings should be graded to divert water away from footing areas in line with recommendations for reactive clay sites in AS2870-1996 and the CSIRO in formation bulletin BTF-18.

The selection of appropriate trees and plants for gardens adjacent to footings is critical as vegetation can dry out soils or conversely can encourage irrigation and hence regular changes in soil moisture causing lateral surface movement and ultimately foundation cracking. It is therefore recommended that:

- Trees and shrubs should not be planted any closer to buildings than the distance of their mature height.
- The planting of large trees should be avoided and smaller ground covering shrubs promoted
- All vegetation currently existing down slope of the building envelopes should be retained.
- Mulches be used on garden beds to help maintain a constant soil moisture regime.
- The planting of trees, shrubs or plants with long and fibrous rooting systems near service pipes be avoided to minimise potential leakage.

Geotechnical Risk Assessment

The following quantitative risk assessment is based upon the Australian Geomechanics Society Sub-committee report (March 2007) Landslide Risk Management Concepts and Guidelines. Australian Geomechanics Journal 42 (1). The risk assessment has been undertaken for the most limiting hazard identified for the site – potential for Debris Flow Landslide and has been performed using the assumptions that the above recommendations have been adopted for the construction of future residential dwellings.

Landslide Risk Management Model

Adapted from AGS Sub-committee (March 2007) Landslide Risk Management Concepts and Guidelines. *Australian Geomechanics Journal* 42 (1)

Date 12/8/12

Site Braddons Lookout Road Leith

Project Assessment of Slope Stability

Scoping Potential construction on Tertiary Basalt with slope angle >12°
Hypothetical shallow (<5m deep) slide develops in soil on site
Hazard and risk to be quantified.

1. Hazard Identification

- | | |
|---------------------------------------------|------------------------------------|
| a. Type of potential instability | Debris flow Landslide |
| b. Location | Within proposed building envelope |
| c. Estimated area affected(m ²) | 10 (5m across and 5 m down slope) |
| d. Estimated volume (m ³) | 250 (soil/sediments 5 m deep) |
| e. Initiating event(s) | Extreme heavy/prolonged rainfall |
| f. Estimated velocity of movement | Slow (5 x 10 ⁻⁵ mm/sec) |
| g. Estimated travel distance | 10m |

2. Frequency Analysis

- | | |
|---------------------------------------------------|---------------------------|
| a. Estimated frequency of event (P _H) | 0.002 (1 in 500 yr event) |
| b. Justification of frequency | Minimal site disturbance |

3. Consequence Analysis

- | | |
|-----------------------------------------------|-------------------------------------------------|
| a. Element at risk | Property, services & occupants |
| b. Value at risk (E) | \$300 000 (dwelling) |
| c. Temporal probability (P _{T:S}) | 0.5 (probability of occupation) |
| d. Property vulnerability (V _{P:S}) | 0.60 (proportion of property value lost) |
| e. Probability of effect (P _{S:H}) | 0.10 (probability of debris affecting building) |
| f. Human vulnerability (V _{D:T}) | 0.001 (probability of loss of life) |

4. Quantitative Risk Calculation

- | | |
|-------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| a. Property [R _{prop} = (P _H) x (P _{S:H}) x (V _{P:S}) x (E)] | = \$36(annual loss of dollar value) |
| b. Loss of life [R _{DI} = (P _H) x (P _{S:H}) x (P _{T:S}) x (V _{D:T})] | = 1.0 x 10 ⁻⁷ |

5. Semi-quantitative risk estimation for property

- | | |
|----------------------------|--------------------------------------------|
| a. Likelihood of event | Level D- Unlikely (adverse conditions req) |
| b. Consequence to property | Level 3 – Medium (limited damage) |
| c. Combined level of risk | Low to Medium– risk acceptable |

6. Sensitivity Analysis

Most uncertainty surrounds frequency of event (item 2a)

7. Risk Evaluation (should the risk be accepted, reduced, avoided or rejected?)

From the assessment in 4a&4b the risk to life and property is acceptable

8. Risk Treatment

a. Options

- | | |
|---------------------|-----------------------------------------------|
| Accept risk | Recommended |
| Avoid risk | |
| Reduce likelihood | Yes – utilise drainage controls on site |
| Reduce consequences | yes – footing design based upon best practice |
| Transfer | |

b. Treatment Plan

Appropriately designed footings in line with best practice recommendations
Installation of appropriate drainage surrounding dwelling
Stormwater and wastewater correctly connected to council services
Any site cuts to be adequately retained and fill minimised

c. Implement Plan

Yes

d. Monitoring

Project monitoring required – professional supervision of sensitive earthworks recommended

Conclusions

The geotechnical risk associated with development of the proposed building envelopes is classified as **low-medium** according to *Australian Geomechanics Society* Guidelines. The development is not expected to have any significant effect upon land stability on the subject or neighbouring properties provided that the recommendations contained within this report are followed. Namely:

- That adequate site drainage be installed capable of reticulating the landslide trigger value of 200mm per day and delivering the water to stormwater outlets.
- That all stormwater should be immediately directed to mains outlets upon the construction of hard surfaces to minimise any possible water accumulation and excess flows onto the steep slopes below
- That recommendations of the Australian Geomechanics Practice note guidelines for Landslide Risk Management 2007 Appendix G – Some guidelines for hill side construction be followed
- That site cutting/filling should be avoided.
- Careful attention should be paid to foundation design and drainage design to further eliminate the potential for foundation movement. This should occur after individual soil tests, compliant with AS2870-2012, to be commissioned at the buildings approvals stage.
- All earthworks on site must comply with AS3798-2007 and sediment and erosion control plan should be implemented on site during and after construction.

It is my opinion that the risk of land instability on either the subject site or neighbouring sites will not increase substantially as a result of development within the proposed building envelopes provided that current best practice for construction on sloping sites and soil and water management practices are followed as discussed in this report. Furthermore instability on adjacent sites is unlikely to have an impact upon any future development within the proposed building envelopes.



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Environmental and Engineering Soil Scientist

References

- AS1726-1993- Geotechnical Site Investigations
- AS2870-1996– Residential slabs and footings – construction
- AS1289.5.2.1 – Soil Testing for Engineering Purposes
- AS1289.6.1.1 Determination of Californian Bearing Ration of a Soil.
- AS3798 – 2007 “Guidelines for Earthworks on commercial and residential subdivision”
- AS 2159-1995 –Piling Design and Installation
- “Foundation Maintenance and Footing Performance: A Homeowners Guide” CSIRO Information sheet BTF 18
- Australian Geomechanics Society’s Good Hillside Construction Practice
- Australian Geomechanics Society Sub-committee report (2007) Landslide Risk Management Concepts and Guidelines. *Australian Geomechanics Journal* 42 (1) p49-92.
- Marzengarb, C (2004) Tasmanian Lanslide Hazard Series Maps. Mineral Resources Tasmania. Department of Infrastructure, Energy and Resources Hobart.
- Bureau of Meteorology Website- Monthly Climate Statistics Burnie

Appendix 1 – AGS Geotechnical risk assessment terminology and Extracts from Good Hillside Practice

Geotechnical Risk Assessment – Example of Qualitative Terminology

Adapted from AGS Sub-committee (March 2007) Landslide Risk Management Concepts and Guidelines.

Australian Geomechanics Journal

Qualitative Measures of Likelihood

Level	Descriptor	Description	Indicative Annual Probability
A	Almost Certain	The event is expected to occur	$> \sim 10^{-1}$
B	Likely	The event will probably occur under adverse conditions	$\sim 10^{-2}$
C	Possible	The event could occur under adverse conditions	$\sim 10^{-3}$
D	Unlikely	The event might occur under very adverse circumstances	$\sim 10^{-4}$
E	Rare	The event is conceivable only under exceptional circumstances	$\sim 10^{-5}$
F	Not Credible	The event is inconceivable or fanciful	$\sim 10^{-6}$

Note: “~” means approximate

Qualitative Measures of Consequences to Property/Element at risk

Level	Descriptor	Description
1	Catastrophic	Structure completely destroyed or large scale damage requiring major engineering works for stabilization.
2	Major	Extensive damage to most of structure, or extending beyond site boundaries requiring significant stabilization works.
3	Medium	Moderate damage to some of structure, or significant part of site requiring large remedial works.
4	Minor	Limited damage to part of structure or part of site requiring some reinstatement or remedial works.
5	Insignificant	Little damage or effect.

Note: The “Description” may be edited to suit a particular case.

Qualitative Risk Analysis Matrix – Level of Risk to Property/Element at Risk

Likelihood	Consequences to Property				
	1: Catastrophic	2: Major	3: Medium	4: Minor	5: Insignificant
A – Almost Certain	VH	VH	H	H	M
B – Likely	VH	H	H	M	L-M
C – Possible	H	H	M	L-M	VL-L
D – Unlikely	M-H	M	L-M	VL-L	VL
E – Rare	M-L	L-M	VL-L	VL	VL
F – Not Credible	VL	VL	VL	VL	VL

Risk Level Implications

Risk Level	Example Implications	
VH	Very High Risk	Extensive detailed investigation and research, planning and implementation of treatment options essential to reduce risk to acceptable levels; may be too expensive and not practical
H	High Risk	Detailed investigation, planning and implementation of treatment option required to reduce risk to acceptable levels
M	Moderate Risk	Tolerable provided treatment plan is implemented to maintain or reduce risks. May be acceptable. May require investigation and planning of treatment options.
L	Low Risk	Usually acceptable. Treatment requirements and responsibility to be defined to maintain or reduce risks.
VL	Very Low Risk	Acceptable. Manage by normal site maintenance procedures.

- Notes:
- (1) The implications for a particular situation are to be determined by all parties to the risk assessment; these are only given as a general guide.
 - (2) Judicious use of dual descriptors for likelihood, Consequence and Risk to reflect the uncertainty of the estimate may be appropriate in some case

PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007

APPENDIX G - SOME GUIDELINES FOR HILLSIDE CONSTRUCTION

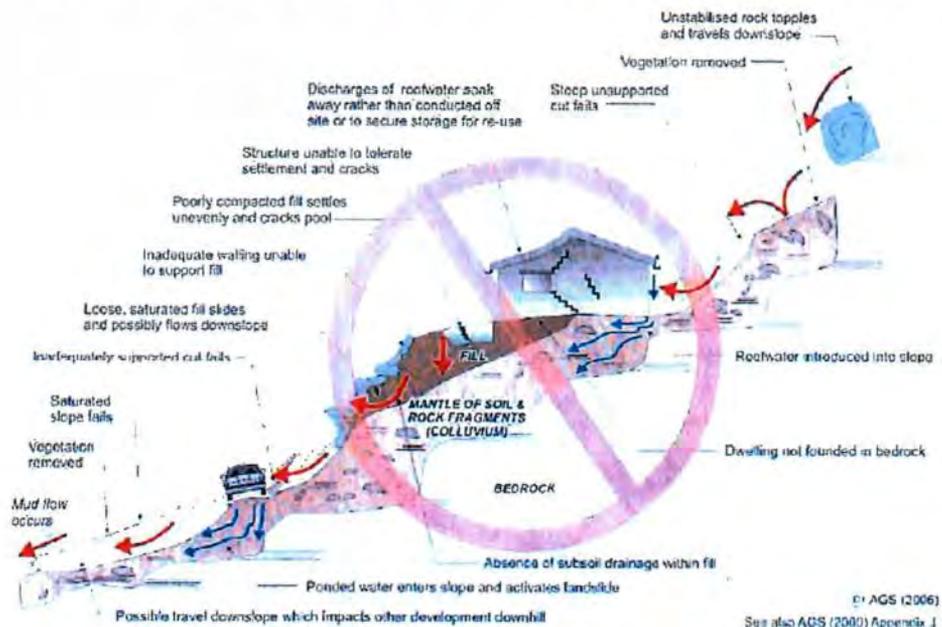
ADVICE		<i>GOOD ENGINEERING PRACTICE</i>	<i>POOR ENGINEERING PRACTICE</i>
GEOTECHNICAL ASSESSMENT	Obtain advice from a qualified, experienced geotechnical practitioner at early stage of planning and before site works.		Prepare detailed plan and start site works before geotechnical advice.
PLANNING			
SITE PLANNING	Having obtained geotechnical advice, plan the development with the risk arising from the identified hazards and consequences in mind.		Plan development without regard for the Risk.
DESIGN AND CONSTRUCTION			
HOUSE DESIGN	Use flexible structures which incorporate properly designed brickwork, timber or steel frames, timber or panel cladding. Consider use of split levels. Use decks for recreational areas where appropriate.		Floor plans which require extensive cutting and filling. Movement intolerant structures.
SITE CLEARING	Retain natural vegetation wherever practicable.		Indiscriminately clear the site.
ACCESS & DRIVEWAYS	Satisfy requirements below for cuts, fills, retaining walls and drainage. Council specifications for grades may need to be modified. Driveways and parking areas may need to be fully supported on piers.		Excavate and fill for site access before geotechnical advice.
EARTHWORKS	Retain natural contours wherever possible.		Indiscriminatory bulk earthworks.
CUTS	Minimise depth. Support with engineered retaining walls or batter to appropriate slope. Provide drainage measures and erosion control.		Large scale cuts and benching. Unsupported cuts. Ignore drainage requirements
FILLS	Minimise height. Strip vegetation and topsoil and key into natural slopes prior to filling. Use clean fill materials and compact to engineering standards. Batter to appropriate slope or support with engineered retaining wall. Provide surface drainage and appropriate subsurface drainage.		Loose or poorly compacted fill, which if it fails, may flow a considerable distance including onto property below. Block natural drainage lines. Fill over existing vegetation and topsoil. Include stumps, trees, vegetation, topsoil, boulders, building rubble etc in fill.
ROCK OUTCROPS & BOULDERS	Remove or stabilise boulders which may have unacceptable risk. Support rock faces where necessary.		Disturb or undercut detached blocks or boulders.
RETAINING WALLS	Engineer design to resist applied soil and water forces. Found on rock where practicable. Provide subsurface drainage within wall back-fill and surface drainage on slope above. Construct wall as soon as possible after cut/fill operation.		Construct a structurally inadequate wall such as sandstone flagging, brick or unreinforced blockwork. Lack of subsurface drains and weepholes.
FOOTINGS	Found within rock where practicable. Use rows of piers or strip footings oriented up and down slope. Design for lateral creep pressures if necessary. Backfill footing excavations to exclude ingress of surface water.		Found on topsoil, loose fill, detached boulders or undercut cliffs.
SWIMMING POOLS	Engineer designed. Support on piers to rock where practicable. Provide with under-drainage and gravity drain outlet where practicable. Design for high soil pressures which may develop on uphill side whilst there may be little or no lateral support on downhill side.		
DRAINAGE			
SURFACE	Provide at tops of cut and fill slopes. Discharge to street drainage or natural water courses. Provide general falls to prevent blockage by siltation and incorporate silt traps. Line to minimise infiltration and make flexible where possible. Special structures to dissipate energy at changes of slope and/or direction.		Discharge at top of fills and cuts. Allow water to pond on bench areas.
SUBSURFACE	Provide filter around subsurface drain. Provide drain behind retaining walls. Use flexible pipelines with access for maintenance. Prevent inflow of surface water.		Discharge roof runoff into absorption trenches.
SEPTIC & SULLAGE	Usually requires pump-out or mains sewer systems; absorption trenches may be possible in some areas if risk is acceptable. Storage tanks should be water-tight and adequately founded.		Discharge sullage directly onto and into slopes. Use absorption trenches without consideration of landslide risk.
EROSION CONTROL & LANDSCAPING	Control erosion as this may lead to instability. Revegetate cleared area.		Failure to observe earthworks and drainage recommendations when landscaping.
DRAWINGS AND SITE VISITS DURING CONSTRUCTION			
DRAWINGS	Building Application drawings should be viewed by geotechnical consultant		
SITE VISITS	Site Visits by consultant may be appropriate during construction/		
INSPECTION AND MAINTENANCE BY OWNER			
OWNER'S RESPONSIBILITY	Clean drainage systems; repair broken joints in drains and leaks in supply pipes. Where structural distress is evident see advice. If seepage observed, determine causes or seek advice on consequences.		

PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007

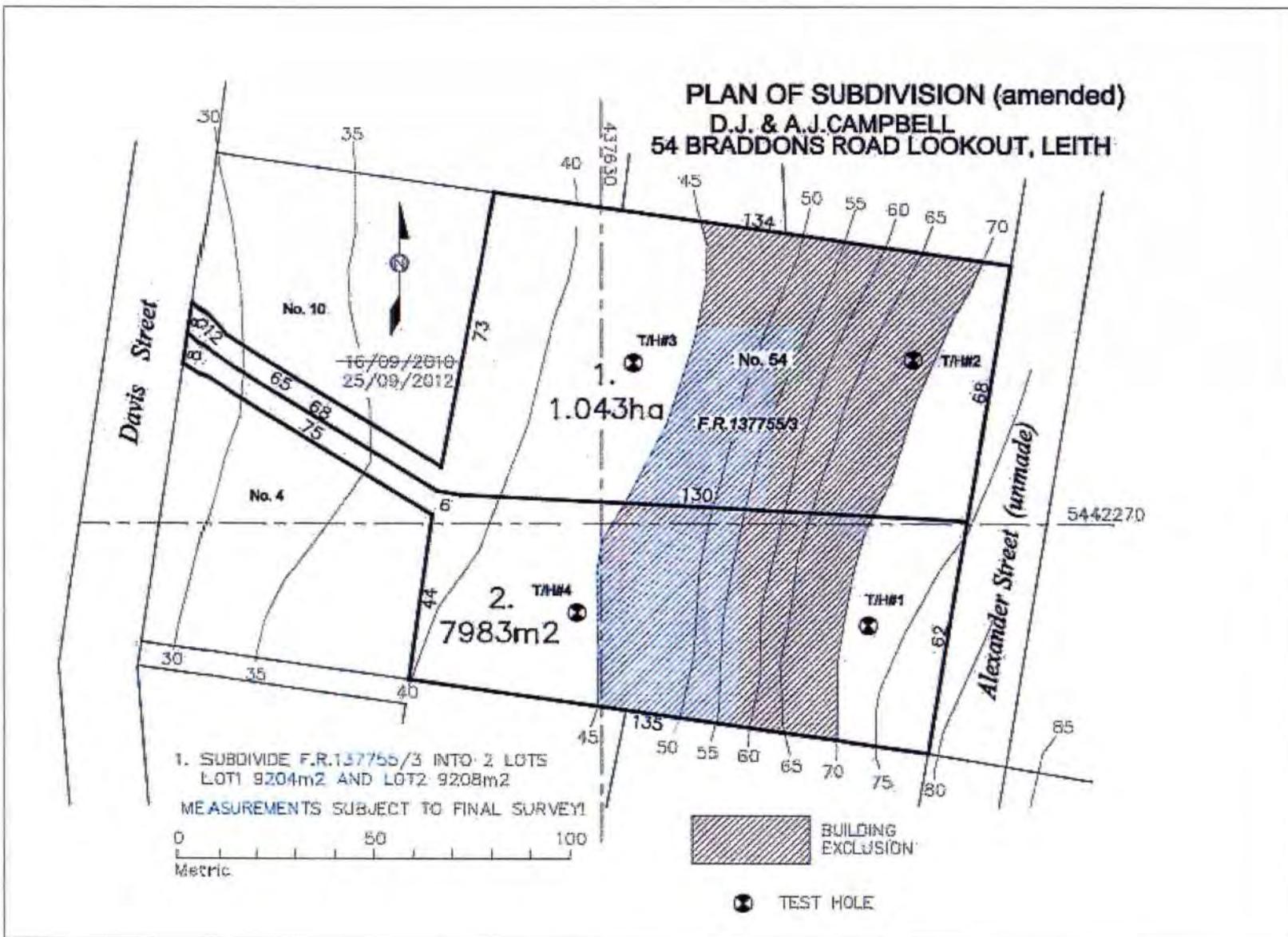
EXAMPLES OF **GOOD** HILLSIDE PRACTICE



EXAMPLES OF **POOR** HILLSIDE PRACTICE



Appendix 2 – Site and Development Plans



Appendix 3 Bore Logs

Profile summary 1

Depth (m)	Horizon	Description
0.0 – 0.20	A1	Dark Reddish Brown (5 YR 3/3) CLAY (CL) , approx 50% fine sand, well developed sub-angular blocky structure, dry stiff consistency, medium plasticity, few fine roots, gradual boundary to
0.20 – 0.80	B2	Reddish Brown (5 YR 4/3) CLAY (CH) , well developed angular blocky structure, slightly moist very firm to stiff consistency, high plasticity, approx 5% fine gravels, gradual boundary to
0.80-2.50+	B3	Reddish Brown (5 YR 4/3) CLAY (CH) , well developed sub-angular blocky structure, slightly moist stiff consistency, high plasticity, approx 40% fine sands and gravels increasing with depth, drilling terminated, lower boundary undefined

Profile summary 2

Depth (m)	Horizon	Description
0.0 – 0.20	A1	Dark Reddish Brown (5 YR 3/3) CLAY (CL) , approx 50% fine sand, well developed sub-angular blocky structure, dry stiff consistency, medium plasticity, few fine roots, gradual boundary to
0.20 – 1.20	B2	Reddish Brown (5 YR 4/3) CLAY (CH) , well developed angular blocky structure, slightly moist very firm to stiff consistency, high plasticity, approx 5% fine gravels, gradual boundary to
1.20-2.50+	B3	Reddish Brown (5 YR 4/3) CLAY (CH) , well developed sub-angular blocky structure, slightly moist stiff consistency, high plasticity, approx 40% fine sands and gravels increasing with depth, drilling terminated, lower boundary undefined

Profile summary 3

Depth (m)	Horizon	Description
0.0 – 0.50	A1	Dark Reddish Brown (5 YR 4/3) CLAY (CL) , approx 60% fine sand, well developed sub-angular blocky structure, slightly moist firm consistency, medium plasticity, few fine roots, gradual boundary to
0.50 – 1.70	B2	Reddish Brown (5 YR 4/3) CLAY (CH) , approx 40% fine sand and silt, well developed angular blocky structure, slightly moist very firm to stiff consistency, high plasticity, approx 5-10% gravels 20-20mm, gradual boundary to
1.70 – 2.50	B3	Light Reddish Brown (5 YR 6/4) and Strong Brown (7.5 YR 4/6) CLAY (CH) , well developed sub-angular blocky structure, slightly moist stiff consistency, high plasticity, approx 40% fine sands and gravels increasing with depth, drilling terminated, lower boundary undefined

Profile summary 4

Depth (m)	Horizon	Description
0.0 – 0.50	A1	Dark Reddish Brown (5 YR 4/3) CLAY (CL) , approx 60% fine sand, well developed sub-angular blocky structure, slightly moist firm consistency, medium plasticity, few fine roots, gradual boundary to
0.50 – 1.70	B2	Reddish Brown (5 YR 4/3) CLAY (CH) , approx 40% fine sand and silt, well developed angular blocky structure, slightly moist very firm to stiff consistency, high plasticity, approx 5-10% gravels 20-20mm, gradual boundary to
1.70 – 2.50	B3	Light Reddish Brown (5 YR 6/4) and Strong Brown (7.5 YR 4/6) CLAY (CH) , well developed sub-angular blocky structure, slightly moist stiff consistency, high plasticity, approx 40% fine sands and gravels increasing with depth, drilling terminated, lower boundary undefined



Bushfire Risk

Assessment Report & Certificates

for

C & M Ross

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES 6 Davis Street

Received: 24 FEB 2017

Application No: 09216167

Doc. ID: 266454

Date of Plan

21/02/2017

EnviroPlan Australia

Micheal Wells

Bushfire Accreditation No: BFP-128

ABN: 28 650 042 436

71a Bass Highway, Somerset

PO Box 546 Somerset, TAS 7322

Email: admin@enviroplanaustralia.com.au

Consultant Details



Mr. Micheal Wells GradDipUrbRegPlan.BEnvDes

Town Planner, Bushfire Assessor, Building Designer, Fire Engineer (IFE)

Bushfire Accreditation No: **BFP-128**

Scope of Assessors Accreditation

Micheal Wells (BFP-128) is accredited by the Chief Officer of the Tasmania Fire Service under Section 60B of the *Fire Service Act 1979* for the following Scope of Works:

1. *Certify a Bushfire Attack Level Assessment for Building Work*
2. *Certify an Exemption from a Bushfire Hazard Management Plan*
- 3A. *Certify Acceptable Solutions for Buildings or Extensions*
- 3B. *Certify Acceptable Solutions for Small Subdivisions (less than 10 Lots or a single stage)*
- 3C. *Certify Acceptable Solutions for Large Subdivisions (10 lots or more or in multiple stages)*

Works performed by *Micheal Wells (BFP-128)* that require Tasmania Fire Service endorsement:

4. *Certify Performance Criteria of the Bushfire-Prone Areas Code.*

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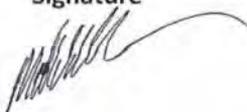
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Each paragraph of this disclaimer shall be deemed to be separate and severable from each other. If any paragraph is found to be illegal, prohibited or unenforceable, then this shall not invalidate any other paragraphs.

Document Status

Revision No	Author	Signature	Date
1	M. Wells		21/02/2017

Section 2



The Land – Site

Title & Description

Phone Contact: 0438 425 879

Land Owners: C & M Ross

Owners Agent:

Property Location: 6 Davis Street, Leith Tasmania 7315

Property ID: 3223488

Certificate of Title: CT: 165361

Folio: 2

Lot Size: 0.7984 HA (7984 m²)

Council: Central Coast Council

Class of Building: Class1a

Type of Building: Dwelling and Shed

Description of Work: New Residence and Shed

Referenced Documents:

Drawn By

Plan No

Revision No

Date

Yaxley Design

216212-2

November 16

Aerial Image of Site



Figure 1 – Location of land 6 Davis Street, Leith

The 0.7984 Ha (7984 m²) property fronts onto Davis Street and is located on the eastern side of the road.

Existing Use and Development

The current use of land is vacant. Currently there is no habitable buildings located on the property.

Site Analysis

Topography

The land falls from east to west at an average of 6° over a 100 m run.

Access

The existing site access to the subject land is off Davis Street via a formed urban crossover and does not require further upgrades as part of this development.

The site access must be in accordance with AS/NZ 2890.1 - *Parking Facilities - Off-Street Car Parking* and in particular *Section 3 Access Facilities to Off-Street Parking Areas and Queuing Areas*.

Road Class Descriptions & Conclusion:

(AADT = Annual Average Daily Traffic Volume)

4A: Main Road (>150 AADT)

- All weather road predominately two lane and unsealed; can be sealed if economically justified;
- Operating speed of 50-80 km/h according to terrain; and
- Minimum carriage width of 7m.

4b: Minor Road (150-50 AADT)

- All weather two lane road formed and gravelled or single lane sealed road with gravel shoulders;
- Operating speed of 30-70 km/h according to terrain; and
- Minimum carriage width of 5.5m

4C: Minor Road (50 – 10 AADT)

- Substantially a single lane two way dry weather formed (natural materials) track/road;
- Operating speed of 20-40 km/h according to terrain; and
- Minimum carriage width of 4m.

The RTA Guidelines (Guide to Traffic Generating Developments) average daily Residential dwelling rates for vehicle movements at **9.0** / dwelling with a weekday hourly rate of **0.85** / dwelling.

Currently on Davis Street there is a total of 12 lots fronting onto the road which equates to 108 movements per day (when fully inhabited and assuming a single dwelling per lot). The road corridor width is 15 m with a formed construction of 8 m (including shoulders) supporting the 4b road construction.

There is insufficient increase in risk to warrant specific measures for public access as the road is constructed to accommodate large vehicle volumes with insufficient increase in risk for safe vehicular passage as the road can easily accommodate the increase in AADT placed by the proposal and does not pose a detriment to the safe access/egress for occupants, fire or other emergency personnel and is designed to provide connectivity to the State Highway.

Reticulated Services

Reticulated water services are located within the vicinity of the site however exceed the separation distances from a fire hydrant. Therefore bulk on-site water storage facilities are required for this proposal in accordance with the Schedule 1 of this Plan.

Reticulated water services are not located within the vicinity of the site and therefore bulk on-site water storages are required for this proposal in accordance with the Schedule 1 of this Plan.

Rainwater tanks required for firefighting purposes should be suitably sized to ensure 10,000 litres of water is stored as a dedicated firefighting supply and held in reserve. Domestic storage must be in addition to this requirement.

Surrounding Property Use

- Lands to the north is residential and vacant land;
- East is vacant land use;
- South is vacant land; and
- West is residential use.

TasVeg Overlay



Figure 3 – TasVEG 3.0 Fire Attributes of land 6 Davis Street, Leith (source: www.theLIST.tas.gov.au)

The 'TasVEG Fire Attributes' layer defines the surrounding vegetation as being:

Vegetation Group

Fire Sensitivity / Flammability

Agricultural, Urban and Exotic Vegetation

M Flammability, L Sensitivity

The following vegetation table best describes the flora contained within the bushfire exposure:

Generalised Description

Grasslands:

Dominated by perennial grasses and the presence of broad-leaved herbs on flat topography. Lack of woody plants. Plants include grasses, daisies, legumes, geraniums, saltbushes and Copperburrs.

Managed Land:

Non-vegetated or reduced vegetation areas such as: actively grazed pastures, maintained urban yards, maintained lawns, crops, orchards, vineyards, commercial nurseries, playing fields, golf course fairways, cleared parks, non-vegetated areas, formed roads and footpaths including cleared verges, waterways, etc.

Given the proximity of the proposal to the classified vegetation; it is not anticipated that the use or development will likely cause or contribute to the occurrence or intensification of bushfire on the site or on adjacent lands.

Proposal

The developers; C & M Ross are seeking to construct a new dwelling and shed.

Intended Purpose of Plan

The plan is intended to satisfy the provisions of the Building Regulations 2014.

Purpose

The purpose of this bushfire assessment report is to identify the Bushfire Attack Level (BAL) in accordance with AS 3959-2009 Construction of Buildings in Bushfire Prone Areas, and Guidelines for Development in Bushfire Prone Areas of Tasmania 2005.

The BAL will enable the appropriate construction method and applicable construction requirements for the proposed building works to be designed in accordance with AS 3959-2009, Part 3.7.4, 3.7.4.1 and 3.7.4.2 of the National Construction Code Amendment 2013 and the Guidelines for Development in Bushfire Prone Areas of Tasmania.

General Information - Fire Danger Index:

The Fire Danger Index (FDI) is a measure of the probability of a bushfire starting, its rate of spread, intensity and the difficulty of extinguishment according to combinations of temperature, relative humidity, wind speed and available fuels, all of which is influenced by daily rainfall events and the time elapsed between such rainfall events.



The **FDI** in Tasmania is **50**.

BAL Explanation

The following figure describes the assessed BAL level used within the Bushfire Hazard Management Plan. The table explains the expected intensity of the relevant assessed BAL.

BAL Table of Terms

Bushfire Attack Level (BAL) Description

Level – Low	(BAL-LOW) Minimal attack from radiant heat and flame due to the distance of the site from the vegetation, although some attack by burning debris is possible. There is insufficient threat to warrant specific construction requirements.
Level – 12.5	(BAL-12.5) Attack by burning debris is significant with radiant heat (not greater than 12.5 kW/m ²). Radiant heat is unlikely to threaten building elements (e.g. unscreened glass). Specific construction requirements for ember protection and accumulation of debris are warranted.
Level – 19	(BAL-19) Attack by burning debris is significant with radiant heat levels (not greater than 19 kW/m ²) threatening some building elements (screened glass). Specific construction requirements for embers and radiant heat are warranted.
Level – 29	(BAL-29) Attack by burning debris is significant and radiant heat levels (not greater than 29 kW/m ²) threaten building integrity. Specific construction requirements for ember and higher radiant heat are warranted. Some flame contact could be possible.
Level – 40	(BAL-40) Radiant heat levels and flame contact likely to significantly threaten building integrity and result in significant risk to residents who are unlikely to be adequately protected.
Level – Flame Zone	(BAL-FZ) Significant radiant heat and significant higher likelihood of flame contact from the fire front will threaten building integrity and result in significant risk to residents.





EnviroPlan Australia
Micheal Wells
Bushfire Accreditation No: BFP-128

Bushfire Attack Level (BAL) Assessment

Property Address: **6 Davis Street, Leith, Tasmania 7315**

Municipality: **Central Coast**

Date of Assessment: **21/02/2017**

Type of Building Work

Building Class Adopted: **Class 1a**

Proposal Description: **New Dwelling**

The BCA classifies buildings by their use. A building may be made up of a number of classes if it has a mixed use. The BCA identifies the following building classes:

- Class 1(a) a single dwelling or attached dwellings (e.g.: a terrace, duplex, etc) where each dwelling is separated by a fire wall.
- Class 1(b) one or more buildings that constitute a boarding house, guest house, hostel of small scale (i.e.: not exceeding 12 persons or 300m² in floor area)
- Class 2 a building containing 2 or more dwelling units (e.g.: flats, apartments)
- Class 3 a Residential building for a number of persons such as a large scale boarding house, guest house, hostel, the Residential part of a hotel, motel, school etc
- Class 4 a dwelling unit that is a part of a commercial use (e.g.: a caretakers/managers flat)
- Class 5 an office building
- Class 6 a shop or other building where goods or services are retailed directly to the public
- Class 7(a) a car park building
- Class 7(b) a storage building or building where goods are wholesaled (e.g.: a warehouse)
- Class 8 a laboratory or a building where a process takes place (e.g.: factory, workshop etc)
- Class 9(a) a health care building (e.g.: hospital, clinic, doctor's surgery etc)
- Class 9(b) an assembly building (e.g.: community hall, sports hall, church etc)
- Class 9(c) an aged care building
- Class 10(a) a non-habitable building being a private garage, shed, carport or the like
- Class 10(b) a structure (e.g.: a fence, wall, mast, swimming pool etc)

Fire Danger Index

FDI Adopted: **50**

Vegetation Type

Classification Adopted: **Grassland (FDI 50 Only)**

BAL Determination Sheet

EnviroPlan Australia

Micheal Wells

Bushfire Accreditation No: BFP-128

Scope of Accreditation: 1, 2, 3A, 3B & 3C

Parent Title - PID: 3223488 CT: 165361/ 2



Classification for each side of the Site

Vegetation Class	N	<input checked="" type="checkbox"/>	S	<input checked="" type="checkbox"/>	E	<input checked="" type="checkbox"/>	W	<input checked="" type="checkbox"/>	Exclusions (where applicable)
	NE	<input type="checkbox"/>	SW	<input type="checkbox"/>	SE	<input type="checkbox"/>	NW	<input type="checkbox"/>	
Group A - Forest	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
Group B - Woodland	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
Group C - Shrubland	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
Group D - Scrub	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
Group E - Mallee/Mulga	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input checked="" type="checkbox"/>
Group F - Rainforest	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
Group G (FDI 50) - Grassland	<input type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>
Group H - Managed Land	<input checked="" type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input checked="" type="checkbox"/>		<input type="checkbox"/>

Vegetation Proximity

Distance to classified vegetation	Show distance in metres			
	N	S	E	W
	12	16	16	16
	NE	SW	SE	NW

Closest Exposure: 16 metres

Note: If there is no classification vegetation within 100m of the site then the BAL is LOW for that part of the site.

Land Slope

Slope under the classified vegetation	N	<input checked="" type="checkbox"/>	S	<input checked="" type="checkbox"/>	E	<input checked="" type="checkbox"/>	W	<input checked="" type="checkbox"/>
	NE	<input type="checkbox"/>	SW	<input type="checkbox"/>	SE	<input type="checkbox"/>	NW	<input type="checkbox"/>
Upslope	Upslope/0°	<input type="checkbox"/>	Upslope/0°	<input type="checkbox"/>	Upslope/0°	<input checked="" type="checkbox"/>	Upslope/0°	<input type="checkbox"/>
Downslope	>0 to 5°	<input checked="" type="checkbox"/>	>0 to 5°	<input checked="" type="checkbox"/>	>0 to 5°	<input type="checkbox"/>	>0 to 5°	<input type="checkbox"/>
	>5 to 10°	<input type="checkbox"/>	>5 to 10°	<input type="checkbox"/>	>5 to 10°	<input type="checkbox"/>	>5 to 10°	<input checked="" type="checkbox"/>
	>10 to 15°	<input type="checkbox"/>	>10 to 15°	<input type="checkbox"/>	>10 to 15°	<input type="checkbox"/>	>10 to 15°	<input type="checkbox"/>
	>15 to 20°	<input type="checkbox"/>	>15 to 20°	<input type="checkbox"/>	>15 to 20°	<input type="checkbox"/>	>15 to 20°	<input type="checkbox"/>
BAL value for each side of site	BAL - LOW		BAL - 12.5		BAL - 12.5		BAL - LOW	

Site BAL Assessment

BAL classification adopted for site is: BAL - 12.5

Note 1: Site BAL is adopted from the highest BAL rating on any single exposure.

Note 2: BAL - LOW, BAL - 12.5, BAL - 19, BAL - 29, BAL - 40 & BAL - FZ (Flame Zone)



Bushfire Hazard Management Plan

Note: Specifications must be read in conjunction with the Bushfire Hazard Management Plan that accompanies this Bushfire Risk Report

Annexure 1 – Form 55



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:

Address: Phone No:
 Fax No:

Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise: (description from Column 4 of the Director of Building Control's Determination)

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type:

Bushfire Hazard

(description from Column 1 of Schedule 1 of the Director of Building Control's Determination)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

Bushfire Prone Areas Plan

Relevant calculations:

N/A

References:

1. Australian Standard AS3959-2009
2. Code E1 – Development in Bushfire Prone Areas of Tasmania
3. Guidelines for Development in Bushfire Prone Areas of Tasmania
4. The Land Information System Tasmania – www.thelist.tas.gov.au

Substance of Certificate: (what it is that is being certified)

Assessment of the site Bushfire Attack Level (BAL) to AS3959-2009 resulting in a **BAL-12.5**

Scope and/or Limitations

Scope

This report was commissioned to identify the Bushfire Attack Level (BAL) for the development site being **BAL-12.5**. All comment, advice and fire suppression measures are in compliance with E1 Bushfire Prone Areas Code of Tasmania featured in the *Central Coast* municipal planning scheme, the Building Code of Australia and AS3959-2009 Construction of Buildings in Bushfire Prone Areas.

Limitations

The assessment has been undertaken and a report provided on the provision that:-

1. The report solely addresses the potential bushfire risk of the site and its immediate surroundings and all other statutory assessments are outside the scope of this report.
2. The report features the land size, fuel loads and status of vegetation at the date of assessment (listed below) and cannot be relied upon for any future developments not listed within this report.
3. The impacts of future development and vegetation growth/reduction have not been considered.

A new Bushfire Hazard Management Plan must be obtained for all future development or any building works dated 6 years or more from the date of this Certificate.

I certify the matters described in this certificate.

Qualified person:

Signed



Certificate No:

217029 – 5

Date:

21/02/2017



"making it easy..."

CLASSIFICATION:
 This development has BAL 12.5 separation distances determined in accordance with Method 1 of Section 2.2 of AS3959:2009
 Construction of Buildings in Bushfire-Prone Areas.
 Separation distances between the building area and the Classified Vegetation are appropriate and in accordance with the requirements of Table 4.4(d)(b) of the Director's Determination for Building in Bushfire-Prone Areas.

SPECIFICATIONS ON PAGE Bo.2 TO BE FOLLOWED
 The Specifications featured on page Bo.2 of this Plan form the basis of how to construct, manage and maintain the property in accordance with this Plan.

CONSTRUCTION:
 All relevant construction methods required for the proposal being assessed as BAL 12.5 must be in accordance with a heat flux exposure threshold of $>12.5 \text{ kW/m}^2$ and Construction Section 3 & 5 of AS3959:2009 - Construction of Buildings in Bushfire Prone Areas.

ATTACHED STRUCTURES
 Any attached roofed structures as defined in Section 3.2.1 of AS3959:2009 must comply with the construction standard of BAL 12.5
 Any roofed structure that is separated from the subject habitable building by a wall featuring an FRL of not less than 60/60/60 (and -/60/60 for non-loadbearing walls) must extend to the underside of a non-combustible roof covering and in compliance with Section 3.2.1(a) or (b) (as applicable) of AS3959:2009

ADJACENT STRUCTURES
 Any garage, carport, decking area or similar structure that is adjacent to and within 6m of the habitable building must comply with the construction standard of BAL 12.5.
 Any garage, carport, decking area or similar structure that is located within 6m of the habitable building must have an FRL of not less than 60/60/60 (and -/60/60 for non-loadbearing walls) when tested from the adjacent structure side and must be in compliance with Section 3.2.3 (a), (b) or (c) (as applicable) of AS 3959:2009.

MOULDINGS
 Unless otherwise required in Sections 4-9 of AS3959:2009; combustible external mouldings, joint strips, trims and sealants may be used for decorative purpose or to cover joints between sheeting materials.

HIGHER LEVEL OF CONSTRUCTION
 Any construction method required by this bushfire hazard management plan must be to the determined BAL level or to a higher BAL level only.



Non-Combustible water storage tank (i.e. steel, concrete or shielded) with 10,000ltrs minimum stored capacity per habitable building to be protected is required. This must be dedicated for firefighting purposes and fitted with A DIN or NEN standard forged Storz 65 mm adaptor fitted with a suction washer. A connection/ standpipe is required to be constructed within 90m of the furthest part of the habitable building/s to be protected. Domestic water volumes are in addition to the above requirement.

Clearly defined hardstand area for fire fighting appliance access to firefighting connection (5.5m x 10.5m clear working area), constructed in accordance with AS2419.1 2005. Accessible from property access, located within 3m of water connection point & greater than 6m away from habitable buildings.

Hazard Management Area (marked yellow): Separation distances as shown. Maintain HMA in a minimum fuel condition at all times with regular maintenance from September through to March each calendar year.

100mm UPVC Water pipe buried to 450mm from NGL. Connected to a remote take-off.

Driveway to provide turning area with Hammerhead T or Y turning heads 4m wide x 8m long

LEGEND	
	HMA
	Existing Building
	Building Area
	Fire Water Sign
	Hardstand Area
	Bushfire Water Tank
	Remote Off-Take
	100mm Water Main

Certified Plan
BAL-12.5

 Micheal Wells
 Scope: 1, 2, 3A, 3B & 3C
 BFP-128



GENERAL
 This plan is to be read in conjunction with the bushfire risk assessment report. Ensure that all contractors and consultants are provided with a full copy of this plan. All services are to be located on site by contractors prior to commencement of works.
 Notify the Council Authorities and Bushfire Risk Assessor if any variation in Building Layout or Classified Vegetation occurs.

CLIENT C & M Ross	PID: 3223488	DRAWN BY M Wells	SCALE @ A3 1: 650
PROJECT 6 Davis Street, Leith	CT: 165361/2	ISSUE 21/02/2017	

DESIGNERS DESCRIPTION:
Yaxley Design and Drafting

DESIGNERS REFERENCE NUMBERS:
216212 -2

DESCRIPTION
 Bushfire Hazard Management Plan

Bo.1

RETICULATED AREAS - EXCEEDING 120M FROM FIRE HYDRANT TO BUILDING AREA SPECIFICATIONS



GENERAL REQUIREMENTS

1.0	General
1.1	A Hazard Management Area (HMA) must be established around the habitable structure/s to be protected in accordance with the distances specified on B0.1 of this Plan;
1.2	Lawns within the HMA must be well maintained during the fire season from September through to March and kept as "short cropped";
1.3	Paths and driveways must be constructed of non-combustible materials;
1.4	Dams, uncovered water storages, orchards, vegetable gardens, waste water systems and tanks etc. must be located on the fire prone side of the proposed habitable structure;
1.5	Only fire retardant plants of the low flammability type (fire resisting garten plans - TFS) should be planted within the HMA;
1.6	No vegetation must be able to fall onto the proposed structure;
1.7	The owner/s must maintain tree crowns within the HMA to have a horizontal separation of 5 meters from each crown;
1.8	Trees of significant establishment should be retained so as to create a screen to protect from radiant heat transfer and ember protection;
1.9	The HMA must be located within the property boundaries.
1.10	It is the responsibility of the land owner to maintain the landscaping in accordance with the Bushfire Hazard Management Plan.
1.11	All paths and pedestrian areas within 1 meter of any habitable structure on the subject site must be constructed of non-combustible materials (i.e. stone, paving, concrete, pebbles etc);
1.12	Vegetation along pathways should be of a low flammability type and in accordance with the Tasmania Fire Service's brochure - Fire Retardant Garden Plants. Plants that produce a lot of debris should be avoided. Trees and shrubs that retain dead material in branches, or which shed long strips of bark, or rough fibrous bark, or large quantities of leaves should be avoided;
1.13	Vines on walls or tree canopies over roofed areas should be avoided
1.14	Timber, woodchip and flammable mulches cannot be used and brush and timber fencing should be avoided;
1.15	Total shrub cover should be kept to a maximum of 20% of the available area;
1.16	Clear space from any habitable structures of at least 4 times the mature height of any shrubs planted;
1.17	Shrubs must not be planted in cluster forms or clumps;
1.18	Remove ground level fuels and trim the bottom of tree canopies to at least a height of 2m off ground level;
1.19	Minimise ground level fuels wherever possible;

WATER

2.0	Static Water Supply - Distance to Building Area
2.1	A static water connection point must be located within 90 metres of the building area;
2.2	The distance between the static water connection point and the furthest part of the building area must be measured as a hose lay

3.0	Static Water Supplies
3.1	The water tank supply required by this development may have a remotely located offtake connected to the static water supply;
3.2	The water supply can be used for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times;
3.3	The static water supply must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems - domestic supply is in addition to this amount;
3.4	The water storage tank must be metal, concrete or lagged by non-combustible materials if above ground;
3.5	If the tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009, the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by Metal, Non-combustible Material; or Fibre-cement a minimum of 6mm thickness.

4.0	Tank Fittings, Pipework and Accessories
All fittings and pipework associated with a water connection point must:	
4.1	Have a minimum nominal internal diameter of 50mm;
4.2	Be fitted with a valve with a minimum nominal internal diameter of 50mm;
4.3	Be metal or lagged by non-combustible materials if above ground;
4.4	Where buried, have a minimum depth of 300mm (compliant with AS/NZS 3500.1 2003 Clause 5.23)
4.5	Provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to firefighting equipment;
4.6	Ensure the coupling is accessible and available for connection at all times;
4.7	Ensure the coupling is fitted with a blank cap and securing chain (min 220mm length)
4.8	Ensure underground tanks have an opening at the top of not less than 250mm diameter.
4.9	Where remote off-take is installed; ensure the off-take is in a position that is visible and accessible to allow connection by firefighting equipment and is at a working height of 450mm - 600mm above ground level and protected from possible damage including damage by vehicles.

5.0	Signage for Static Connections
The water connection point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with:	
5.1	Water tank signage requirements within AS2304 2011 Water Storage Tanks for Fire Protection Systems; or
5.2	Be marked with the letter "W" contained within a circle with the letter in upper case and not less than 100mm in height; and
5.3	Be a fade-resistant material with white reflective lettering and circle on a red background; and
5.4	Be located within 1 meter of the water connection point in a situation which will not impede access or operation; and
5.5	Be not less than 400mm above the ground.

6.0	Hard Stand Areas for Static Water Supplies
A hard stand area for fire appliance must be provided:	
6.1	No more than 3 meters from the water connection point measured as a hose-lay (including the minimum water level in dams, swimming pools and the like); and
6.2	No closer than 6 meters from the building area to be protected; and
6.3	With a minimum width of 3 meters constructed to the same standard as the carriageway; and
6.4	Connected to the property access by a carriageway equivalent to the standard of the property access.

ACCESS

7.0	Property Access Exceeding 30 meters to Building Area
7.1	The property access must be constructed to an all-weather construction with a load capacity of at least 20 tonnes including any bridges or culverts if applicable;
7.2	The carriageway from the access to the building area must be a minimum of 4 meters wide with a vertical clearance of 4 meters;
7.3	The carriageway must have a minimum horizontal vegetation clearance of 0.5 meters;
7.4	The carriageway must contain a cross-fall of less than 3 degrees (1:20 or 5%) and dips of less than 7 degrees (1:8 or 12.5%) from an entry and exit angle;
7.5	All curves on the carriageway must contain a minimum inner radius of 10 meters;
7.6	The carriageway must have cross falls of less than 3 degrees (1:20 or 5%) and a maximum grade of 15 degrees (1:3.5 or 28%) for sealed roads and / or 10 degrees (1:5.5 or 18%) for unsealed roads;
7.7	All terminations of carriageways must be provided with a turning area for fire appliances by either a turning circle with a minimum radius of 10 meters; a property access encircling the habitable building or a hammerhead 'T' or 'Y' turning head 4 meters wide and 8 meters long



GENERAL

This plan is to be read in conjunction with the bushfire risk assessment report. Ensure that all contractors and consultants are provided with a full copy of this plan. All services are to be located on site by contractors prior to commencement of works. Notify the Council Authorities and Bushfire Risk Assessor if any variation in Building Layout or Classified Vegetation occurs.

CLIENT C & M Ross	PID: 3223488	DRAWN BY M Wells	SCALE @ A3 1: 650
PROJECT 6 Davis Street, Leith	CT: 165361/2	ISSUE 21/02/2017	

DESIGNERS DESCRIPTION:
Yaxley Design and Drafting

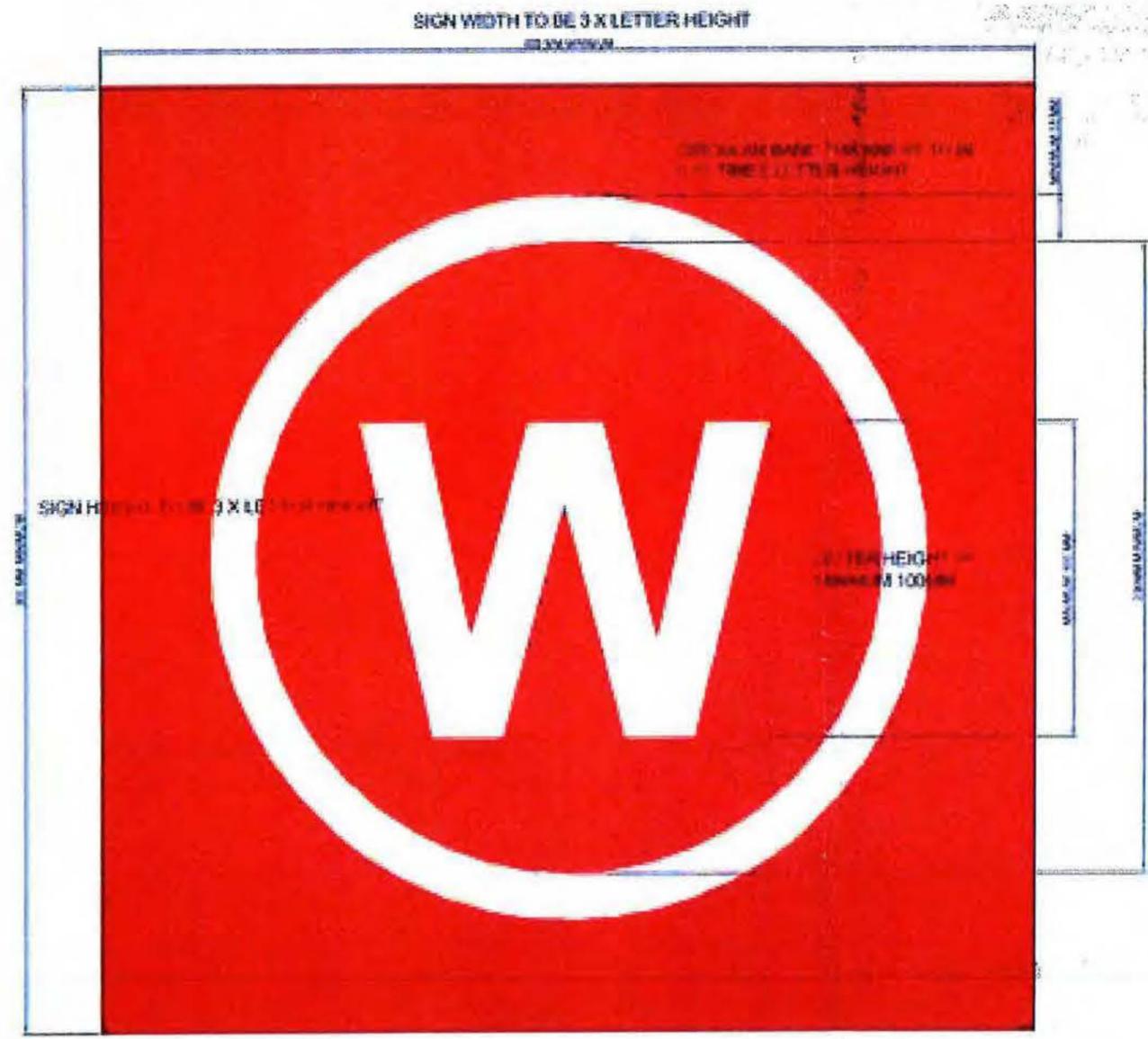
DESIGNERS REFERENCE NUMBERS:
216212 -2

DESCRIPTION:
Bushfire Hazard Management Plan

B0.2

V1.0

10,000 LITRE DOMESTIC FIREFIGHTING STATIC WATER INDICATOR SIGN



- LETTERS TO BE UPPERCASE AND NOT LESS THAN 100MM IN HEIGHT
- INSIDE DIAMETER OF CIRCULAR BAND TO BE 2 TIMES LETTER HEIGHT
- SIGN SIZE DIMENSIONS 3 X LETTER HEIGHT HIGH AND 3 X LETTER HEIGHT WIDE
- THICKNESS OF CIRCULAR BAND TO BE 0.45 TIMES LETTER HEIGHT
- TEXT STYLE TO BE IN ACCORDANCE WITH AS 1744 2015 - SERIES F
- SIGN TO BE IN PADE RESISTING MATERIAL WITH WHITE REFLECTIVE LETTERING AND CIRCLE ON A RED BACKGROUND
- RED TO BE R.13 SIGNAL RED COLOUR CODE 1795U
- WHITE SUBSTRATE COLOUR TO BE PMS 186C
- SIGN TO BE CONSTRUCTED FROM A DURABLE, NON FLAMMABLE AND NON HEAT DEFORMING MATERIAL
- SIGN TO BE PERMANENTLY FIRED

CIRCLE INNER DIAMETER
2 X LETTER HEIGHT



Tasmania Fire Service

Local Government

NOTICE OF APPLICATION FOR LAND USE PERMIT
(Section 57(3) Land Use Planning and Approvals Act 1993)

The following application for use and development of land has been received:-

Application No: DA 2017/21
Site: 48 Cascade Road
ROMAINE (CT: 104196/6)
(Outbuilding) Shed

Proposal: Reliant on performance criteria for grant of permit - Clause 13.4.3 Location and configuration of development (P4)

The application and documentation may be viewed at the Burnie City Council Offices, Ground Floor, 80 Wilson Street, Burnie between 8.30am - 5.00pm Monday to Friday inclusive or on Council's website at www.burnie.net

Any person may make representation relating to an application. Representations regarding the proposal should be in writing addressed to the General Manager, Burnie City Council, PO Box 973, Burnie 7320 or burnie@burnie.net to be received no later than 5.00pm on 28 April 2017.

Dated: 8 April 2017
Andrew Wardlaw
GENERAL MANAGER

www.burnie.net **BURNIE CITY COUNCIL**

DOWNLOAD THE DOMAIN APP TODAY

Domain

Local Government

CENTRAL COAST COUNCIL

APPLICATIONS FOR PLANNING PERMITS
S.57 Land Use Planning and Approvals Act 1993

The following applications have been received:

- Location: 405 Penguin Road & CT35699/1 Penguin Road, West Ulverstone Subdivision (three lots) - discretionary use and development in the Rural Resource zone
Application No.: DA216107
- Location: 8 Tasma Parade, West Ulverstone
Proposal: Visitor Accommodation (four serviced apartments) - variation to rear and side boundary setback; location of car parking and loading and unloading of vehicle; and proximity to a waterway standards
Application No.: DA216132
- Location: 6 Davis Street, Leith
Proposal: Residential (dwelling) and outbuilding (shed) - development exposed to a natural hazard (landslide)
Application No.: DA216167
- Location: 146A Main Street, Ulverstone
Proposal: Residential (multiple dwellings x three) - variation to rear boundary setback and building envelope
Application No.: DA216171
- Location: 22 & 22A Alexandra Road, Ulverstone
Proposal: Residential (multiple dwellings x four) - variation to front and rear boundary setback; open space; proximity to a rail line; and car parking standards
Application No.: DA216180
- Location: CT237081/1 McKennas Road, Gawler
Proposal: Subdivision (dwelling excision) - discretionary use and development in a Rural Resource zone
Application No.: DA216189
- Location: 188 Stubbs Road, Turners Beach
Proposal: Residential (dwelling) and outbuilding (garage) - variation to standard for setback from the Rural Resource zone
Application No.: DA216191
- Location: 24 & 24A King Edward Street, Ulverstone
Proposal: Demolition of a building and General retail and hire (pharmacy) - variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards
Application No.: DA216200

Local Government

KENTISH COUNCIL
APPLICATION FOR PLANNING PERMIT
S.57 LAND USE PLANNING AND APPROVALS ACT 1993

Applications for the following have been received.

APPLICATION NO: DA 2017/0024

PROPOSAL: Proposed pilot accommodation with reliance on Performance Criteria under the Cradle Gateway Specific Area Plan (residential use, pitch of roof & colour of cladding)
SITE: 3845 Cradle Mountain Road, Cradle Mountain
APPLICATION NO: DA 2017/0025

PROPOSAL: Proposed shed extension with reliance on Performance Criteria under the Rural Living zone provisions (reduced setback & site coverage)
SITE: 56 Cornwall Road, Acacia Hills
APPLICATION NO: DA 2017/0026

PROPOSAL: Proposed poolroom with reliance on Performance Criteria under the Water and Waterways Code
SITE: West Kentish Road, West Kentish (CT 242900/2)

The applications and associated materials will be available for inspection at the Council Office during normal Office hours or at www.kentish.tas.gov.au for a period of fourteen (14) days (not including the period 14th of April 2017 to 18th of April 2017) from the date of publication of this notice. During this time, any person may make representation in relation to the proposal by letter, addressed to the General Manager, PO Box 63, Sheffield 7306 or by e-mail to council@kentish.tas.gov.au.

WEED SPRAYING PROGRAM

Kentish Council advises that its roadside weed spraying program will commence Monday 10 April 2017 for a period of approximately 6 weeks.

Property owners may request that their property footage not be included in the spraying program by contacting Paul Visich on 0428 519 086 before 10 April 2017.

Further information regarding registration on the No Spray List and the property owner's responsibilities can be found at www.kentish.tas.gov.au

Dated at Sheffield this 8th day of April 2017.

Gerald Monson
GENERAL MANAGER

Local Government

EASTER GARBAGE/RECYCLING COLLECTION

Residents are advised that there will be no interruption to the normal household refuse wheelite bin collection or kerbside recycling collection schedule over the Easter period for 2017.

WASTE TRANSFER STATION CLOSURE NOTICE

The Wynyard Waste Transfer Station will be closed on Good Friday, Friday 14th April 2017 and will reopen at 10am Saturday 15th April 2017

APPLICATIONS FOR PLANNING PERMITS

Notice is given that applications have been made for the following discretionary permits:-

No: DA 40/2017
Location: 106 Inglis Street Wynyard
Applicant: Abel Drafting Services
Zoning: General Residential
Use Class: Residential
Proposal: Carport
Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P3)

No: DA 44/2017
Location: 5 Inglisdale Drive Wynyard
Applicant: Luke Jones, Hotondo Homes North West Tas
Zoning: General Residential
Use Class: Residential
Proposal: Dwelling
Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P1, P3) & Sunlight and overshadowing for all dwellings (10.4.4 P1)

No: SD 2016
Location: 130 Reservoir Drive Wynyard (CT 234487/1)
Applicant: Micheal Wells, EnviroPlan
Zoning: Rural Living
Use Class: Residential & Resource Development
Proposal: Subdivision (1 into 2 lots)
Discretionary Matter: Subdivision (13.4.7 P1, P2), Retention of an electricity supply to new lots on a plan of subdivision (13.4.8 P1) & Use likely to be exposed to a natural hazard (E6.5.2 P1)

The application and associated plans and documents will be available for inspection during normal office hours for the exhibition period at the Council Office, Saunders Street, Wynyard or viewed on Council website www.warwyn.tas.gov.au. Any person who wishes to make representations in accordance with the Land Use Planning and Approvals Act 1993, must do so during the exhibition period. Representations in writing will be received by the General Manager, P.O. Box 168, Wynyard, 7325, email council@warwyn.tas.gov.au by **Wednesday 26 April 2017**.

Dated at Wynyard this 8th day of April 2017

Michael Stretton
General Manager
PO Box 168
Wynyard 7325

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nabo

Local Government

INVITATION FOR EXPRESSIONS OF INTEREST

EDUCATION & TRAINING ADVISORY COMMITTEE

West Coast Council is seeking Expressions of Interest from suitably qualified and experienced individuals with West Coast interests for appointment to Council's Education & Training Advisory Committee.

The primary objective of this advisory committee is to drive forward and enhance education and training initiatives for the region, and to make recommendations to Council on critical issues and education and training opportunities generally. The committee will meet approximately six times per year, reporting to Council formally each quarter.

Members will be expected to focus on (and represent) the broad interests of the West Coast community, rather than those of any particular individual or organisation(s).

Members will be formally appointed by Council and membership is entirely voluntary.

Expressions of interest must address the Selection Criteria and provide details of the applicant's experience, skills, knowledge and qualifications and how they would apply these to assist in the Committee's functions as outlined in the Education & Training Advisory Committee Charter.

The charter, as well as further information, can be obtained by contacting the committee Secretariat, Simon Lee on 0419 390 912 or via email ecodev@westcoast.tas.gov.au

Expressions of interest should be forwarded to: Education & Training Advisory Committee Selection Panel, PO Box 63 Queenstown Tas 7467.

Expressions of Interest close 5pm Friday 28 April 2017.

Public Notices

TEMPORARY ROAD CLOSURE ANZAC DAY - APRIL 25

In accordance with the Local Government (Highways) Act 1982, the public is advised that for the purpose of activities connected with the preparation and staging of the Latrobe ANZAC Day Dawn Service and Citizens Commemorative Service on April 25, the said event being declared to be a public function for the purpose of the section, the following roads will be closed to through traffic -

- JAMES STREET** between Gilbert Street and George Street, Latrobe at 5:30am until 5:55am and 9:30am until 9:55am
- GILBERT STREET** between James Street and Hamilton Street from 5:40am until 6:00am and from 9:45am until 10:00am.
- GILBERT STREET** from Hamilton Street to Barclay Street including the junction of Weld Street and access to the Station Square car park from 5:40am until 6:45am and again from 9:45am until 11 am.

Through traffic during the road closures will be detoured via Cotton Street, Latrobe.

In the event of wet weather, the Services will be held at the Latrobe Memorial Hall.

Dated at Latrobe this 8th day of April, 2017.

P Freshney, Mayor
Latrobe Council, 170 Gilbert Street, Latrobe, 7307

EASTER HOLIDAY 2017 OPENING HOURS

The Advocate's offices at 39-41 Alexander Street, Burnie and 45 Best St, Devonport will be closed from 5pm, Thursday, April 13 and reopen on Tuesday, April 18 at 9am. The Advocate will not be published on Good Friday.

The Advocate Classifieds Phone Lines will be open from 1.30 till 5.30pm on:

Saturday, April 15
Easter Sunday, April 16
Monday, April 17

Phone 1300 363 789
Email: classifieds@theadvocate.com.au

The Advocate
A new INSIGHT

Annexure 3

Kellie Malone

From: Sally Young <sally@prohealthtraining.com>
Sent: Wednesday, 26 April 2017 3:59 PM
To: switch
Subject: Attn: General Manager: Application Number DA216167

Dear General Manager,

We wish to make representation to the Central Coast Council regarding the application for Planning Permit for the property at 6 Davis St, Leith: Application # DA216167.

As owner occupiers of 10 Davis Street, Leith ie. property adjacent to the proposed development, we wish to lodge the following items for clarification and consideration by the Council during the assessment of a Planning Permit:

- 1) Given the upslope location of the proposed development, it overlooks two existing occupied residential dwellings (4 and 10 Davis St). However, the documentation for the proposed development does not appear to include details of the nature and breadth of the overlook and, in particular, specific lines-of-sight into each of these dwellings. From reviewing the documentation provided, we have not been able to determine what the line(s)-of-sight from the proposed development into our dwelling may be. Interestingly, the documentation does not show the existence of our dwelling.

Line(s)-of-sight ingress from 6 Davis St is of interest to us, as the recently proposed neighbouring development at 8 Davis St (DA216128) has an apparent line-of-sight into a bedroom of our dwelling, therefore we are, naturally, concerned about a potential additional ingress of our privacy from this current proposed development. The southern aspect of our home (kitchen, dining and wc) is the predominant aspect potentially affected by the proposed development. We would appreciate information and clarification on this issue.

- 2) The plan shows access to the planned development is via an area of sloping land between our property and the next owner occupied property (4 Davis) which adjoins the proposed development. We are requesting that, given our observation of the flow of water down this slope, that sufficient storm water drainage be installed to ensure that there is no diversion of water flowing down this driveway and access area into our property or our immediate neighbour's. We have noted, that the geotechnical survey for this proposed development was conducted during summer ie. dry conditions.
- 3) Currently, no driveway exists, only an pasture and rock access way. We are requesting due consideration for the stipulation of a sealed hard-surface driveway from Davis St to the property to ensure minimisation of unnecessary dust creation and dispersal, both during and after the proposed build. We have previous unpleasant experience of living adjacent to an unsealed driveway and the problems created by the dust with each vehicular movement. Our experience has been that an unsealed driveway significantly affects the level of dust within the house, in vegetable growing and clothes drying areas. In our current property in Leith, all of these listed areas (including frequently used doors and windows) are located on the southern aspect and are therefore, adjacent to the proposed driveway. We have noted, that the geotechnical survey for this proposed development was conducted during summer ie. dry conditions.
- 4) Given that there are two neighbouring proposed developments that require access via the current access way, it is unclear from the documentation whether two separate driveways will be constructed or a single dual use driveway. We are requesting clarification.

Thank you for the opportunity to make representation. Could we please receive confirmation of receipt of this document.

Yours faithfully,

Sally Young & Chris Heberle

10 Davis St, Leith TAS 7315

(m) 0404 664474

(p) PO Box 40, Turners Beach TAS 7315

 Please consider the environment before printing this message

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Annexure 4



Aerial view – 6 Davis Street, Leith



View of 6 Davis Street, Leith from adjoining land to the south, identified as 2B Davis Street. A restrictive building envelope begins just this side of the fence line, before the subject land rises steeply to the east

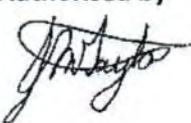


6 Davis Street, Leith



Southern boundary fence line of 6 Davis Street, Leith – looking at adjoining property, 4 Davis Street, Leith and across to another dwelling in this locality, 10 Davis Street, Leith

Submission to Planning Authority Notice

Council Planning Permit No.	DA216167	Council notice date	6/04/2017
TasWater details			
TasWater Reference No.	TWDA 2017/00481-CC	Date of response	12/04/2017
TasWater Contact	Jacob Ziesel	Phone No.	6237 8440
Response issued to			
Council name	CENTRAL COAST COUNCIL		
Contact details	planning.cmw@centralcoast.tas.gov.au		
Development details			
Address	6 DAVIS ST, LEITH	Property ID (PID)	3223488
Description of development	Dwelling and Shed		
Schedule of drawings/documents			
	Prepared by	Drawing/document No.	Revision No.
	Yaxley Design & Drafting	Site Plan/216212-2	1
			Date of Issue
			March 2017
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater does not object to the proposed development and no conditions are imposed.			
Advice			
For information on TasWater development standards, please visit http://www.taswater.com.au/Development/Development-Standards			
For application forms please visit http://www.taswater.com.au/Development/Forms			
The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.			
Declaration			
The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.			
Authorised by			
 Jason Taylor Development Assessment Manager			
TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Annexure 6

1 May 2017

Our ref.: DA216167, paa:kaa
Doc ID 267612

Brian Yaxley
Yaxley Design & Drafting Service
109A South Road
PENGUIN TAS 7316

Dear Brian

LOCAL GOVERNMENT (HIGHWAYS) ACT 1982 AND URBAN DRAINAGE ACT 2013
STATEMENT OF COMPLIANCE FOR VEHICULAR ACCESS AND DRAINAGE ACCESS
DWELLING & OUTBUILDING - 6 DAVIS STREET, LEITH

I refer to your application DA216167 for a dwelling and outbuilding at 6 Davis Street, Leith, and based on the information supplied with the application make the following determination in respect to vehicular access and the disposal of stormwater.

Access can be provided to the road network at 6 Davis Street, Leith subject to the following:

- R1 The existing access located on the Davis Street frontage shall be used as the access to the property;
- R2 A separate conditioned approval from the Council acting in its capacity as the Road Authority will be required for any works or activity in the road reservation, and must be arranged prior to any work associated with the development being undertaken. Please contact the Council Public Safety Coordinator on 0419 103 887.
- R3 Any damage or disturbance to roads, verges or roadside drains resulting from activity associated with the development must be rectified;
- R4 All works or activity listed above shall be completed to the satisfaction of the Council's Director Infrastructure Services or his representative;
- R5 All works or activity listed above shall be at the developer's/property owner's cost.

Limited access can be provided to the Council's stormwater network for 6 Davis Street, Leith to drain stormwater from the proposed dwelling and shed subject to the following:

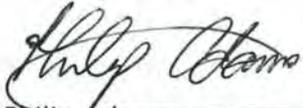
- S1 The discharge of stormwater to the Davis Street roadside open drain will be allowed;
- S2 On-site detention storage must be provided to limit the peak rate of the piped stormwater discharge from buildings and hard surfaces (including roadways) to that expected to be generated for a 5% AEP storm event, to the satisfaction of the Council's Director Infrastructure Services;
- S3 The connection to the Davis Street roadside open drain shall be via a pipeline (DN100 max) in the road reservation from 6 Davis Street. This will be a private pipeline and is not a stormwater connection point provided by the Council;
- S4 The point of discharge to the Davis Street roadside open drain must be constructed so as to minimise the erosion impact on the roadside open drain and downstream drainage system, to the satisfaction of the Council's Director Infrastructure Services;
- S5 The disposal of concentrated stormwater drainage from buildings and hard surfaces shall be as required and/or as approved by the Council's Regulatory Services Group Leader or his representative;
- S6 A separate conditioned approval from the Council acting in its capacity as the Road Authority will be required for any works or activity in the road reservation, and must be arranged prior to any work associated with the development being undertaken. Please contact the Council Public Safety Coordinator on 0419 103 887;
- S7 Any work associated with existing stormwater infrastructure will be undertaken by the Council;
- S8 Any damage or disturbance to existing stormwater infrastructure resulting from activity associated with the development must be rectified;
- S9 All works or activity listed above shall be completed to the satisfaction of the Council's Director Infrastructure Services or his representative;
- S10 All works or activity listed above shall be at the developer's/property owner's cost.

This 'Statement of Compliance' is not an approval to work on any access, work in the road reservation or undertake stormwater drainage works, nor is it a planning permit for the dwelling and shed. This 'Statement of Compliance' is valid for a period of 2 years from the date shown above.

A copy of this 'Statement of Compliance' has been provided to the Council's Land Use Planning Group for consideration with planning permit application DA216167.

Please contact me on tel. 6429 8977 should you have any further enquires.

Yours sincerely



Philip Adams
ENVIRONMENTAL ENGINEER
Encl.

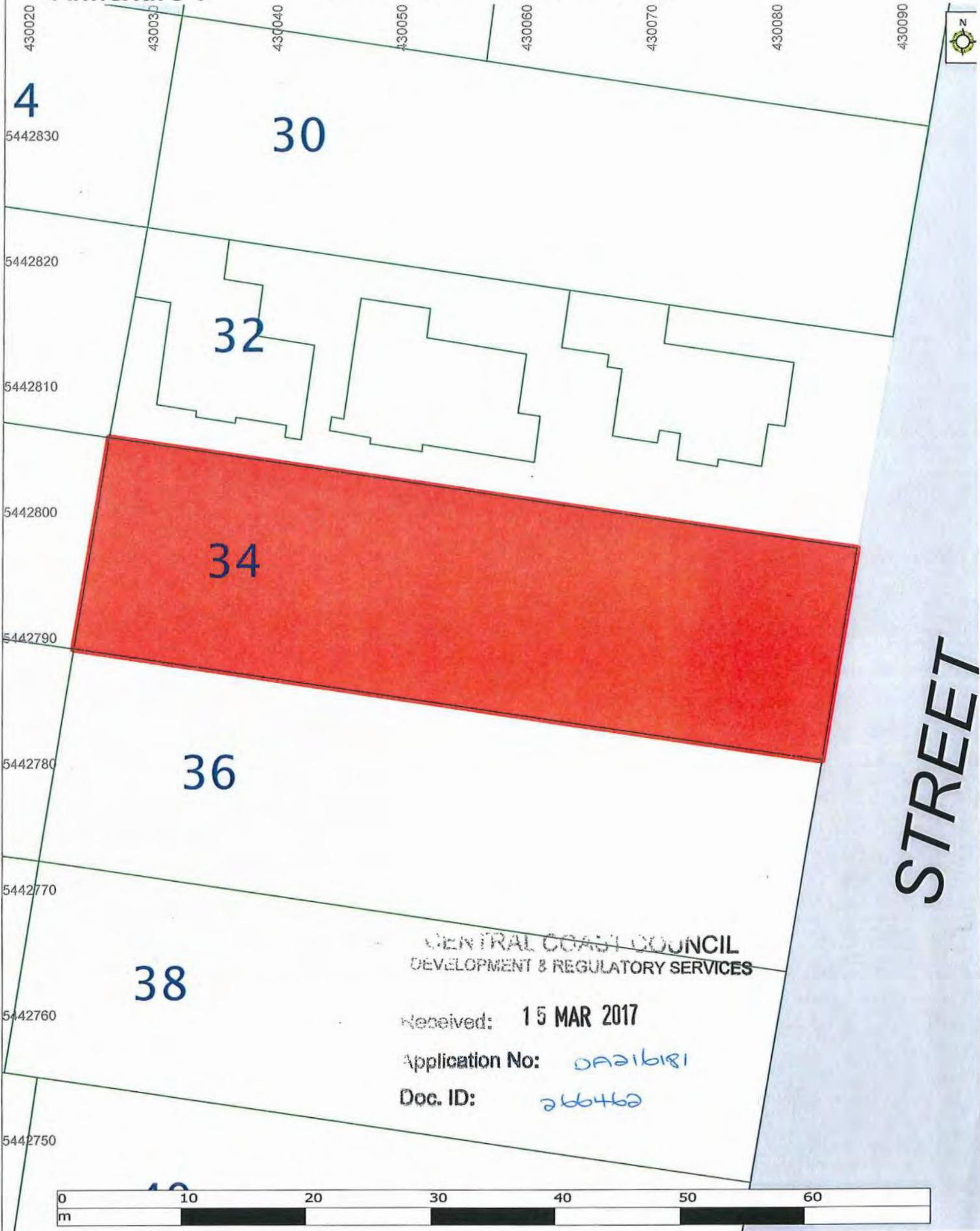
✓ Administrative Assistant – Planning
Regulatory Services Administration Officer

C A & M L Ross
7 Sunnyside Court
DEVONPORT TAS 7310

A COPY FOR YOUR INFORMATION

Annexure 1

34 Jermyn Street, Ulverstone



DA216181

Annexure 2

CENTRAL COAST COUNCIL

PO Box 220

19 King Edward Street

ULVERSTONE TASMANIA 7315

Ph: (03) 6429 8900

Email: planning@centralcoast.tas.gov.au

www: centralcoast.tas.gov.au

CENTRAL COAST COUNCIL

DEVELOPMENT & REGULATORY SERVICES



CENTRAL COAST COUNCIL

Received: 03 APR 2017

Application No: OA216181

Land Use Planning and Approvals Act 1993

266463

Central Coast Interim Planning Scheme 2013

PLANNING PERMIT APPLICATION

Office Use Only

Application No OA216181

Date Received 15/3/17

Zone Gen. Res.

Fee \$540

Permitted

Discretionary

NPR

Use or Development Site:

Site Address

34 Jermyn street

Ulverstone

Certificate of Title Reference

vol-2609

61-16

Land Area

1034 m²

Heritage Listed Property

YES

NO

Applicant/s

First Name

Josh

Middle Name

Surname or Company name

JDR Homes

Mobile

0417 594 333

Postal Address:

Po Box 3120

Phone No:

Ulverstone

7315

Email address:

josh@jdrhomes.com.au

Owner (Note - if more than one owner, all names must be indicated)

First Name

Adrian

Middle Name

Surname

Siely

Phone No

Postal Address:

34 Jermyn street

Ulverstone

7315

Applicants Declaration

I/we Josh Rowe
declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s



Date 30/3/17

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 215587	FOLIO 1
EDITION 8	DATE OF ISSUE 17-Aug-2011

SEARCH DATE : 06-Apr-2017
SEARCH TIME : 02.59 PM

DESCRIPTION OF LAND

Town of ULVERSTONE
Lot 1 on Plan 215587
Derivation : Part of Lot 2 Sec. Y. - Gtd. to J. Stones.
Prior CT 2609/16

SCHEDULE 1

C963075 TRANSFER to ADRIAN JOHN SIELY and SHARNI SIELY
Registered 17-Aug-2011 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
D25311 MORTGAGE to ING Bank (Australia) Limited Registered
17-Aug-2011 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 06 APR 2017

Application No: DA216181

Doc. ID: 266463

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469
TASMANIA
REAL PROPERTY ACT, 1862, as amended

CERTIFICATE OF TITLE

Register Book
Vol. Fol.
2609 16

NOTE—REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



Cert. of Title. Vol. 616. Fol. 53.
I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

M. Hutchinson

Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF ULVERSTONE
ONE ROD AND NINE TENTHS OF A PERCH on the Plan hereon

FIRST SCHEDULE (continued overleaf)

EILEEN JOSEPHINE LORD of Ulverstone, Married Woman.

SECOND SCHEDULE (continued overleaf)

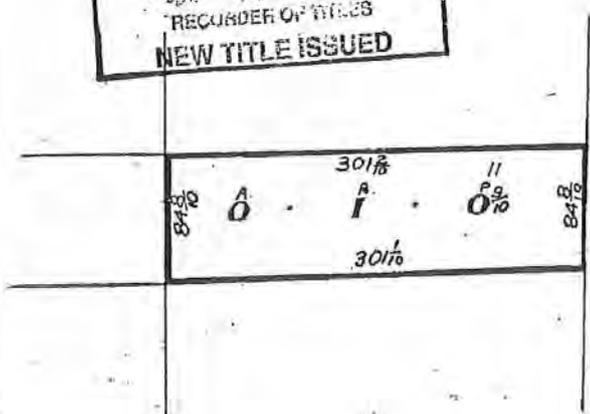
NIL.

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

CANCELLED UNDER SIGN

REGISTERED NUMBER
215587

CANC
-3 JAN 1995
RECORDER OF TITLES
NEW TITLE ISSUED



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

received: 17 MAR 2017

Application No: DA216181

Doc. ID: 266463
29/32 T.N.

Part of Lot 2 Sec. Y. - Gtd. to J. Stones - Meas. in Links.
FIRST Edition. Registered 20 MAR 1970
Derived from C.T. Vol. 616. Fol. 53. Transfer A82216 M.C. Lahl & Anr.

34 Jermyn Street, Ulverstone



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No: DA216181

Doc. ID: 266462



DA216181

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Information shown on this plan has been generated from digital data.
Central Coast Council accepts no responsibility for the accuracy of the data.
Boundary locations should be checked at the State Titles Office.
A94 (Zone 55)

COVER SHEET

PROPOSED GARAGE & VERANDAH 34 JERMYN STREET, ULVERSTONE ADRIAN & SHARNI SIELY

LOCAL GOVERNMENT COUNCIL
REGULATORY SERVICES

received: 13 MAR 2017

Application No: DA21681

DRAWING INDEX: 266462

DRAWING No.	DESCRIPTION
1	COVER SHEET
2	SITE & DRAINAGE PLAN
3	FLOOR PLAN
4	GARAGE ELEVATIONS
5	GARAGE SECTION: - A
6	GARAGE FOOTING & DETAILS
7	GARAGE BRACING LAYOUT
8	VERANDAH PLAN
9	VERANDAH ELEVATIONS
10	VERANDAH SECTION: - B
11	D TYPE BRACING
12	G TYPE BRACING
13	NCC NOTES

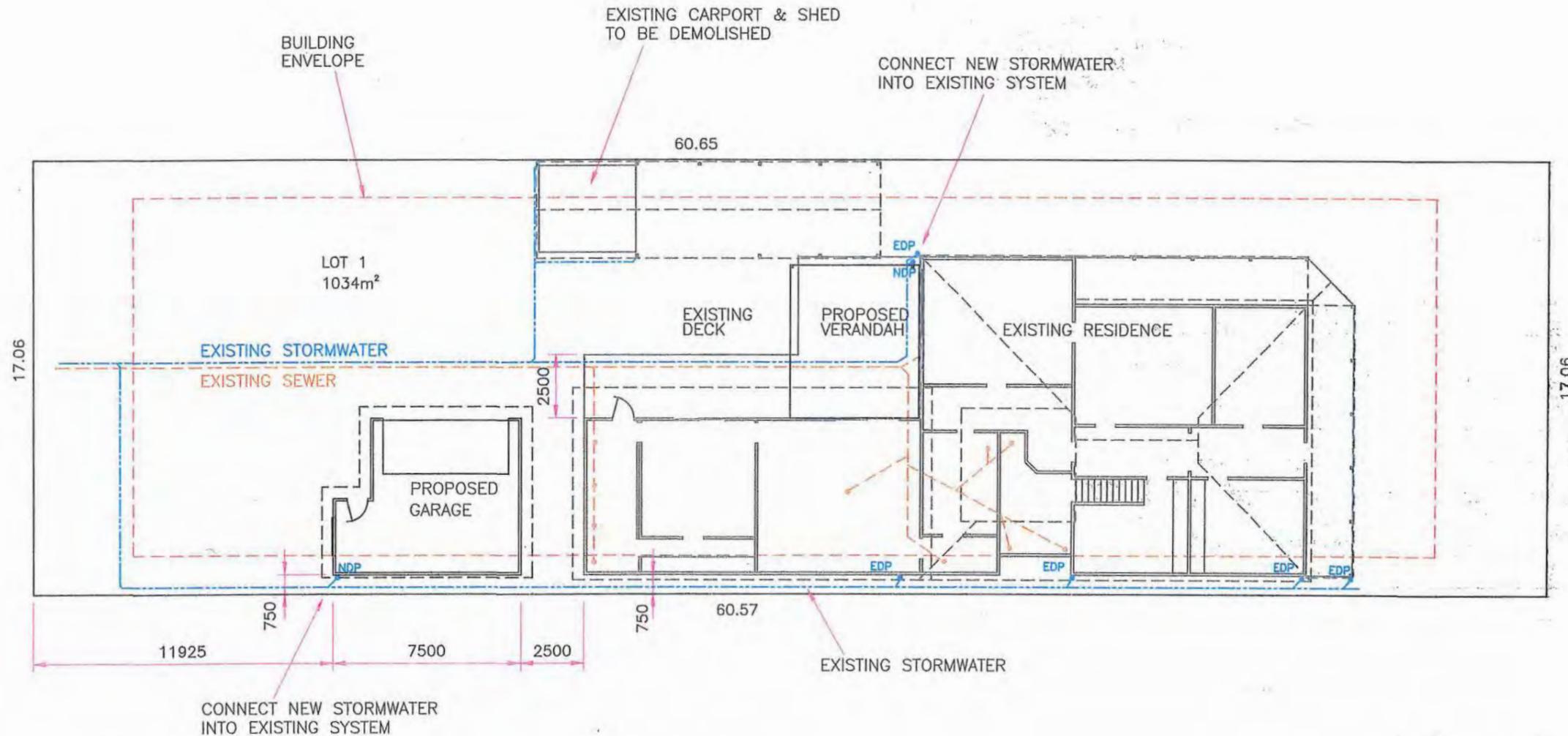
SITE INFORMATION

TITLE REFERENCE	215587/1
WIND CLASSIFICATION	N1 - ASSUMED
SOIL CLASSIFICATION	M - ASSUMED
CLIMATE ZONE	7
BAL LEVEL	LOW - RESIDENTIAL

AREA

EXISTING RESIDENCE = 260.03 m² (28.00 SQ.)
 EXISTING VERANDAH = 38.80 m² (4.17 SQ.)
 EXISTING DECK = 52.12 m² (5.61 SQ.)
 PROPOSED GARAGE = 41.40 m² (4.45 SQ.)

REV.	AMENDMENT	DATE	DRAWING TITLE	 Ph: (09) 64372201 Fax: (09) 64370789 109A South Road Penguin TAS 7316 ABN: 17 069 943 437 TCC Accreditation No. CG2008 Email: brian@yxleydrafting.com.au	DATE	PROPOSED GARAGE & VERANDAH 34 JERMYN STREET, ULVERSTONE FOR ADRIAN & SHARNI SIELY	DRAWING No	217031 -1 of 13
			<u>COVER SHEET</u>		FEB 17 DRAWN: B.S.Y. CHECKED: SHEET SIZE: A3 SCALE: 1:100		REV: 0 DATE: FEB 17	



J E R M Y N S T R E E T

EDP - EXISTING DOWNPIPE
NDP - NEW DOWNPIPE

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017
Application No: 0226181
Doc ID: 266462

REV.	AMENDMENT	DATE

DRAWING TITLE
SITE & DRAINAGE PLAN

Ph: (03) 64372701
Fax: (03) 64370789
Y XLEY
DESIGN & DRAFTING
105A South Road Penguin TAS 73104
ABN: 17 003 843 437
TCC Accreditation No. CC702L
Email: brian@yxleydrafting.com.au

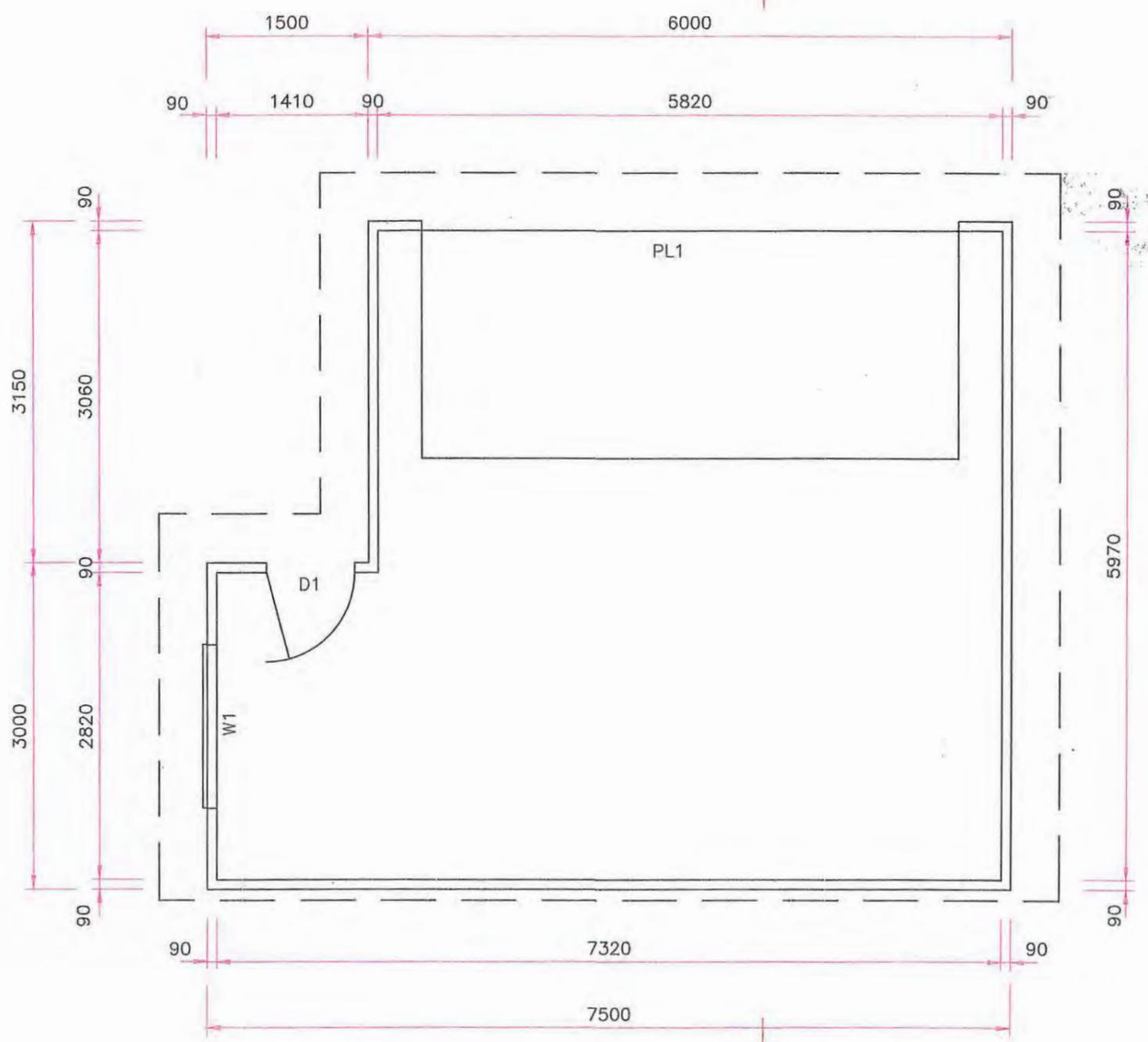
DATE: FEB 17
DRAWN: B.S.I.E.Y.
CHECKED:
SHEET SIZE: A3
SCALE: 1:200

PROPOSED GARAGE & VERANDAH
34 JERMYN STREET, ULVERSTONE
FOR
ADRIAN & SHARNI SIELY

DRAWING No.
217031 -2 of 13
REV. 0
DATE FEB 17

WINDOW & DOOR SCHEDULE

No.	DEPTH	WIDTH	ORIENT.	TYPE	FRAME	TIMBER HEAD
W1	1.00	1.50	W	S.G AWNING	ALUM	90 x 35 F17 SHW
D1	2.10	0.82	N	DOOR	ALUM	90 x 45 F17 SHW
PL1	2.10	5.00	N	PANELIFT		270x65 GL18C LAM



CENTRAL COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Verification No: 0021681

Doc ID: 266462

REV.	AMENDMENT	DATE

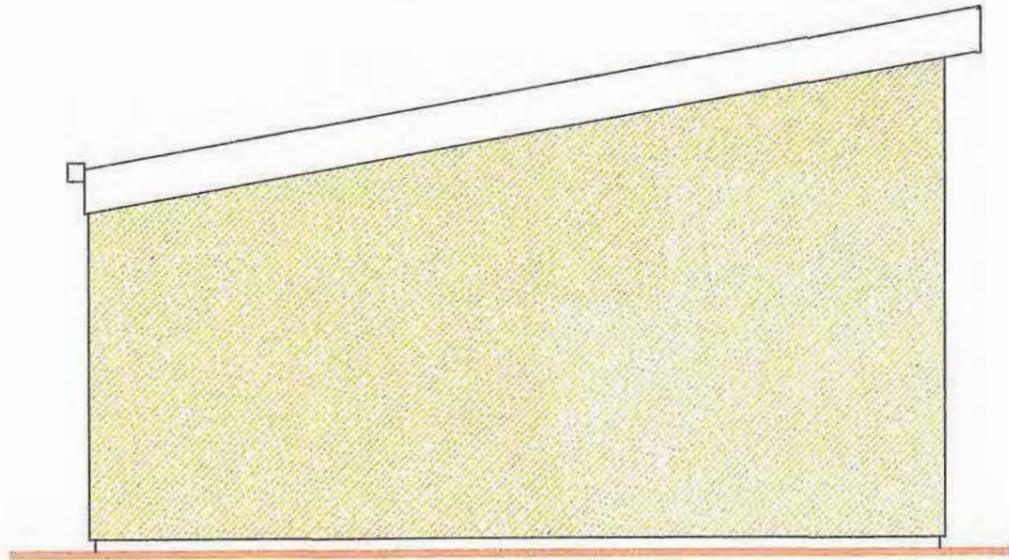
DRAWING TITLE
FLOOR PLAN

Ph: (03) 64372701
Fax: (03) 64370789
YXLEY
DESIGN & DRAFTING
109A South Road Penguin TAS 7316
ABN: 17 060 913 437
TDC Accreditation No. CC7086
Email: brian@yxleydrafting.com.au

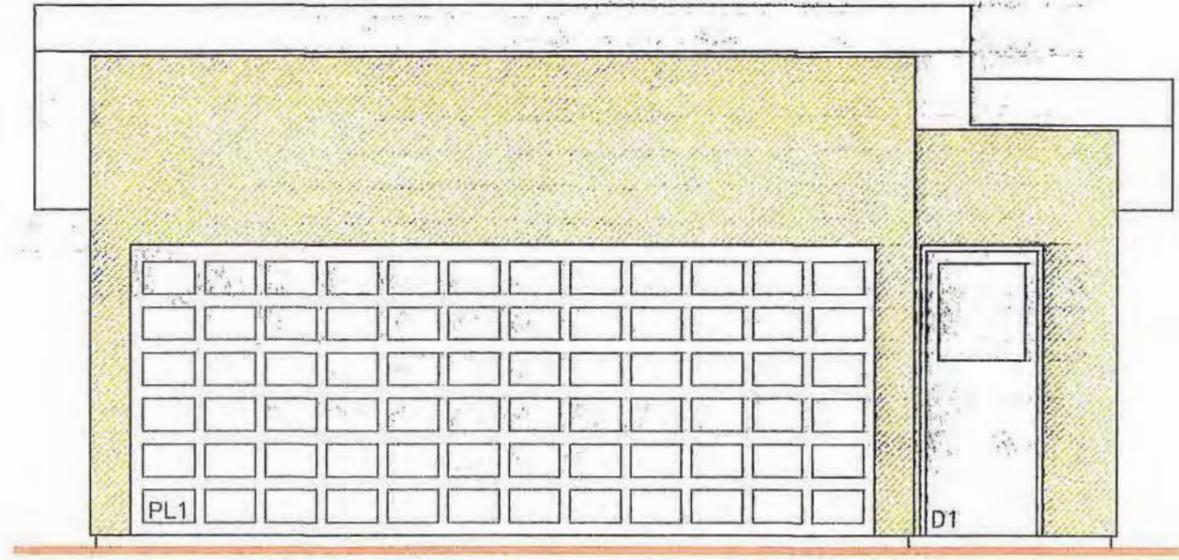
DATE: FEB 17
DRAWN BY: B.J.L.
CHECKED:
SHEET SIZE: A3
SCALE: 1:50

PROPOSED GARAGE & VERANDA
34 JERMYN STREET, ULVERSTONE
FOR
ADRIAN & SHARN SIELY

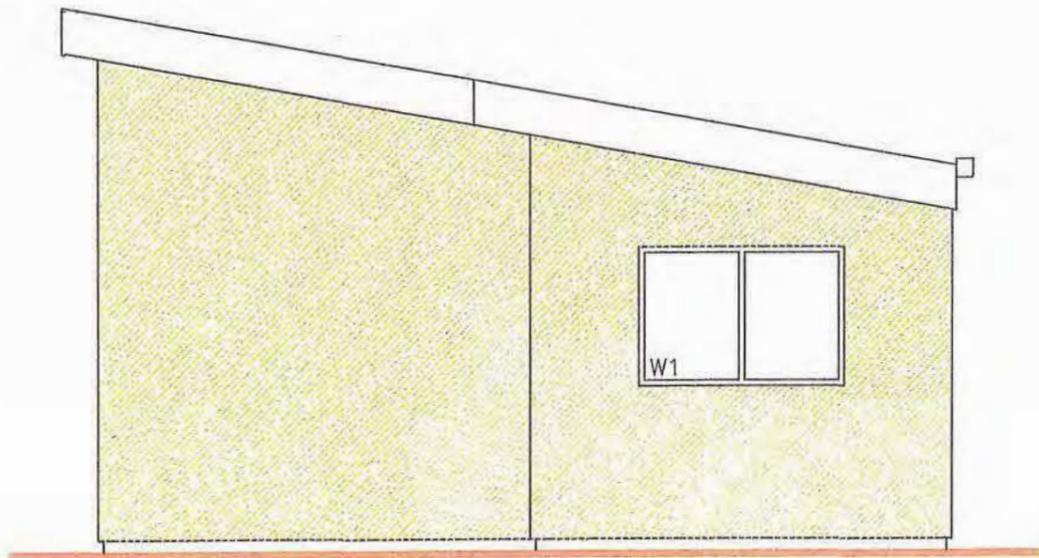
DRAWING No. 217031 -3 of 13
REV: 0
DATE: FEB 17



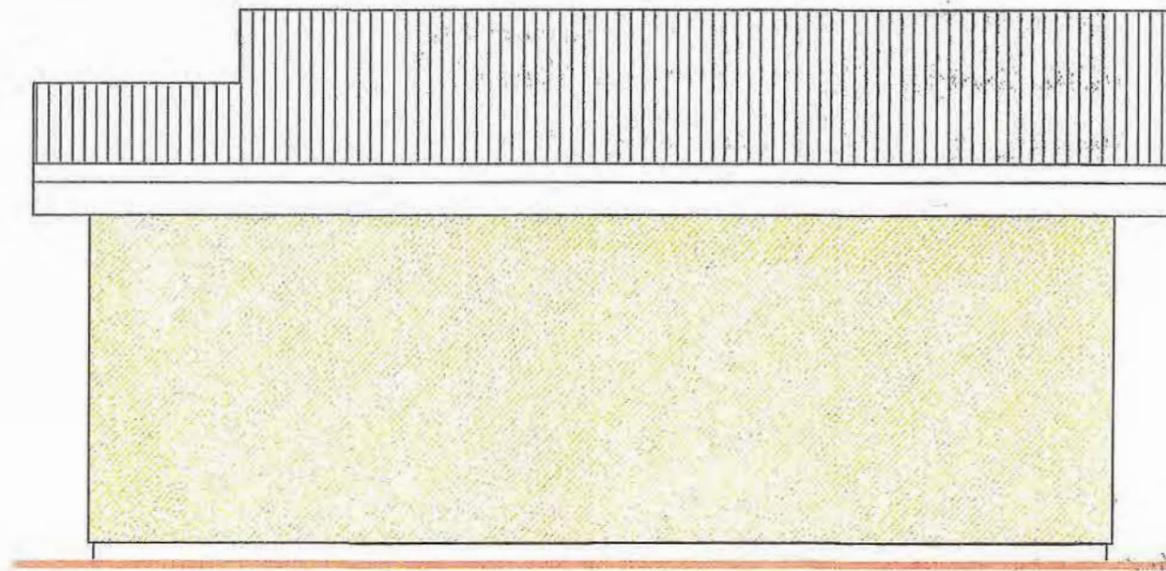
EASTERN ELEVATION



NORTHERN ELEVATION



WESTERN ELEVATION



SOUTHERN ELEVATION

NOIL
 & REAL ESTATE SERVICES
 15 MAR 2017
 No: 0A216181

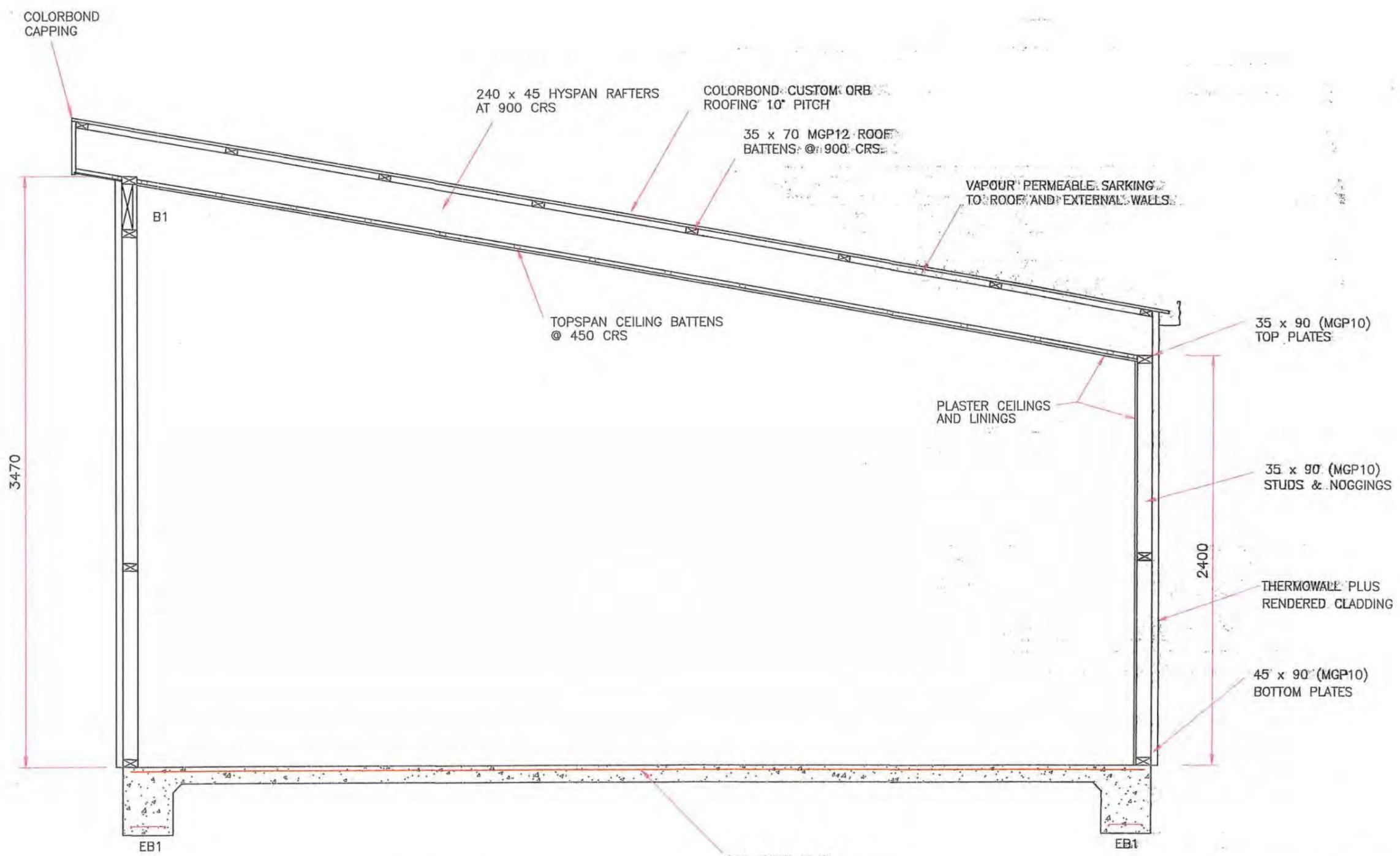
REV.	AMENDMENT	DATE

DRAWING TITLE
GARAGE ELEVATIONS

Ph: (03) 64372701
 Fax: (03) 64370789
YXLEY
 DESIGN & DRAFTING
 109A South Road, Penguin TAS 7316
 AHN: 17 000 943 437
 TCC Accreditation No: CC10821
 Email: brian@yxleydrafting.com.au

DATE: FEB 17
 DRAWN: BJAY
 CHECKED:
 SHEET SIZE: A3
 SCALE: 1 : 50
PROPOSED GARAGE & VERANDAH
34 JERMYN STREET, CULVERSTONE 2664
FOR ADRIAN & SHARNI SIELY

DRAWING No. **217031 -4** of 13
 REV: **0** DATE: **FEB 17**



SECTION **A**
1:20 **3**

100 THICK SLAB
SL72 MESH 20 COVER TOP
CONSOLIDATED BASE
FORTECON VAPOUR BARRIER

WARRIAPPOINTEMENT COUNCIL
WARRIAPPOINTEMENT & MUNICIPALITY SERVICES
15 MAR 2017
Application No: DA21681

REV.	AMENDMENT	DATE

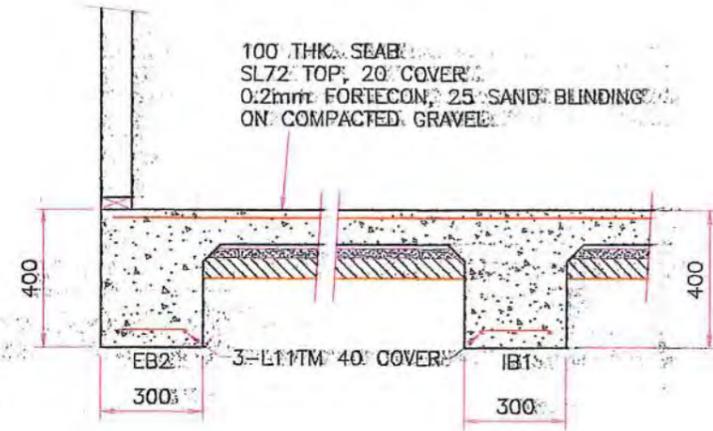
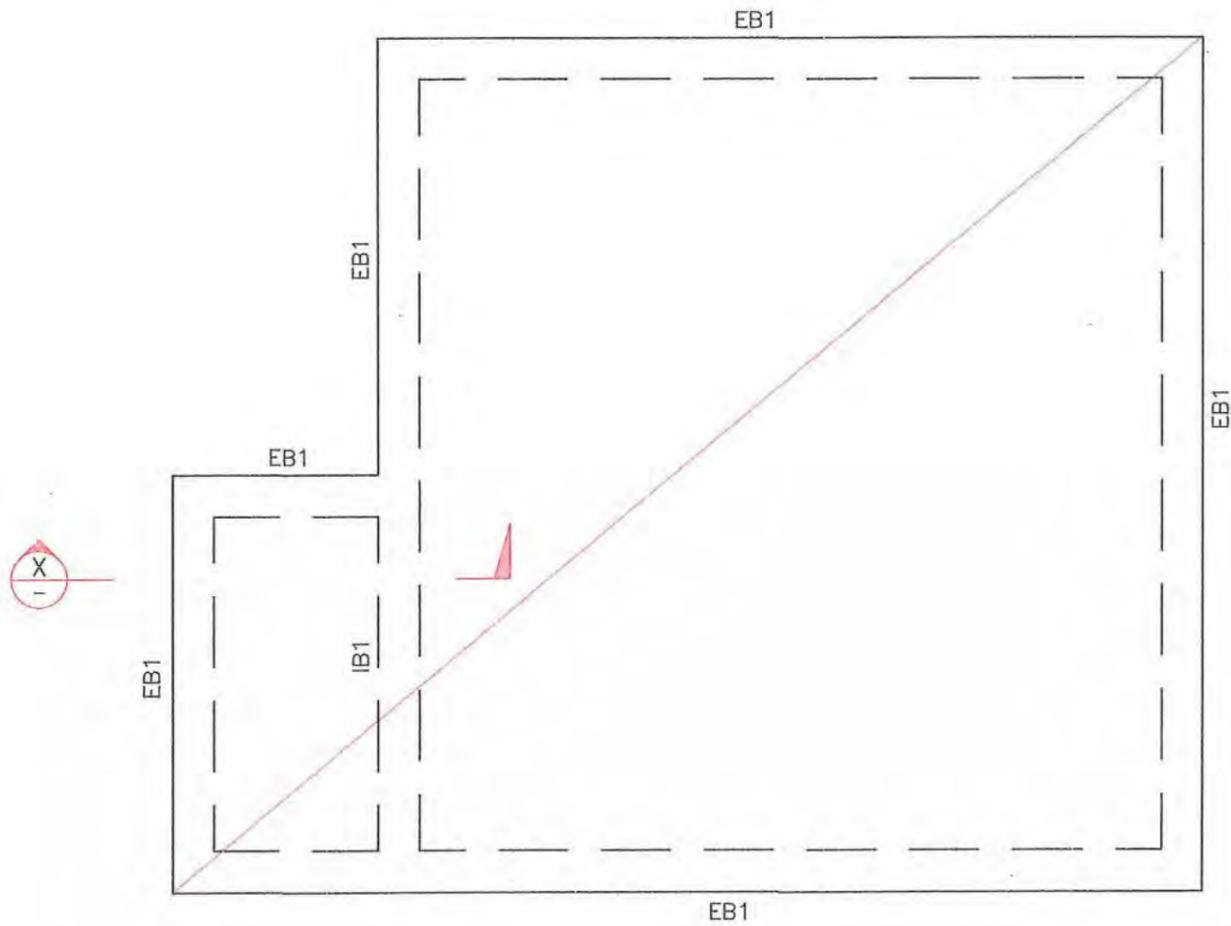
DRAWING TITLE
GARAGE SECTION

Ph: (03) 64372701
Fax: (03) 64370789
YAXLEY
DESIGN & DRAFTING
100A South Road Penguin TAS 73164
ABN: 17 069913 437
TCC Accreditation No: CCT006
Email: brian@yaxleydrafting.com.au

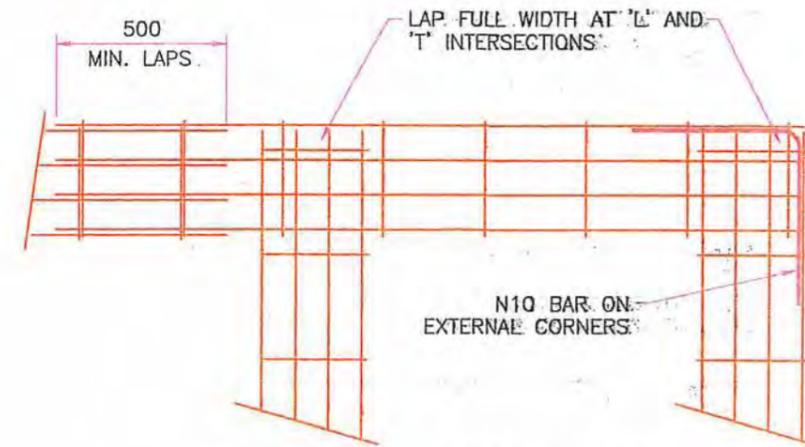
DATE	FEB 17
DRAWN	B.S.I.E.Y.
CHECKED	
SHEET SIZE	A3
SCALE	1:25

PROPOSED GARAGE & VERANDAH
34 JERMYN STREET, ULVERSTONE
FOR
ADRIAN & SHARNI SIELY

DRAWING No.	217031 -5 of 13
REV.	0
DATE	FEB 17



SECTION A
1:50



TRENCH MESH LAP DETAIL
NOT TO SCALE

REGULATORY SERVICES
 Received: 15 MAR 2017
 Job No: 0A2612
 Job ID: 26646

REV.	AMENDMENT	DATE

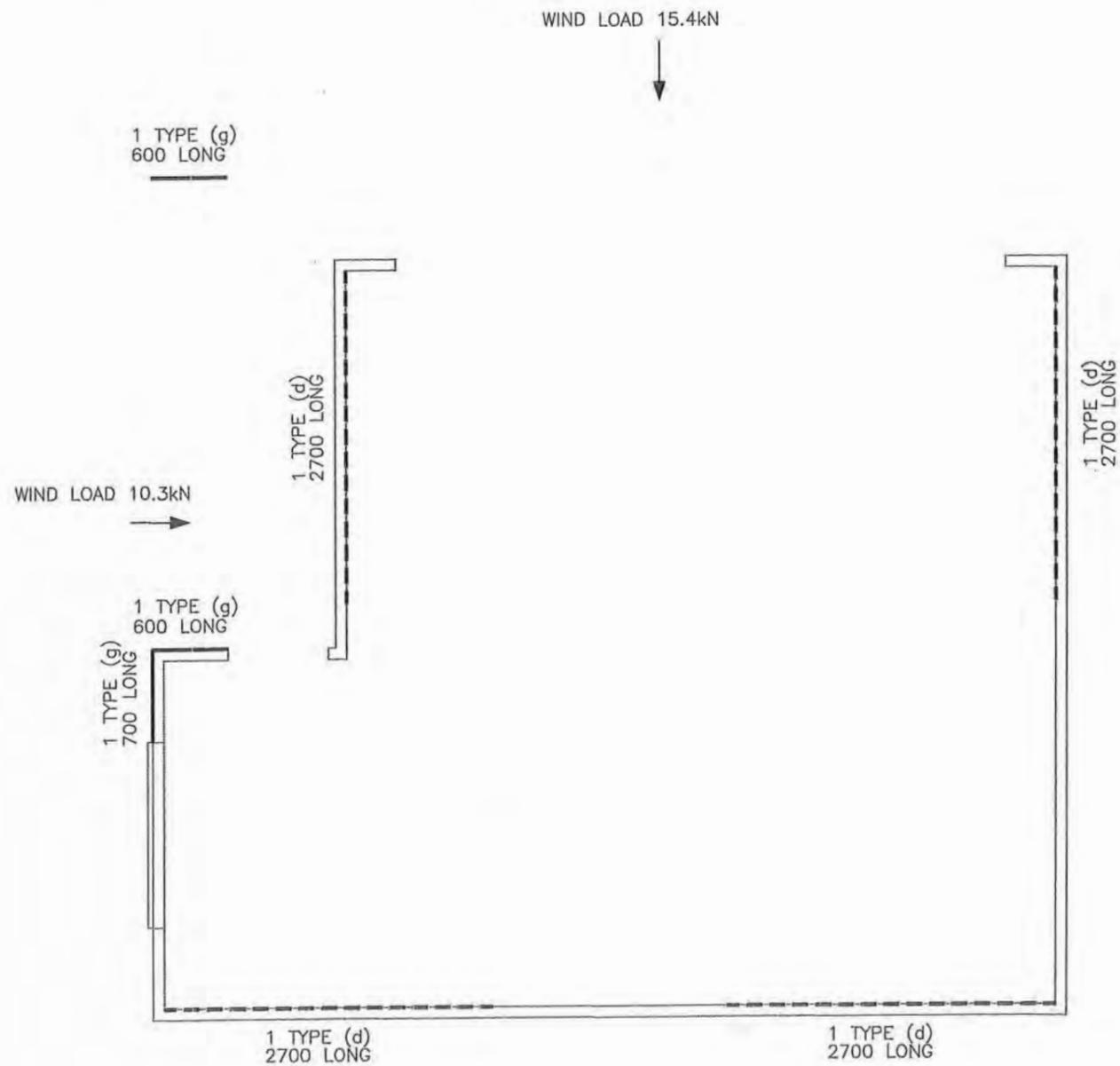
DRAWING TITLE
FOOTING PLAN

Ph: (08) 6432701
 Fax: (08) 64370769
YIXLEY
 DESIGN & DRAFTING
 102A South Road, Penguin TAS 7316
 ABN: 17 003 943 437
 TOS: Accreditation No. CC0992
 Email: brian@yixleydrafting.com.au

DATE: FEB 17
 DRAWN BY: B.J.M.
 CHECKED:
 SHEET SIZE: A3
 SCALE: 1:50

PROPOSED GARAGE & VERANDAH
 34 JERMYN STREET, ULVERSTONE
 FOR
 ADRIAN & SHARNI SIELY

DRAWING NO. **217031 -6** of 13
 REV: 0
 DATE: FEB 17



TIE DOWN DETAILS TO SUIT SINGLE STOREY N2 DWELLING WITH SHEET ROOF

JOINT/MEMBER	FIXING REQUIREMENTS
BOTTOM PLATE TO FLOOR SLAB (FIXING @ 900 CRS.)	*M10 DYNABOLT 35mm MIN EMBEDMENT TO MANUFACTURERS SPECIFICATION
TOP & BOTTOM PLATES TO STUDS (FIXING @ 900 CRS.)	*30 x 0.8mm GI STRAP WITH 3/ø2.8mm NAILS EACH END AS PER AS1684.2 TABLE 9.19 (d) *1 FRAMING ANCHOR WITH 1/75mm No.14 TYPE 17 SCREW AS PER AS1684.2 TABLE 9.19 (e)
ROOF TRUSSES TO TOP PLATES OR BEAMS (TRUSSES @ 900 CRS.)	*1 FRAMING ANCHOR WITH 4/ø2.8mm NAILS EACH END AS PER AS1684.2 TABLE 9.21 (b) *1/30 x 0.8mm GI STRAP WITH 3/ø2.8mm NAILS EACH END AS PER AS1684.2 TABLE 9.21 (c) *30 x 0.8mm GI STRAP OVER TRUSS WITH 2/ø2.8mm NAILS AS PER AS1684.2 TABLE 9.21 (d)
ROOF BATTENS TO TRUSS (TRUSSES @ 900 CRS.)	UPLIFT GENERAL 2/75 x ø3.05mm DIAMETER PLAIN SHANK NAILS FOR 45 x 70 BATTEN AS PER AS1684.2 TABLE 9.25 (b) UPLIFT ENDS 2/75 x ø3.05mm DIAMETER DEFORMED SHANK NAILS FOR 45 x 70 BATTEN AS PER AS1684.2 TABLE 9.25 (b)

... COUNCIL
LEVEL OF SERVICE

received: 15 MAR 2017

Application No: 0021681

Doc ID: 26646

----- 1 TYPE 'd' BRACING UNIT (REFER SHT.10)

----- 1 TYPE 'g' BRACING UNIT (REFER SHT.11)

ALL BRACING UNITS TO BE IN ACCORDANCE WITH AS1684.2 - 1999

NOTE:

THE BUILDER IS TO NOTE THAT ONLY THE MINIMUM REQUIREMENTS FOR BRACING ARE COVERED BY THOSE SHOWN ON THIS DRAWING. ADDITIONAL BRACES MAY BE INSTALLED AS REQUIRED TO PREVENT 'RACKING' OF FRAMES DURING ERECTION.

'N2' WIND CLASSIFICATION ASSUMED

REV.	AMENDMENT	DATE

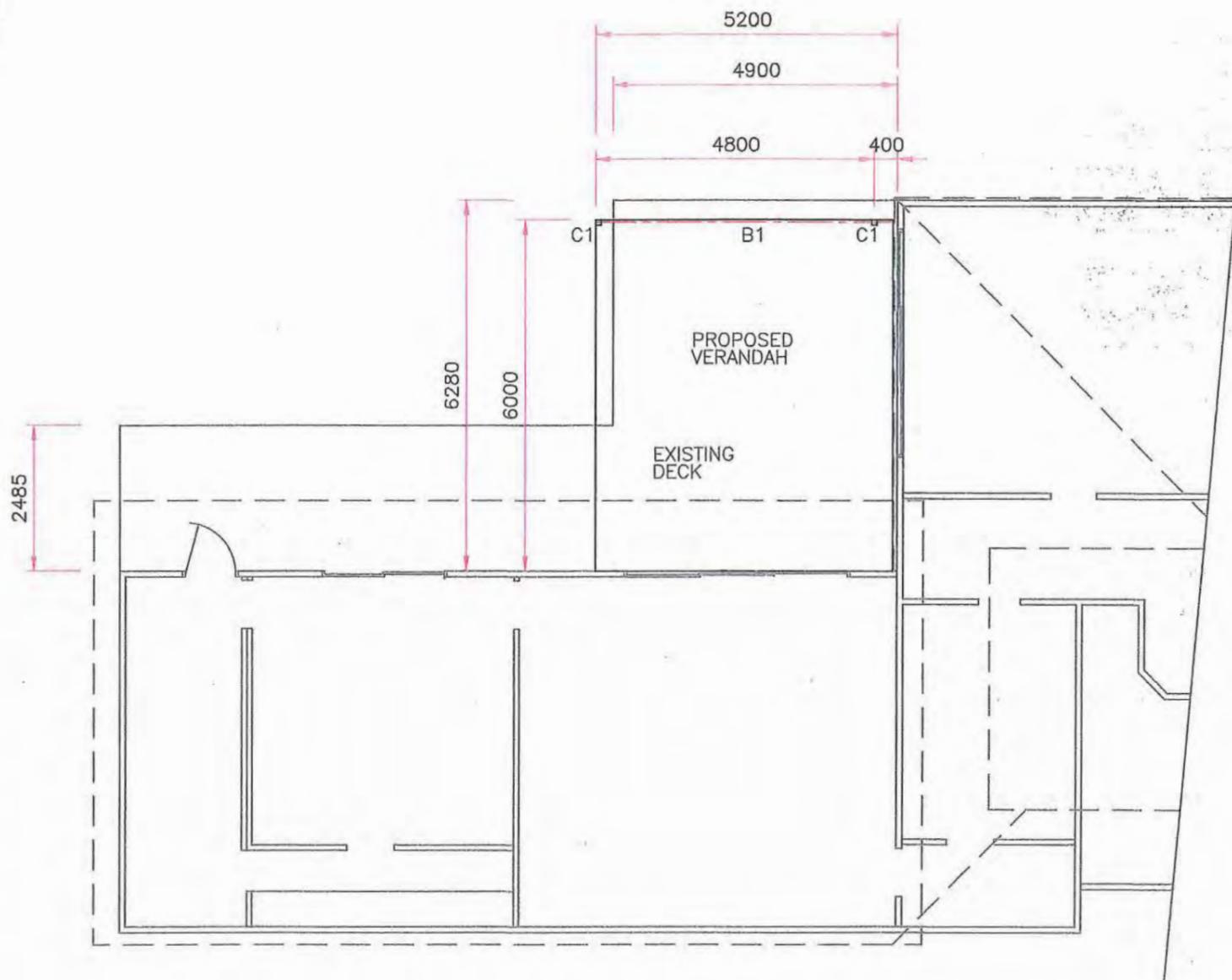
DRAWING TITLE
BRACING PLAN

Y XLEY
DESIGN & DRAFTING
100A South Road, Fingert TAS 7310
Ph: (03) 64372701 Fax: (03) 64370769
TCC Accreditation No. CC1262
Email: brlan@yxleydrafting.com.au

DATE: FEB 17
DRAWN BY: BJLY
CHECKED:
SHEET SIZE: A3
SCALE: 1:50

PROPOSED GARAGE & VERANDAH
34 JERMYN STREET, ULVERSTONE
FOR
ADRIAN & SHARIN SIELY

DRAWING NO. 217031 -7 of 13
REV. 0 DATE FEB 17



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No: DA216181

REV.	AMENDMENT	DATE

DRAWING TITLE
VERANDAH PLAN

Ph: (03) 64372701
Fax: (03) 64370789

YOXLEY
DESIGN & DRAFTING

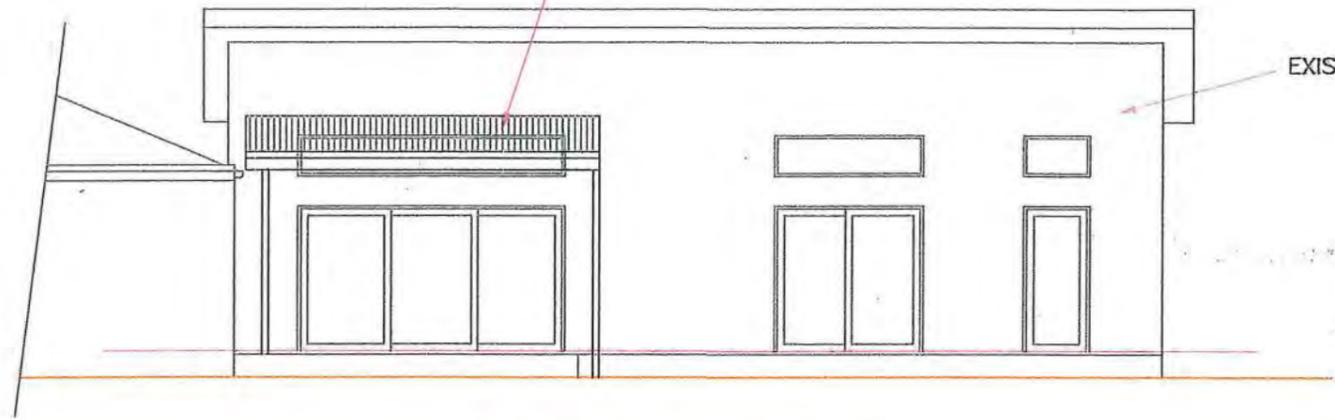
105A South Road Penguin TAS 7216
ASB: 57 060 943 437
TCC Association No: CC2008
Email: b.kim@yoxleydesign.com.au

DATE: FEB 17
DRAFT: B.W.Y.
CHECKED:
SHEET SIZE: A3
SCALE: 1:50

PROPOSED GARAGE & VERANDAH
34 JERMIN STREET, SILVERSTONE
FOR
ADRIAN & SHARNI SIELEY

DRAWING No. 217031 -8 of 13
REV: 0
DATE: FEB 17

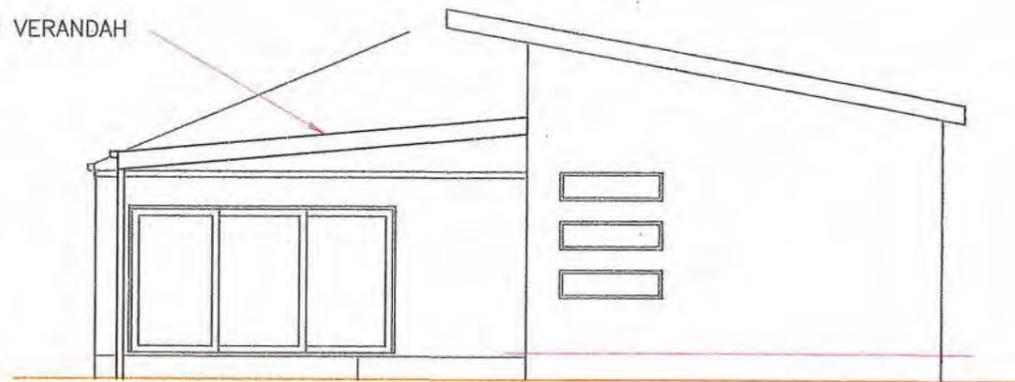
COLORBOND CUSTOM ORB
ROOFING - 5° PITCH



EXISTING RESIDENCE

NORTHERN ELEVATION

PROPOSED VERANDAH



WESTERN ELEVATION

COUNCIL
MUNICIPALITY SERVICES
Received: 15 MAR 2017
Doc ID: 0A21681
Doc ID: 266462

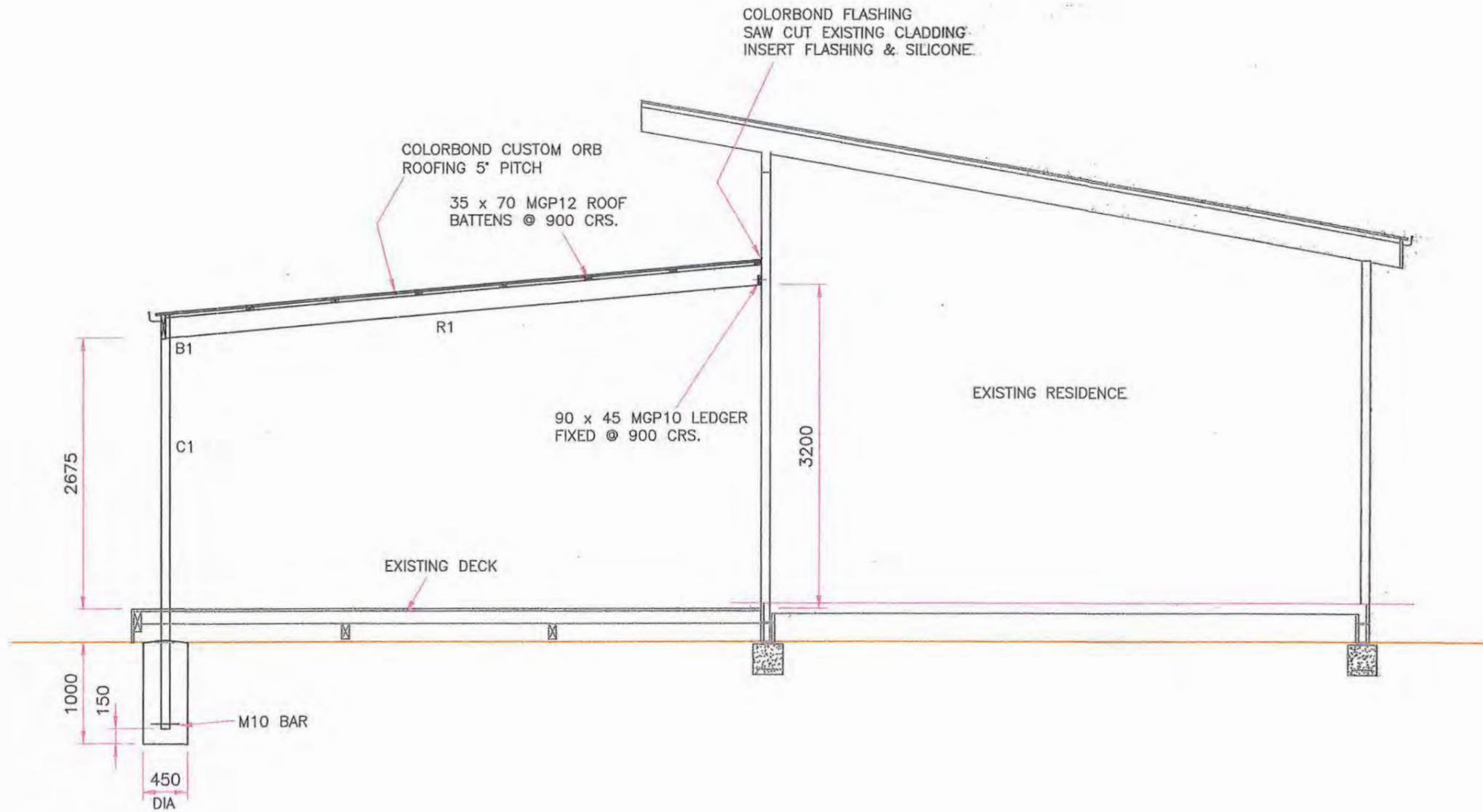
REV.	AMENDMENT	DATE

DRAWING TITLE
VERANDAH ELEVATION


 Ph: (03) 64372701
 Fax: (03) 64370760
 DESIGN & DRAFTING
 103A South Road, Penguin TAS 7510
 ABN: 17 062843 457
 TDC Accreditation No. C27025
 Email: info@yoxleydrafting.com.au

DATE: FEB 17
 DRAWN BY: BJY
 CHECKED BY: [blank]
 SHEET SIZE: A3
 SCALE: 1:100
PROPOSED GARAGE & VERANDAH
34 JERMYN STREET, ULLERSTONE
FOR
ADRIAN & SHARNI SIELY

DRAWING No. **217031 -9** of 13
 REV: **0** DATE: **FEB 17**



Received: 15 MAR 2017

Applicant: ADRIAN & SHARNI SIELY

266462

REV.	AMENDMENT	DATE

DRAWING TITLE
VERANDAH SECTION


 PH: (03) 64372701
 FAX: (03) 64370788
 DESIGN & DRAFTING
 108A South Road, Penguin TAS 7316
 ABN: 17 000 943 437
 TQC Accreditation No. CC7083
 Email: brian@yxleydrafting.com.au

DATE	FEB 17
DRAWN	BJL
CHECKED	
SHEET SIZE	A3
SCALE	1 : 50

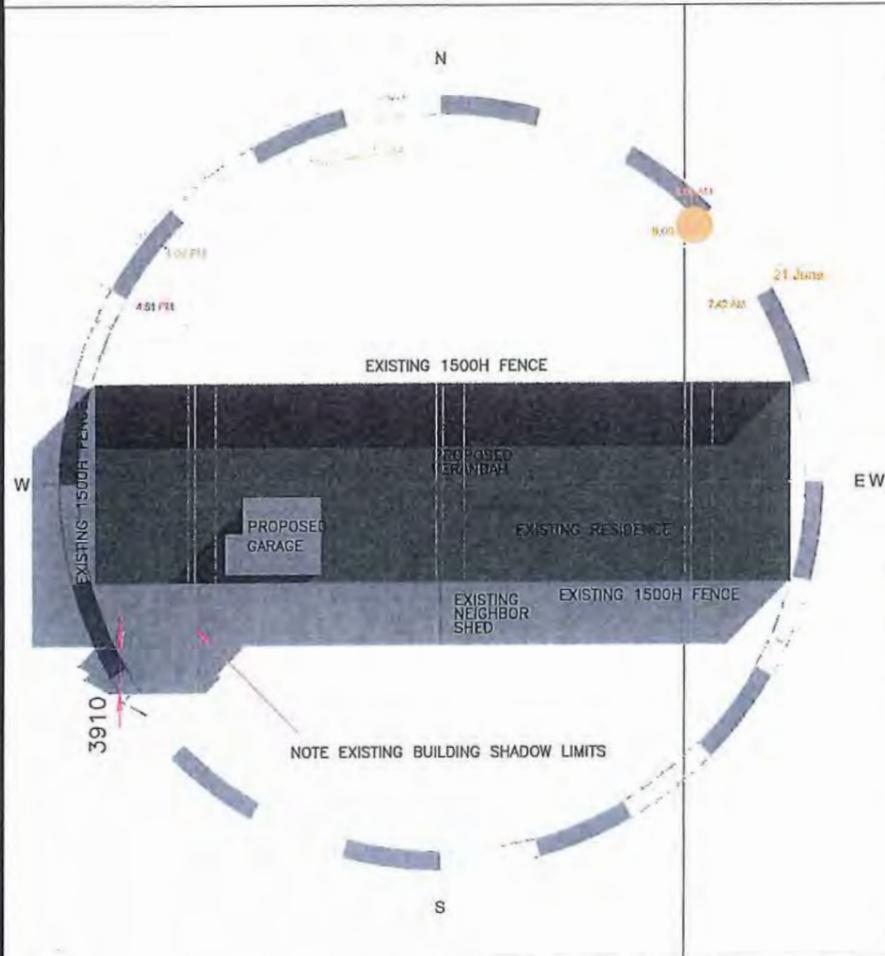
PROPOSED GARAGE & VERANDAH
 34 JERMYN STREET, ULVERSTONE
 FOR
 ADRIAN & SHARNI SIELY

DRAWING No	217031 -10 of 13
REV.	0
DATE	FEB 17

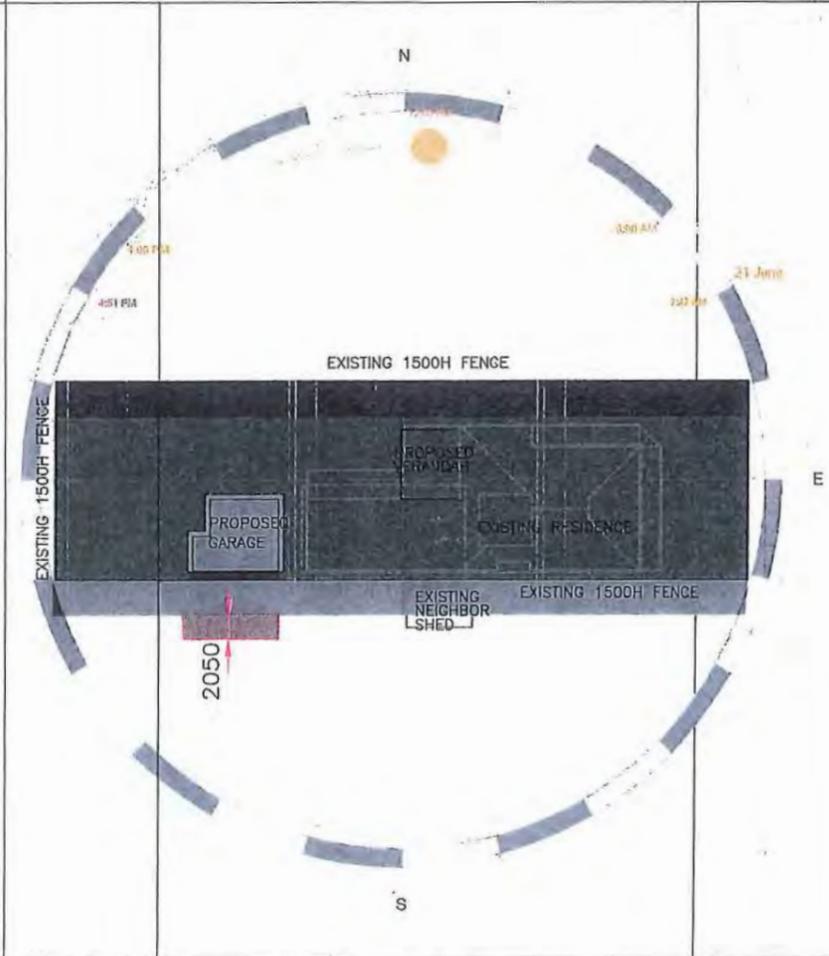
Received: 03 APR 2017

Application No: D221681

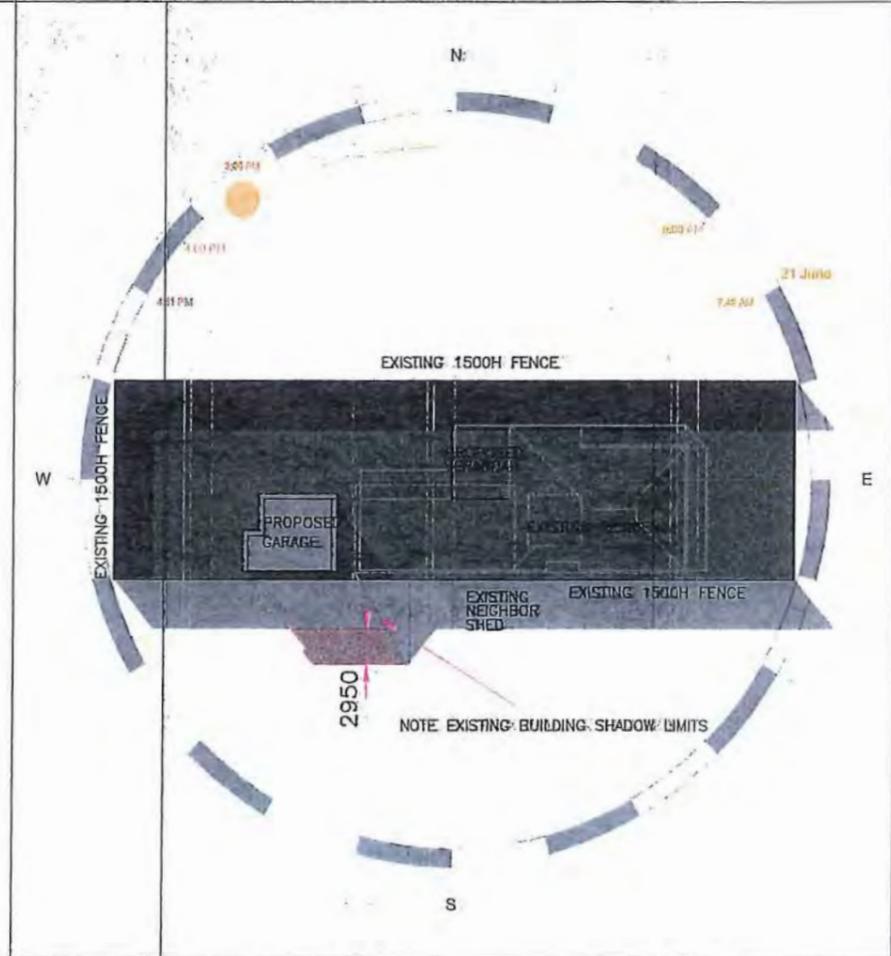
Doc. ID: 266462



9.00am - 3910 SHADOW CAST OVER EXISTING FENCE TO NEIGHBORING PROPERTY



12.00pm - 2050 SHADOW CAST OVER EXISTING FENCE TO NEIGHBORING PROPERTY



3.00pm - 2950 SHADOW CAST OVER EXISTING FENCE TO NEIGHBORING PROPERTY

REV.	AMENDMENT	DATE

DRAWING TITLE
SHADOW PLAN

21st JUNE
LAT -41.15
LONG 146.17

(OVER SHADOWING IN RED)

Ph: (03) 64372701
Fax: (03) 64370789

YXLEY

DESIGN & DRAFTING

100A South Road, Brighton TAS 7316
ABN: 17 000 943 437

TCC Accredited No. 0270062
Email: briano@yxleydrafting.com.au

DATE: FEB 17

DRAWN BY: B.J.W.

CHECKED:

SHEET SIZE: A3

SCALE: 1:600

PROPOSED GARAGE & VERANDAH
34 JERMYN STREET, ULVERSTONE
FOR
ADRIAN & SHARNI SIELY

DRAWING NO: 217031-14 of 14

REV: 1 DATE: MAR 17

Local Government

NOTICE OF APPLICATION FOR LAND USE PERMIT

(Section 37(3) Land Use Planning and Approvals Act 1993)

The following application for use and development of land has been received:-

Application No: DA 2017/21
 Site: 48 Cascade Road
 ROMAINE (CT: 104196/6)
 (Outbuilding) Shed

Proposal: Reliant on performance criteria for grant of permit - Clause 13.4.3 Location and configuration of development (P4)

The application and documentation may be viewed at the Burnie City Council Offices, Ground Floor, 80 Wilson Street, Burnie between 8.30am - 5.00pm Monday to Friday inclusive or on Council's website at www.burnie.net

Any person may make representation relating to an application. Representations regarding the proposal should be in writing addressed to the General Manager, Burnie City Council, PO Box 973, Burnie 7320 or burnie@burnie.net to be received no later than 5.00pm on 28 April 2017.

Dated: 8 April 2017
 Andrew Wardlaw
 GENERAL MANAGER

www.burnie.net

DOWNLOAD THE DOMAIN APP TODAY

Domain

Local Government

CENTRAL COAST COUNCIL

19 King Edward Street
 Ulverstone, Tasmania 7315
 Tel: 03 6429 8900
 Fax: 03 6425 1224
www.centralcoast.tas.gov.au

APPLICATIONS FOR PLANNING PERMITS

S.57 Land Use Planning and Approvals Act 1993

The following applications have been received:

- Location: 405 Penguin Road & CT35699/1 Penguin Road, West Ulverstone
 Proposal: Visitor Accommodation (four serviced apartments) - variation to rear and side boundary setback; location of car parking and loading and unloading of vehicle; and proximity to a waterway standards
 Application No.: DA216107
- Location: 8 Tasma Parade, West Ulverstone
 Proposal: Visitor Accommodation (four serviced apartments) - variation to rear and side boundary setback; location of car parking and loading and unloading of vehicle; and proximity to a waterway standards
 Application No.: DA216132
- Location: 6 Davis Street, Leith
 Proposal: Residential (dwelling) and outbuilding (shed) - development exposed to a natural hazard (landslide)
 Application No.: DA216167
- Location: 146A Main Street, Ulverstone
 Proposal: Residential (multiple dwellings x three) - variation to rear boundary setback and building envelope
 Application No.: DA216171
- Location: 22 & 22A Alexandra Road, Ulverstone
 Proposal: Residential (multiple dwellings x four) - variation to front and rear boundary setback; open space; proximity to a rail line; and car parking standards
 Application No.: DA216180
- Location: CT237081/1 McKennas Road, Gawler
 Proposal: Subdivision (dwelling excision) - discretionary use and development in a Rural Resource zone
 Application No.: DA216189
- Location: 188 Stubbs Road, Turners Beach
 Proposal: Residential (dwelling) and outbuilding (garage) - variation to standard for setback from the Rural Resource zone
 Application No.: DA216191
- Location: 24 & 24A King Edward Street, Ulverstone
 Proposal: Demolition of a building and General retail and hire (pharmacy) - variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards
 Application No.: DA216200

Local Government

KENTISH COUNCIL

APPLICATION FOR PLANNING PERMIT

S.57 LAND USE PLANNING AND APPROVALS ACT 1993

Applications for the following have been received:

APPLICATION NO: DA 2017/0024

PROPOSAL: Proposed pilot accommodation with reliance on Performance Criteria under the Cradle Gateway Specific Area Plan (residential use, pitch of roof & colour of cladding)

SITE: 3845 Cradle Mountain Road, Cradle Mountain
 APPLICATION NO: DA 2017/0025

PROPOSAL: Proposed shed extension with reliance on Performance Criteria under the Rural Living zone provisions (reduced setback & site coverage)

SITE: 56 Cornwall Road, Acacia Hills
 APPLICATION NO: DA 2017/0026

PROPOSAL: Proposed pontoon with reliance on Performance Criteria under the Water and Waterways Code

SITE: West Kentish Road, West Kentish (CT 242900/2)

The applications and associated materials will be available for inspection at the Council Office during normal office hours or at www.kentish.tas.gov.au for a period of fourteen (14) days (not including the period 14th of April 2017 to 18th of April 2017) from the date of publication of this notice. During this time, any person may make representation in relation to the proposal by letter, addressed to the General Manager, PO Box 63, Sheffield 7306 or by e-mail to council@kentish.tas.gov.au.

WEED SPRAYING PROGRAM

Kentish Council advises that its roadside weed spraying program will commence Monday 10 April 2017 for a period of approximately 6 weeks.

Property owners may request that their property frontage not be included in the spraying program by contacting Paul Vlachic on 0428 519 086 before 10 April 2017.

Further information regarding registration on the No Spray List and the property owner's responsibilities can be found at www.kentish.tas.gov.au

Dated at Sheffield this 8th day of April 2017.

Gerald Monson
 GENERAL MANAGER

Local Government

EASTER GARBAGE/RECYCLING COLLECTION

Residents are advised that there will be no interruption to the normal household refuse wheeler bin collection or kerbside recycling collection schedule over the Easter period for 2017.

WASTE TRANSFER STATION CLOSURE NOTICE

The Wynyard Waste Transfer Station will be closed on Good Friday, Friday 14th April 2017 and will reopen at 10am Saturday 15th April 2017

APPLICATIONS FOR PLANNING PERMITS

Notice is given that applications have been made for the following discretionary permits:-

No: DA 40/2017
 Location: 106 Inglis Street Wynyard
 Applicant: Abel Drafting Services
 Zoning: General Residential
 Use Class: Residential
 Proposal: Carport
 Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P3)

No: DA 44/2017
 Location: 5 Ingildale Drive Wynyard
 Applicant: Luke Jones, Hotondo Homes North West Tas
 Zoning: General Residential
 Use Class: Residential
 Proposal: Dwelling
 Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P1, P3) & Sunlight and overshadowing for all dwellings (10.4.4 P1)

No: SD 2016
 Location: 130 Reservoir Drive Wynyard (CT 234487/1)
 Applicant: Micheal Wells, EnviroPlan
 Zoning: Rural Living
 Use Class: Residential & Resource Development
 Proposal: Subdivision (1 Into 2 lots)
 Discretionary Matter: Subdivision (13.4.7 P1, P2), Retoolation of an electricity supply to new lots on a plan of subdivision (13.4.8 P1) & Use likely to be exposed to a natural hazard (E6.5.2 P1)

Local Government

TEMPORARY ROAD CLOSURE

19 King Edward Street
 Ulverstone, Tasmania 7315
 Tel: 03 6429 8900
 Fax: 03 6425 1224
www.centralcoast.tas.gov.au

The application and associated plans and documents will be available for inspection during normal office hours for the exhibition period at the Council Office, Saunders Street, Wynyard or viewed on Council website www.warwyn.tas.gov.au. Any person who wishes to make representations in accordance with the Land Use Planning and Approvals Act 1993, must do so during the exhibition period. Representations in writing will be received by the General Manager, PO Box 168, Wynyard, 7325, email council@warwyn.tas.gov.au by Wednesday 26 April 2017.

Dated at Wynyard this 8th day of April 2017
 Michael Stretton
 General Manager
 PO Box 168
 Wynyard 7325

Location: 34 Jermyrn Street, Ulverstone
 Proposal: Residential (outbuilding - garage and verandah) - variation to side boundary setback standard
 Application No.: DA216181

The applications may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during office hours (Monday to Friday 8.00am to 4.30pm) and on the Council's website. Any person may make representation in relation to the applications (in accordance with s.57(5) of the Act) by writing to the General Manager, Central Coast Council, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the Local Government (Meeting Procedures) Regulations 2015. Representations must be made on or before 26 April 2017.

EASTER WASTE ARRANGEMENTS

Notice is given of the following arrangements for Council Waste Management and Recycling services during the 2017 Easter period.

Operating times are as normal outside of the changes specified below:

Domestic Refuse Collection

- Collection scheduled for Friday, 14 April (Good Friday) in the Penguin area will occur on Thursday, 13 April

Resource Recovery Centre

- Closed on:
 - Friday, 14 April (Good Friday)
 - Sunday, 16 April (Easter Sunday)
 - Monday, 18 April (Public Holiday)

Castra Transfer Station

- Closed on Friday, 14 April (Good Friday)

Preston Transfer Station

- Closed on Friday, 14 April (Good Friday)

South Riana Transfer Station

- Closed on Sunday, 16 April (Easter Sunday)

INTERRUPTIONS TO TRAFFIC - GUNNS PLAINS ROAD, GUNNS PLAINS

Notice is given to all motorists that rehabilitation works on Gunns Plains Road, Gunns Plains will commence on Monday, 10 April 2017 for approximately four months. Some minor delays may be experienced.

For further information please contact the Council on tel. (03) 6429 8900.

The Council regrets any inconvenience caused by the work.

Dated at Ulverstone this 6th day of April, 2017.
 SANDRA AYTON
 General Manager

Local Government

WEST COAST COUNCIL

INVITATION FOR EXPRESSIONS OF INTEREST

EDUCATION & TRAINING ADVISORY COMMITTEE

West Coast Council is seeking Expressions of Interest from suitably qualified and experienced individuals with West Coast interests for appointment to Council's Education & Training Advisory Committee.

The primary objective of this advisory committee is to drive forward and enhance education and training initiatives for the region, and to make recommendations to Council on critical issues and education and training opportunities generally. The committee will meet approximately six times per year, reporting to Council formally each quarter.

Members will be expected to focus on (and represent) the broad interests of the West Coast community, rather than those of any particular individual or organisation(s).

Members will be formally appointed by Council and membership is entirely voluntary.

Expressions of interest must address the Selection Criteria and provide details of the applicant's experience, skills, knowledge and qualifications and how they would apply these to assist in the Committee's functions as outlined in the Education & Training Advisory Committee Charter.

The charter, as well as further information, can be obtained by contacting the committee Secretariat, Simon Lee on 0419 390 912 or via email ecodev@westcoast.tas.gov.au

Expressions of interest should be forwarded to: Education & Training Advisory Committee Selection Panel, PO Box 63 Queenstown Tas 7467.

Expressions of Interest close 5pm Friday 28 April 2017.

TA5164292

Public Notices

TEMPORARY ROAD CLOSURE

ANZAC DAY - APRIL 25

In accordance with the Local Government (Highways) Act 1982, the public is advised that for the purpose of activities connected with the preparation and staging of the Latrobe ANZAC Day Dawn Service and Citizens Commemorative Service on April 25, the said event being declared to be a public function for the purpose of the section, the following roads will be closed to through traffic -

- JAMES STREET between Gilbert Street and George Street, Latrobe at 5:30am until 5:55am and 9:30am until 9:55am
- GILBERT STREET between James Street and Hamilton Street from 5:40am until 6:00am and from 9:45am until 10:00am.
- GILBERT STREET from Hamilton Street to Barclay Street including the junction of Weld Street and access to the Station Square car park from 5:40am until 6:45am and again from 9:45am until 11 am.

Through traffic during the road closures will be detoured via Cotton Street, Latrobe.

In the event of wet weather, the Services will be held at the Latrobe Memorial Hall.

Dated at Latrobe this 8th day of April, 2017.
 P Freshney, Mayor

Latrobe Council, 170 Gilbert Street, Latrobe, 7307

Local Government

WYNARD COUNCIL

WILKES THE BEST COFFEE NEARBY?

I FOUND AN AMAZING DOG WALKER

Join the social network for your suburb

Every day over 6,500 suburbs across Australia use Naboto get better connected with their local area. Here you can share recommendations, discover events, and buy, sell or borrow items all with people local to you.

nabo.com.au

Available on the App Store and Google Play

Local Government

EASTER HOLIDAY 2017

OPENING HOURS

The Advocate's offices at 39-41 Alexander Street, Burnie and 45 Best St, Devonport will be closed from 5pm, Thursday, April 13 and reopen on Tuesday, April 18 at 9am.

The Advocate will not be published on Good Friday.

The Advocate Classifieds Phone Lines will be open from 1.30 till 5.30pm on:

- Saturday, April 15
- Easter Sunday, April 16
- Monday, April 17

Phone 1300 363 789
 Email: classifieds@theadvocate.com.au

The Advocate

A new INSIGHT

Annexure 3

Kellie Malone

From: clan banim <dmmbanim@gmail.com>
Sent: Sunday, 23 April 2017 11:28 PM
To: switch
Subject: DA 216181 General Manager 21/4/2017

A Banim in representation raises the issue of overshadowing as a result of addition of garage which will increase the already extensive length of continuous building.

The roofing line/s will be extended not only by the width of the proposed garage but the garage roof is carried eastwards for 2.5 m. beyond the garage wall

"to mate into" a previous existing extension.

The plans show a space of some 2.5 m available to the north of the proposed garage which could be used to extend the distance between fence and the southern face of the garage from proposed 0.750 m to 1.5 m.at least.

Thank you

Annexure 4



34 Jermyn Street, Ulverstone



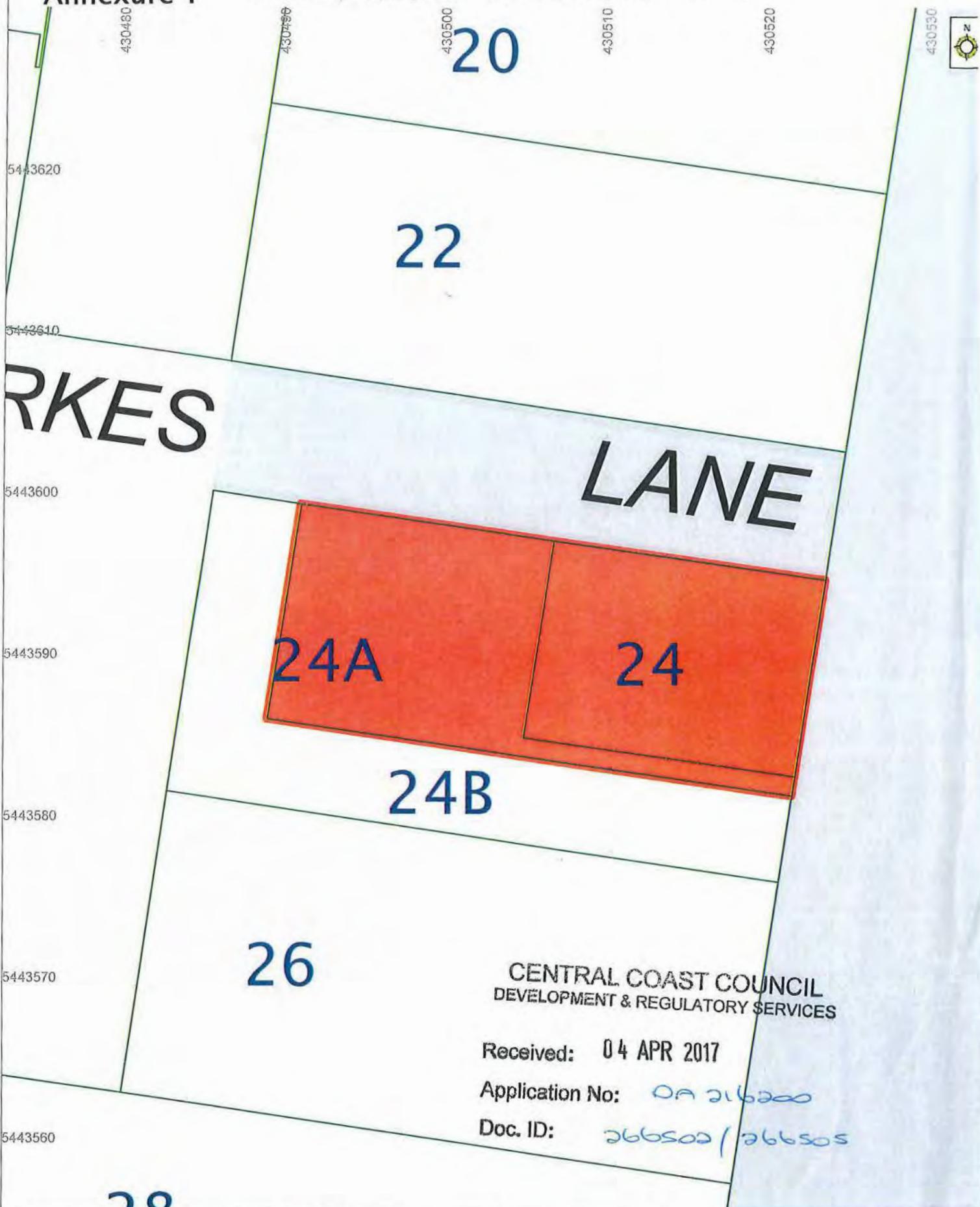
View of carport and shed that is to be demolished (at end of driveway)



View of adjoining property to the south – 36 Jermyn Street, Ulverstone



36 Jermyn Street, Ulverstone –adjoining property to the south showing existing shadow impact at 12 noon – 29 April 2017

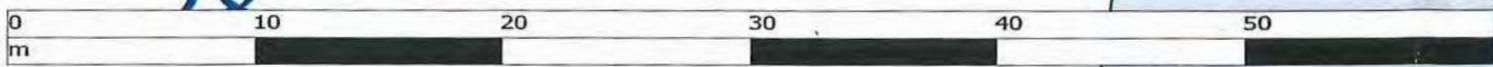


CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No: DA 216200

Doc. ID: 266500 / 266505



Scale 1:304.279

Page: 26

Annexure 2

CENTRAL COAST COUNCIL

DEVELOPMENT & REGULATORY SERVICES

CENTRAL COAST COUNCIL

PO Box 220

19 King Edward Street

ULVERSTONE TASMANIA 7315

Ph: (03) 6429 8900

Email: planning@centralcoast.tas.gov.au

www: centralcoast.tas.gov.au

Received: 05 APR 2017

Application No:

Doc. ID:



CENTRAL COAST COUNCIL

Land Use Planning and Approvals Act 1993

Central Coast Interim Planning Scheme 2013

PLANNING PERMIT APPLICATION

Office Use Only

Application No DA 216200

Date Received _____

Zone Gen. Business

Fee \$ Nil

Permitted

Discretionary

NPR

Use or Development Site:

Site Address

24 & 24A King Edward Street, Ulverstone.

Certificate of
Title Reference

Volume 150031 Folios 1 & 2

Strata Plan

Land Area

520 m2

Heritage Listed Property

YES

NO

Applicant/s

First Name

Jacob

Middle
Name

Weeda

Surname or
Company name

Weeda Drafting & Building
Consultants Pty. Ltd.

Mobile

Postal Address:

51 Leighlands Avenue,

Phone No:

6425 2862

Ulverstone

7315

Email address:

jrweeda@bigpond.com

Owner (Note – if more than one owner, all names must be indicated)

First
Name

Wood

Middle
Name

Colin

Surname

NOTEWORTHY NOMINEES Pty Ltd.

Phone No

6425 2286

Postal Address:

67 Reibey Street

Ulverstone

7315

Email: fullife@bigpond.com

PERMIT APPLICATION INFORMATION

(If insufficient space, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use **A New Pharmacy Shop**

Use Class **6**
Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development

Demolition of a Cottage & the Construction of a new Pharmacy Shop.

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)
\$ **550,000 Estimated** Estimate/ Actual

Total floor area of the development **404.55 m2**m²

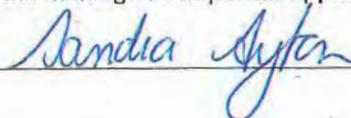
Notification of Landowner

If land is NOT in the applicant's ownership

I, **JACOB WEEDA J.P.**, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant  Date **5/4/2017**

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

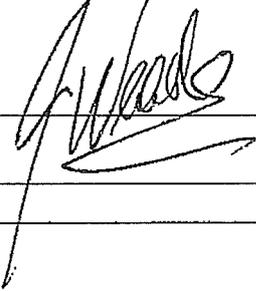
Central Coast Council consents to the making of this permit application. *(street awning)*
General Managers Signature  Date **6/4/17**

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister
responsible for the land, consent to the making of this permit application.
Minister (Signature) _____ Date **N/A**

Applicants Declaration

I/ we Jacob Weeda, JP
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s  Date 5/4/2017

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	



DA216200

6 April 2017

I, Sandra Ayton, General Manager of Central Coast Council, under Section 52 of the *Land Use Planning and Approvals Act 1993*, hereby give my written permission for the lodgement of a planning application DA216200 for demolition of a building and General retail and hire (pharmacy) – variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards at 24 and 24A King Edward Street, Ulverstone. The application includes the construction of a cantilevered awning over the public footpath.

Sandra Ayton
GENERAL MANAGER

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 06 APR 2017

Application No:

Doc. ID:

SEARCH OF TORRENS TITLE

VOLUME 150031	FOLIO 0
EDITION 1	DATE OF ISSUE 20-Nov-2007

SEARCH DATE : 05-Apr-2017

SEARCH TIME : 01.41 PM

DESCRIPTION OF LAND

Town of ULVERSTONE

The Common Property for Strata Scheme 150031

Derivation : Part of Lot 7 Sec. D. - Gtd. to G. McDonald.

Prior CT 225042/1

SCHEDULE 1

STRATA CORPORATION NUMBER 150031, 24 KING EDWARD STREET,
ULVERSTONE

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No:

Doc. ID:

SEARCH OF TORRENS TITLE

VOLUME 150031	FOLIO 1
EDITION 3	DATE OF ISSUE 24-Aug-2016

SEARCH DATE : 05-Apr-2017

SEARCH TIME : 01.41 PM

DESCRIPTION OF LAND

Town of ULVERSTONE

Lot 1 on Strata Plan 150031 and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/30 interest

Derived from Strata Plan 150031

Derivation : Part of Lot 7 Sec. D. - Gtd. to G. McDonald.

SCHEDULE 1

M585713 TRANSFER to NOTEWORTHY NOMINEES PTY LTD Registered
24-Aug-2016 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 150031 folio 0

E52866 MORTGAGE to Bendigo and Adelaide Bank Limited
Registered 24-Aug-2016 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No:

Doc. ID:

SEARCH OF TORRENS TITLE

VOLUME 150031	FOLIO 2
EDITION 3	DATE OF ISSUE 24-Nov-2008

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

SEARCH DATE : 06-Apr-2017

SEARCH TIME : 02.55 PM

Received: 04 APR 2017

Application No:

Doc. ID:

DESCRIPTION OF LAND

Town of ULVERSTONE

Lot 2 on Strata Plan 150031 and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/30 interest

Derived from Strata Plan 150031

Derivation : Part of Lot 7 Sec. D. - Gtd. to G. McDonald.

SCHEDULE 1

C837935 TRANSFER to NOTEWORTHY NOMINEES PTY LTD Registered
24-Nov-2008 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 150031 folio 0

C837935 BENEFITING EASEMENT: a right of carriageway over the
Right of Way 'ABCD' on STR150031.

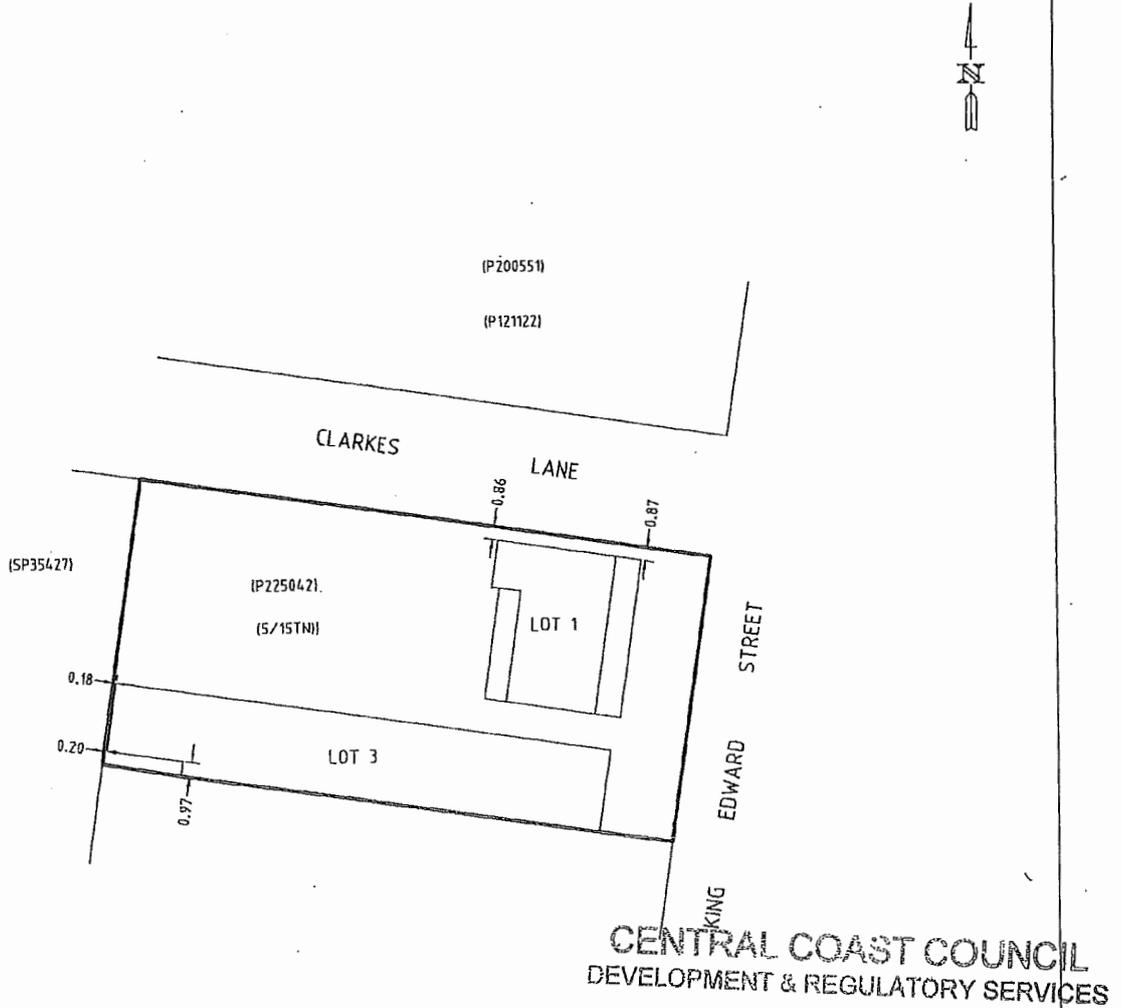
C837936 MORTGAGE to Bendigo and Adelaide Bank Limited
Registered 24-Nov-2008 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CITY/TOWN ULVERSTONE SUBURB/LOCALITY FOLIO REFERENCE CT225042-1 SITE COMPRISES THE WHOLE OF LOT B ON PLAN No P225042		STRATA PLAN SHEET 1 OF 3 SHEETS		REGISTERED NUMBER 150031
		NAME OF STRATA SCHEME TWENTY-FOUR KING EDWARD STREET, ULVERSTONE		STRATA TITLES ACT 1998 REGISTERED 20 NOV 2007 <i>Alice Kawa</i> Recorder of Titles.
MAPSHEET MUNICIPAL CODE No 104 4244-43	LAST UPI No 6304969	SCALE 1:300	LENGTHS IN METRES	

SITE PLAN



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No:

Doc. ID:

NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1 (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1	<i>Alice Kawa</i> 15/11/07 Council Delegate Date	<i>W.D. Williams</i> 12/1/07 Registered Land Surveyor Date
	STAGED/COMMUNITY DEVELOPMENT SCHEME No (IF APPLICABLE)	
LODGED BY WALSH DAY WILLIAMS		

<p>STRATA PLAN</p> <p>SHEET 2 OF 3 SHEETS</p>	<p>STRATA TITLES ACT 1998</p>	<p>Registered Number</p> <p>150031</p>
	<p><i>Jane Leano</i></p> <p>Council Delegate</p>	<p><i>15/11/07</i></p> <p>Date</p>

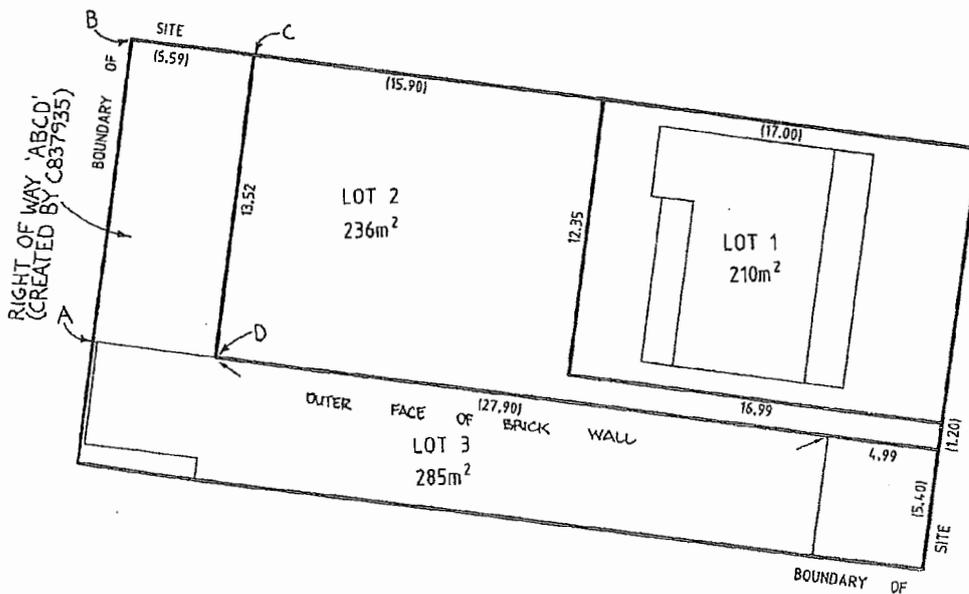
GROUND FLOOR SCALE 1:200
 THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY:-

BOUNDARY OF SITE
 OUTER FACE OF BRICK WALL
 MEASUREMENT WHERE THE BOUNDARY IS OPEN



(MEASUREMENTS IN BRACKETS ARE FOR BOUNDARY FIXATION ONLY)

THE VERTICAL LOT BOUNDARIES EXTEND FROM 1.00 METRES BELOW GROUND LEVEL TO 6.00 METRES ABOVE GROUND LEVEL



hlt

Registered Land Surveyor

18/1/07

Date

24 & 24A King Edward Street, Ulverstone

430480

430490

430500

430510

430520

430530



20

22

ARKES

LANE

24A

24

24B

26

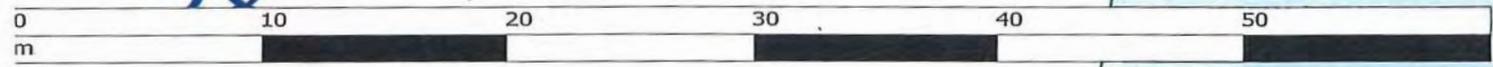
CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No:

Doc. ID:

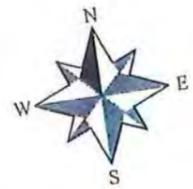
28



Scale 1:304.279

Page: 26

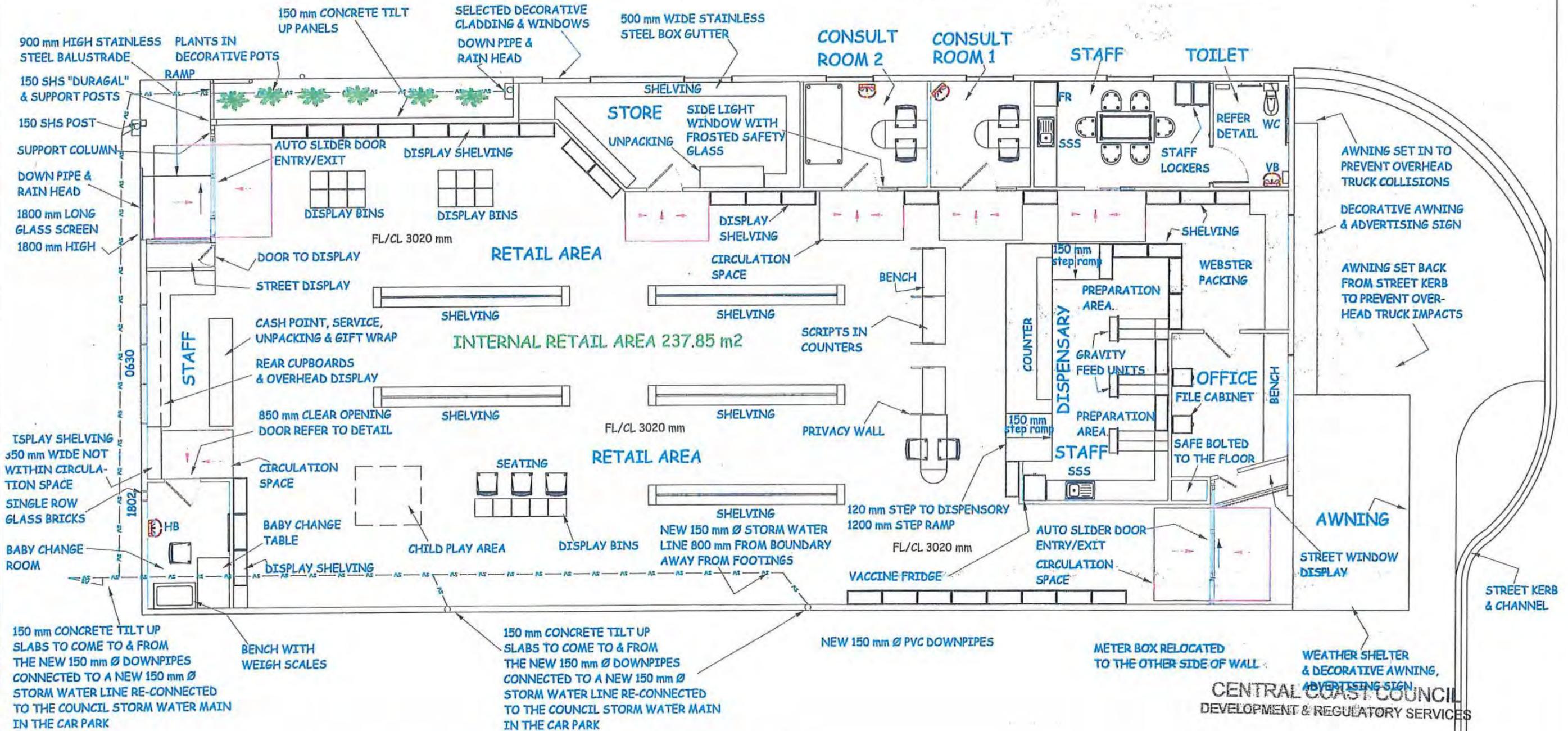
Copyright © 2015, Central Coast Council
The information shown on this plan has been generated from digital data.
Central Coast Council accepts no responsibility for the accuracy of the data.
Boundary locations should be checked at the State Titles Office.
DA94 (Zone 55)



TRUE NORTH

AREA:
 BUILDING 375.00 m²
 FRONT ENTRY 5.35 m²
 REAR ENTRY 8.00 m²
 MAIN AWNING 16.20 m²
 TOTAL 404.55 m²

PLANNING ONLY



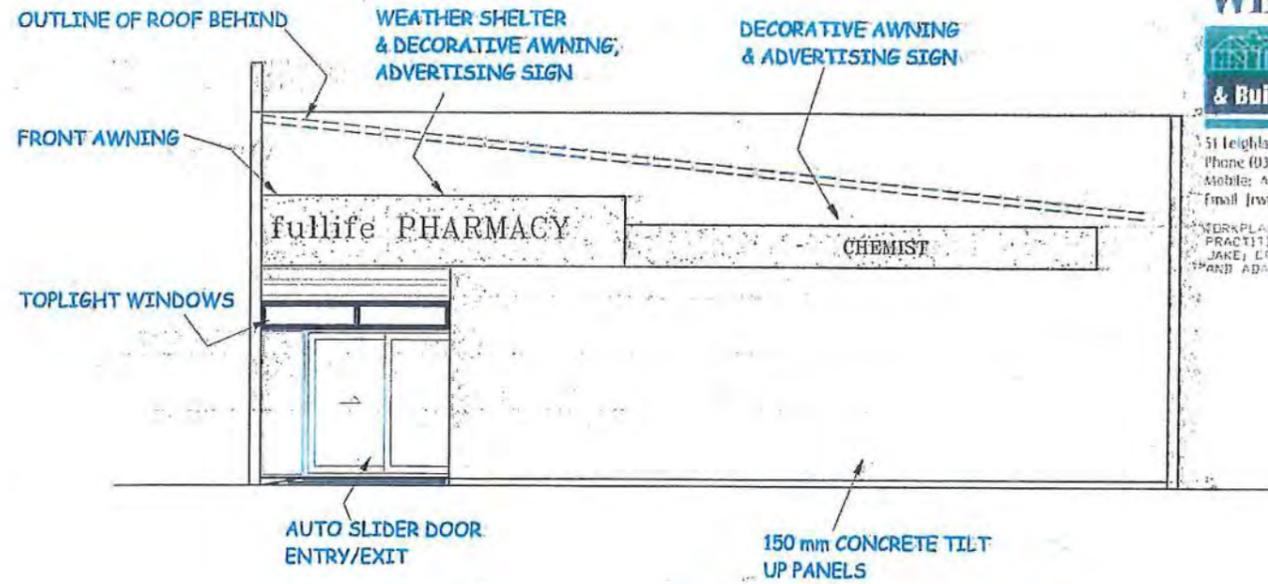
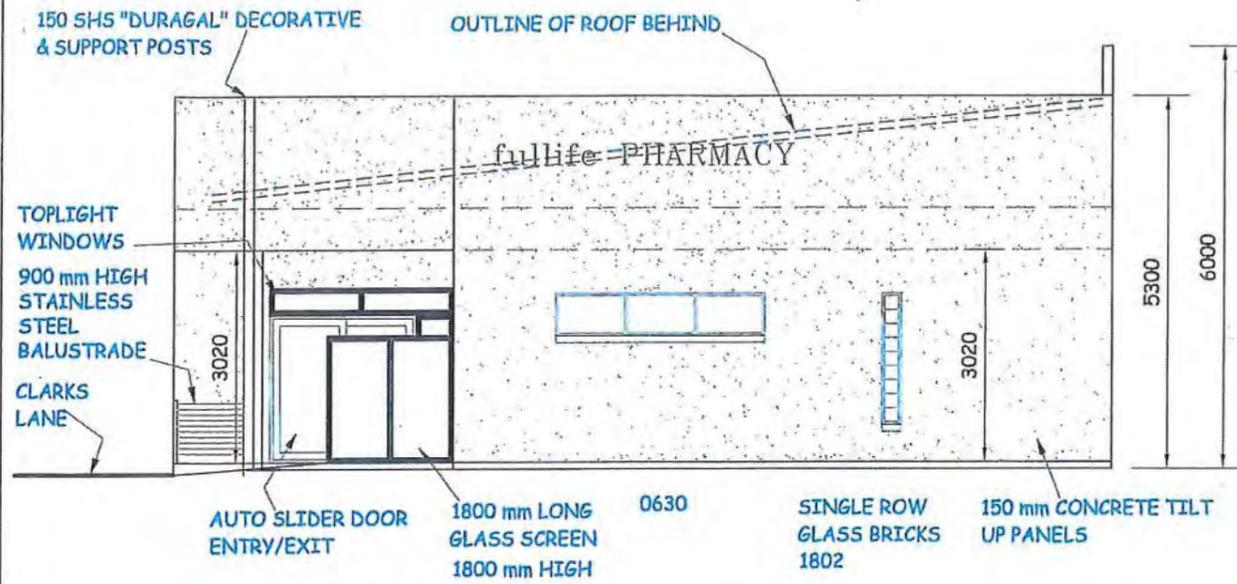
BUILDING FLOOR PLAN 1:100

Received: 04 APR 2017

Application No:

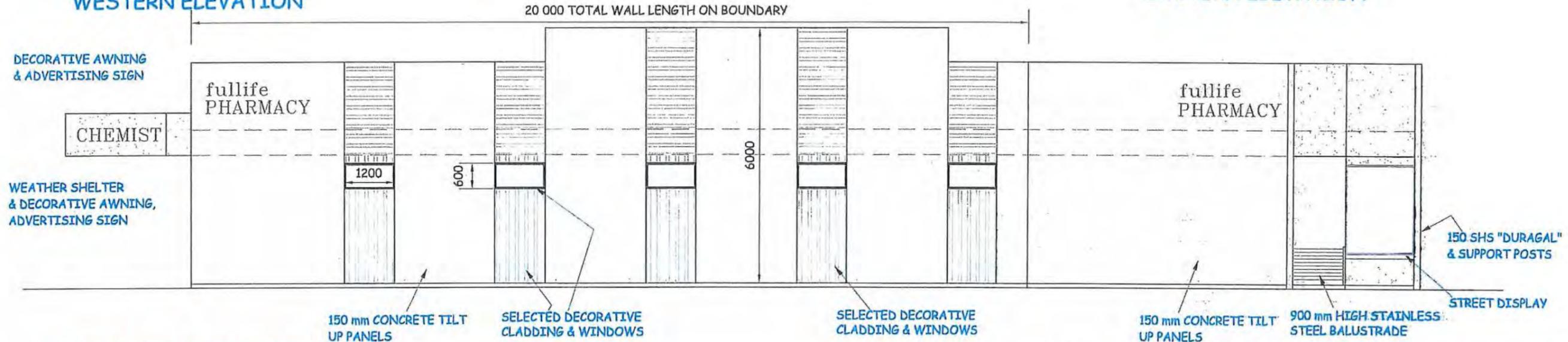
PROPOSED DEMOLITION OF A TIMBER FRAMED COTTAGE & CONSTRUCTION OF A NEW PHARMACY
 AT 24 KING EDWARD STREET, ULVERSTONE FOR NOTEWORTHY NOMINEES Pty. Ltd.

DATE	SCALE	Doc. ID	CHECKED BY	DRAWN BY	DWG No.
04/04/17	1:100		J WEEDA	A WEEDA	1217 - 1A OF 6



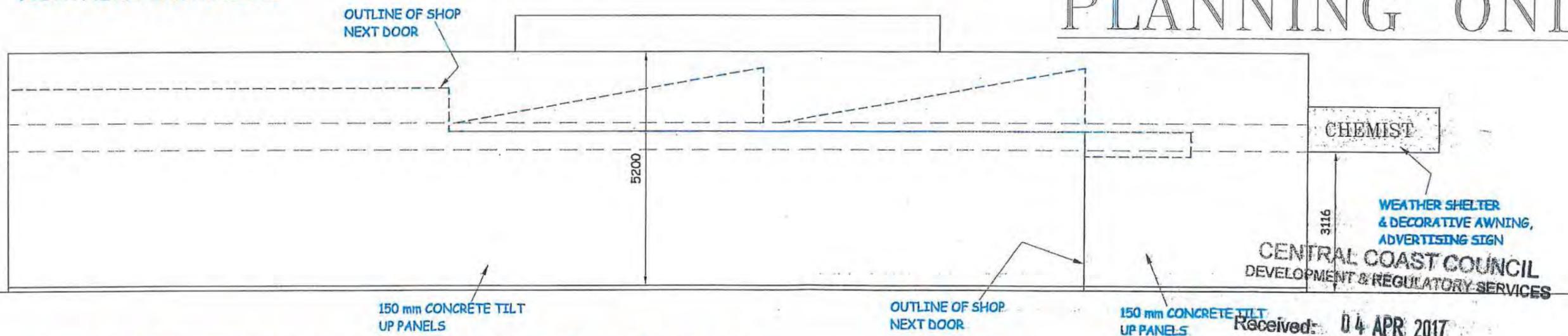
WESTERN ELEVATION

EASTERN ELEVATION



NORTHERN ELEVATION

PLANNING ONLY



SOUTHERN ELEVATION Built hard up against "Kings Feast" Butcher Shop.

CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No:

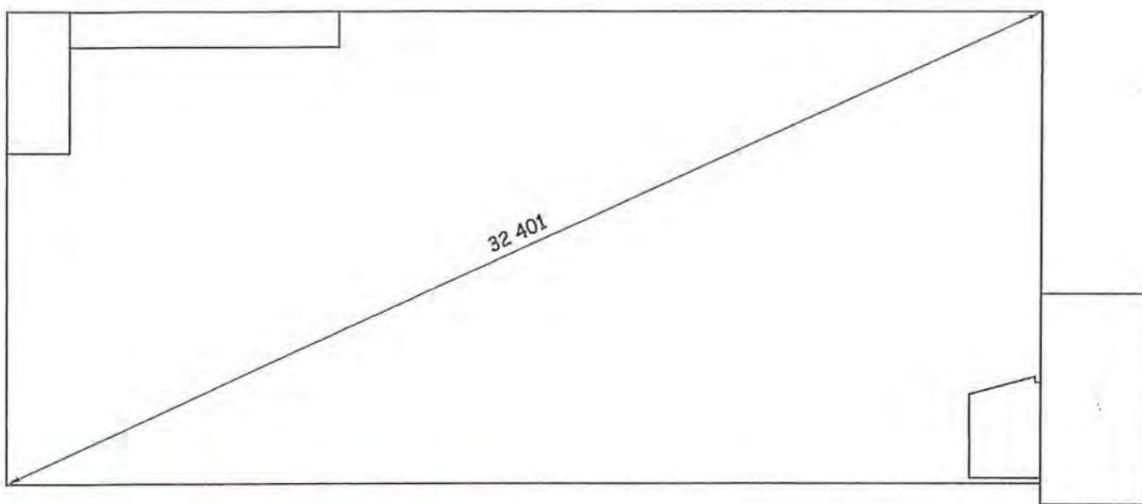
PROPOSED DEMOLITION OF A TIMBER FRAMED COTTAGE & CONSTRUCTION OF A NEW PHARMACY
 AT 24 KING EDWARD STREET, ULVERSTONE FOR NOTEWORTHY NOMINEES Pty. Ltd.

DATE:	Doc ID:	CHECKED BY:	DRAWN BY:	DWG No.
04/04/17	1:100	J.WEEDA	A.WEEDA	1217 - 3A OF 6

ELECTRICAL LEGEND

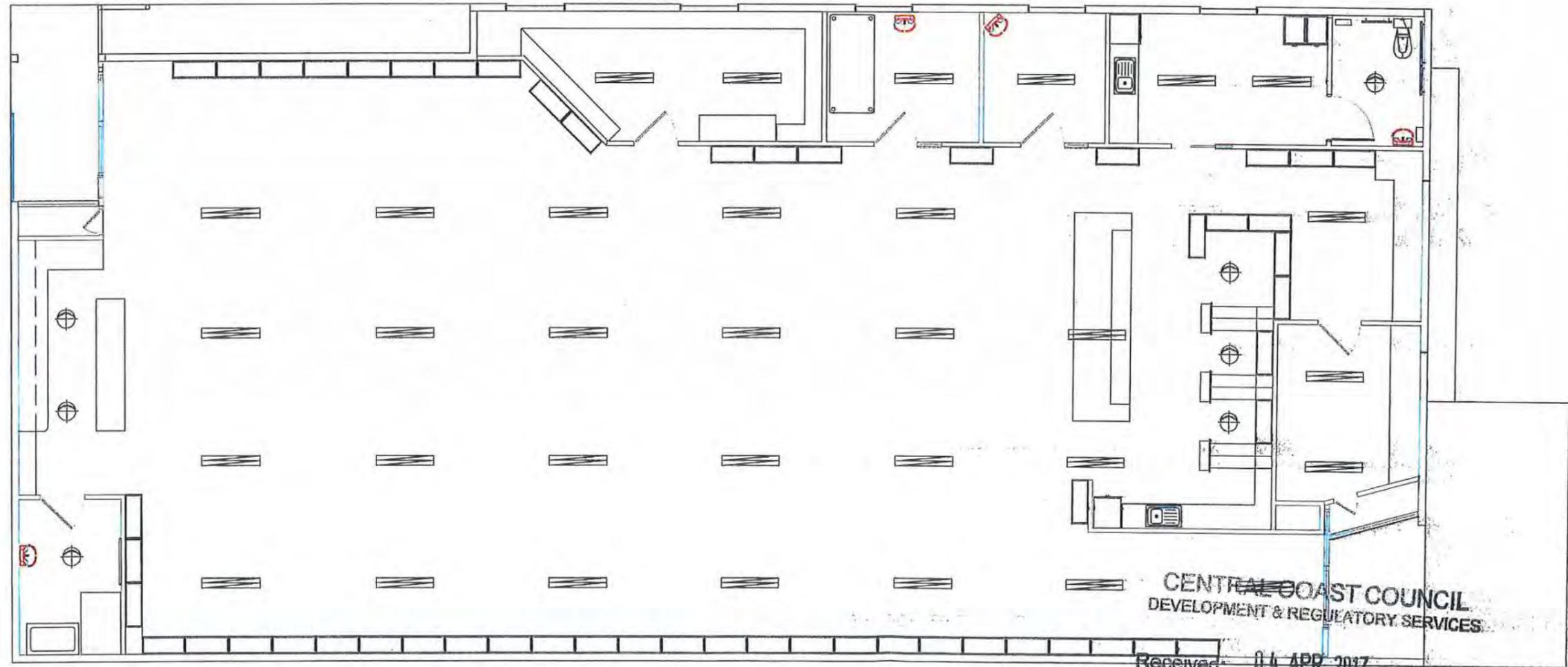
-  DOUBLE POWER POINTS
-  SINGLE POWER POINTS
-  EXTERNAL POWER POINTS
-  DATA CONNECTION POINT
-  G.P.O. WITH U.S.B.
-  SINGLE 1200 mm 11 W FLURO LIGHTS WITH DIFFUSER
-  DOUBLE 1200 mm 22 W FLURO LIGHTS WITH DIFFUSER
-  SENSOR LIGHT
-  BATTEN LIGHT
-  DOWNLIGHTS SHALL BE "LOOMI 12C" LED's
-  SWITCH
-  2 WAY SWITCH
-  3 WAY SWITCH
-  BATHROOM FAN, LIGHT HEATER VENTED TO OUTSIDE AIR
-  CEILING FAN
-  INTERNAL FAN
-  VENT ALL FANS OUT TO SOFFIT
-  240 VOLT HARD WIRED INTERCONNECTED SMOKE DETECTOR
-  PHONE POINT
-  TELEVISION POINT
-  ROOF SPACE ACCESS HATCH
- AC - AIR CONDITIONING UNIT
- PH - PANEL HEATER HARD WIRED IN 6.5 KW
- ST - STOVE HARD WIRED IN
- UBO - UNDER BENCH OVEN
- HP - HOT PLATES
- RH - RANGE HOOD
- DW - DISHWASHER
- HW - HOT WATER
- MB - METER BOX
- NBN CUPBOARD 600 mm HIGH X 300 mm DEEP MINIMUM.
- NBN OPTIC FIBRE IN NBN APPROVED CONDUIT

NOTES:
 DOWNLIGHTS MAKE AND MODEL AS SPECIFIED, INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
 ALL VENTS MUST BE VENTED TO THE SOFFIT OF OUTSIDE AIR



SETTING OUT PLAN 1:200

PLANNING ONLY



BUILDING ELECTRICAL PLAN 1:100

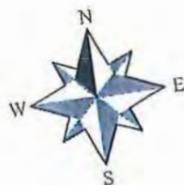
Received: 04 APR 2017

Application No:

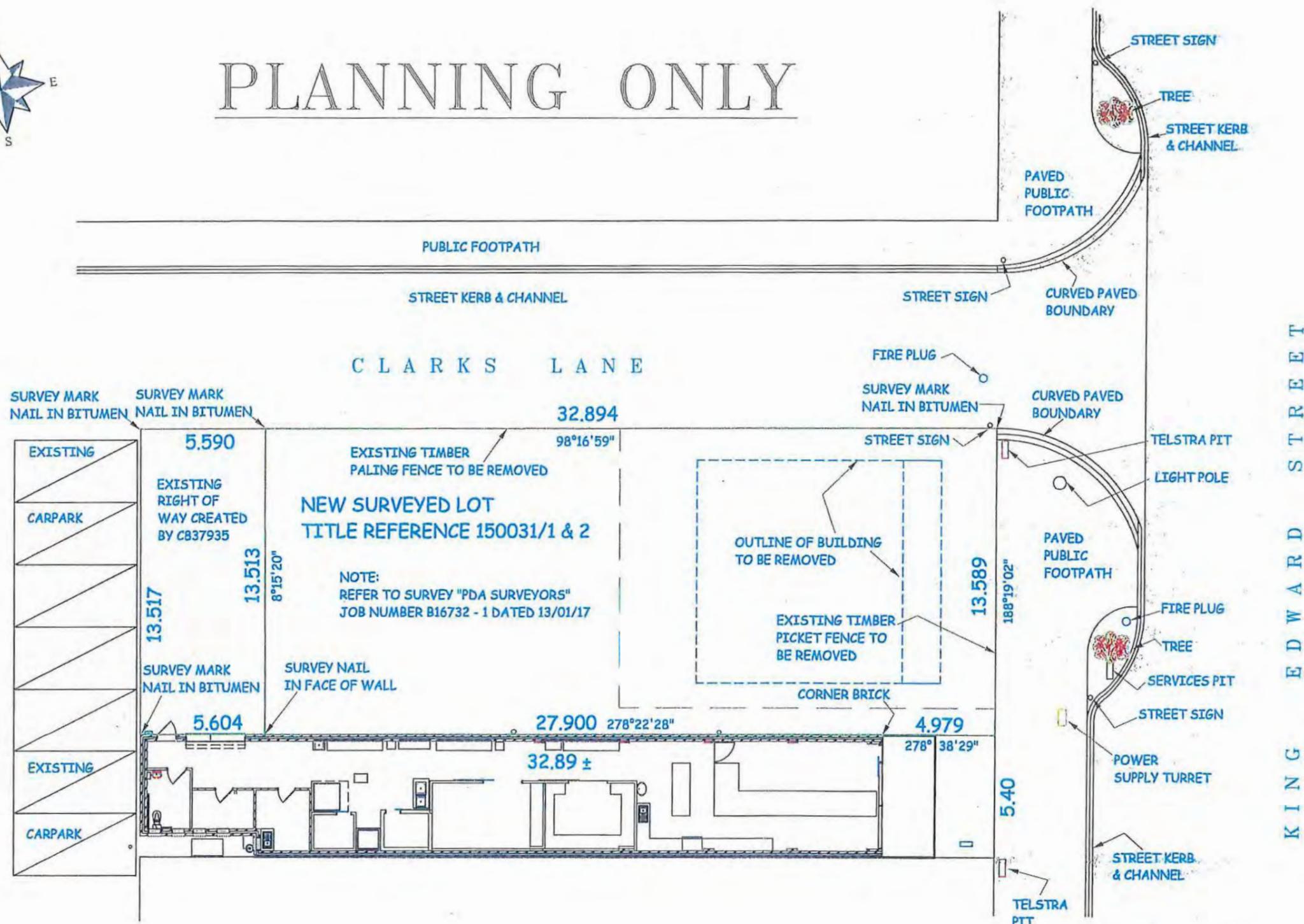
Doc. ID:

PROPOSED DEMOLITION OF A TIMBER FRAMED COTTAGE & CONSTRUCTION OF A NEW PHARMACY
 AT 24 KING EDWARD STREET, ULVERSTONE FOR NOTEWORTHY NOMINEES Pty Ltd.

DATE:	SCALE:	CHECKED BY:	DRAWN BY:	DWG No.
04/04/17	1:100	J WEEDA	A WEEDA	1217 - 4A OF 6



PLANNING ONLY



SITE LOCATION PLAN 1:200

CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No:

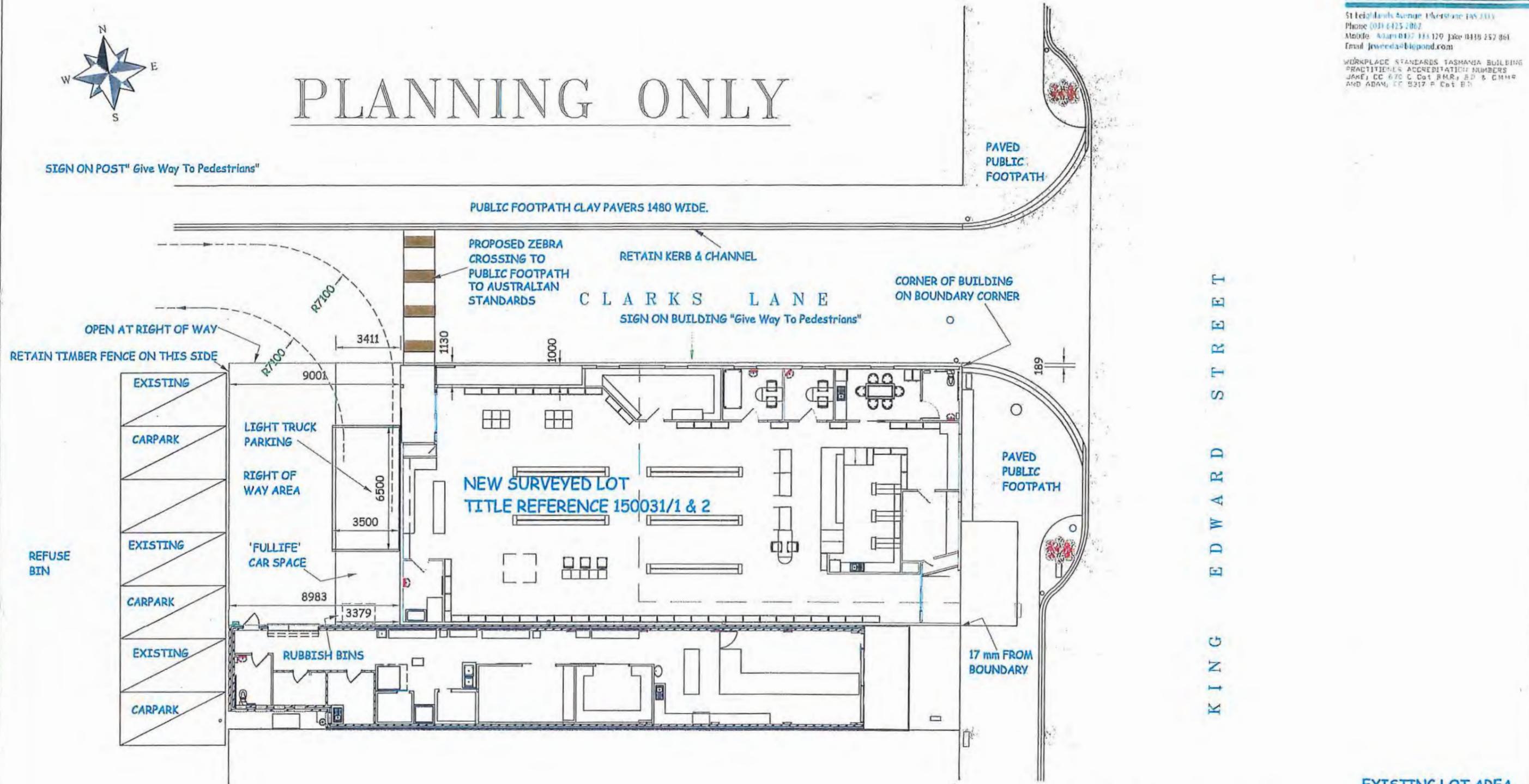
Doc. No:

PROPOSED DEMOLITION OF A TIMBER FRAMED COTTAGE & CONSTRUCTION OF A NEW PHARMACY AT 24 KING EDWARD STREET, ULVERSTONE FOR NOTEWORTHY NOMINEES Pty. Ltd.	DATE: 04/04/17	SCALE: 1:200	CHECKED BY: J WEEDA	DRAWN BY: A WEEDA	DWG No. 1217 - 5 OF 4
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PLANNING ONLY

SIGN ON POST "Give Way To Pedestrians"



SITE LOCATION & SETTING OUT PLAN 1:200

CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No:

Doc. ID:

EXISTING LOT AREA
520.00 m²
 BUILDING AREA
413.30 m²
 TOTAL BUILDINGS
413.30 m²
 SITE COVERAGE
79.48 %

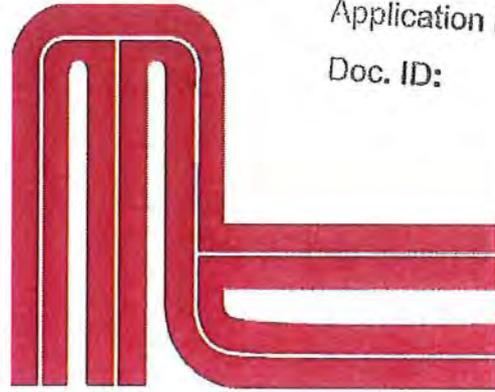
PROPOSED DEMOLITION OF A TIMBER FRAMED COTTAGE & CONSTRUCTION OF A NEW PHARMACY AT 24 KING EDWARD STREET, ULVERSTONE FOR NOTEWORTHY NOMINEES Pty Ltd.	DATE: 04/04/17	SCALE: 1:200	CHECKED BY: J WEEDA	DRAWN BY: A WEEDA	DWG No. 1217 - 64 OF 6
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CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: - 4 APR 2017

Application No:

Doc. ID:



MIDSON
traffic
pty ltd

Noteworthy Nominees

Fullife Pharmacy Ulverstone Traffic Impact Assessment

March 2017

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1. Introduction

1.1 Background

Midson Traffic were engaged by Fullife Pharmacy to prepare a traffic impact assessment for a proposed pharmacy development at 24 King Edward Street, Ulverstone.

1.2 Traffic Impact Assessment (TIA)

A traffic impact assessment (TIA) is a process of compiling and analysing information on the impacts that a specific development proposal is likely to have on the operation of roads and transport networks. A TIA should not only include general impacts relating to traffic management, but should also consider specific impacts on all road users, including on-road public transport, pedestrians, cyclists and heavy vehicles.

This TIA has been prepared in accordance with the Department of State Growth (DSG) publication, *A Framework for Undertaking Traffic Impact Assessments*, September 2007. This TIA has also been prepared with reference to the Austroads publication, *Guide to Traffic Management*, Part 12: *Traffic Impacts of Developments*, 2009.

Land use developments generate traffic movements as people move to, from and within a development. Without a clear understanding of the type of traffic movements (including cars, pedestrians, trucks, etc), the scale of their movements, timing, duration and location, there is a risk that this traffic movement may contribute to safety issues, unforeseen congestion or other problems where the development connects to the road system or elsewhere on the road network. A TIA attempts to forecast these movements and their impact on the surrounding transport network.

A TIA is not a promotional exercise undertaken on behalf of a developer; a TIA must provide an impartial and objective description of the impacts and traffic effects of a proposed development. A full and detailed assessment of how vehicle and person movements to and from a development site might affect existing road and pedestrian networks is required. An objective consideration of the traffic impact of a proposal is vital to enable planning decisions to be based upon the principles of sustainable development.

Central Coast Council specifically requested that a 'Traffic Impact and Management Plan' to be prepared that addresses the following matters with respect to the proposed development:

- a. Pedestrian and vehicular movements and interfaces associated with the proposed development.
- b. Projected numbers of customers
- c. Recommendations for the safety and management of pedestrians and vehicles.
- d. Assessment of on-site car parking and manoeuvring provision associated with the development and compliance with the standards of E9.5.1, E9.5.2 and E9.6.3 of the Traffic Generating Use and Parking Code.

Each of these Council requests have been considered in the preparation of the TIA.

1.3 Statement of Qualification and Experience

This TIA has been prepared by an experienced and qualified traffic engineer in accordance with the requirements of Council's Planning Scheme and The Department of State Growth's, *A Framework for Undertaking Traffic Impact Assessments*, September 2007, as well as Council's requirements.

The TIA was prepared by Keith Midson. Keith's experience and qualifications are briefly outlined as follows:

- 21 years professional experience in traffic engineering and transport planning.
- Master of Transport, Monash University, 2006
- Master of Traffic, Monash University, 2004
- Bachelor of Civil Engineering, University of Tasmania, 1995
- Engineers Australia: Fellow (FIEAust); Chartered Professional Engineer (CPEng); Engineering Executive (EngExec); National Engineers Register (NER)

Keith is a Director of the traffic engineering, transport planning and road safety company, Midson Traffic Pty Ltd. He is also a Teaching Fellow at Monash University, where he teaches and coordinates the subject 'Road Safety Engineering' as part of Monash's postgraduate program in traffic and transport. Keith is also an Honorary Research Associate with the University of Tasmania, where he lectures the subject 'Transportation Engineering' in the undergraduate civil engineering program as well as supervising several honours projects each year.

1.4 Project Scope

The project scope of this TIA is outlined as follows:

- Review of the existing road environment in the vicinity of the site and the traffic conditions on the road network.
- Provision of information on the proposed development with regards to traffic movements and activity.
- Identification of the traffic generation potential of the proposal with respect to the surrounding road network in terms of road network capacity.
- Review of the parking requirements of the proposed development. Assessment of this parking supply with Planning Scheme requirements.
- Traffic implications of the proposal with respect to the external road network in terms of traffic efficiency and road safety.

1.5 Subject Site

The subject site is located at 24 King Edward Street, Ulverstone. The site fronts onto King Edward Street and is located adjacent to the Woolworths Car Park to the west of the site.

The site is zoned 'Commercial' under the Planning Scheme. Currently the site is strata titled into two lots which will be adhered as part of the development.

The subject site and surrounding road network is shown in Figure 1.

Figure 1 Subject Site & Surrounding Road Network



Source: LIST Map, DPIPW

1.6 Reference Resources

The following references were used in the preparation of this TIA:

- Central Coast Interim Planning Scheme, 2013 (Planning Scheme)
- Austroads, *Guide to Traffic Management*, Part 12: *Traffic Impacts of Developments*, 2009
- Austroads, *Guide to Road Design*, Part 4A: Unsignalised and Signalised Intersections, 2009
- DSG, *A Framework for Undertaking Traffic Impact Assessments*, 2007

- Roads and Maritime Services NSW, *Guide to Traffic Generating Developments*, 2002 (RTA Guide)
- Roads and Maritime Services NSW, *Updated Traffic Surveys*, 2013 (Updated RTA Guide)
- Australian Standards, AS2890.1, *Off-Street Parking*, 2004 (AS2890.1:2004)
- Australian Standards, AS1742.10, *Pedestrian Control and Protection*, 2009 (AS1742.10:2009)
- Australian Standards, AS2890.2, *Off-Street Commercial Vehicle Facilities*, 2002 (AS2890.2:2002)

2. Existing Conditions

2.1 Transport Network

For the purpose of this report, the transport network consists of King Edward Street, Patrick Street, Reibey Street, Clarks Lane and Carpark Lane.

2.1.1 King Edward Street

King Edward Street connects between Water Street and Grove Street. It provides north-south connectivity within the CBD area. The subject site fronts onto King Edward Street.

King Edward Street connects to Main Street at a roundabout, and Grove Street at a right-angle bend. King Edward Street contains a mix of commercial, service and residential land uses along its length.

2.1.2 Reibey Street

Reibey Street connects between Alexandra Road and Kings Parade through Ulverstone's CBD. Reibey Street is a major collector road through the CBD and provides primary connectivity between Leven River Bridge and the Bass Highway. Reibey Street carries approximately 6,500 vehicles per day.

It has a relatively uniform hourly traffic volume throughout business hours, building to a peak of approximately 520 vehicles per hour between 3:00pm and 4:00pm. There are no 'typical' commuter peak periods in Reibey Street: normally a collector road would have defined peaks between 8:00am to 9:00am and 5:00pm to 6:00pm. This indicates that Reibey Street caters for CBD related traffic rather than play any significant role associated with through traffic.

Reibey Street connects to Alexandra Road at a roundabout with an iconic sculpture that defines an 'entry point' to Ulverstone.

2.1.3 Patrick Street

Patrick Street connects between Main Street and Victoria Street. It connects to King Edward Street at a four-way intersection with give-way control (with King Edward Street having priority).

2.1.4 Carpark Lane & Clarks Lane

Carpark Lane connects between King Edward Street and Crescent Street and provides primary access to the Woolworths car park. Clarks Lane provides access to the Woolworths car park and is located immediately adjacent to the subject site on the northern boundary.

Carpark Lane is a narrow one-way (entry from King Edward Street) laneway. It is approximately 3 metres wide with a footpath provided on its southern side. The lane is located immediately adjacent to the building on its northern boundary.

Clarks Lane is approximately 6.5 metres wide with a footpath on its northern side. Clarks Lane connects to King Edward Street at a T-junction with kerb outstands to improve sight distance along King Edward Street.

2.2 Road Safety Performance

Crash data can provide valuable information on the road safety performance of a road network. Existing road safety deficiencies can be highlighted through the examination of crash data, which can assist in determining whether traffic generation from the proposed development may exacerbate any identified issues.

Crash data was obtained from the Department of State Growth for a 5 year period between 1st January 2012 and 31st December 2016 for King Edward Street and Carpark Lane near the subject site.

The findings of the crash data is summarised as follows:

- A total of 2 crashes were reported in Carpark Lane (1 x 'reversing', and 1 x 'other-on-path'). Both crashes resulted in property damage only.
- All crashes in Carpark Lane occurred during weekday business hours.
- A total of 13 crashes were reported in King Edward Street between Patrick Street and Reibey Street. All crashes resulted in property damage only.
- Of the crashes in King Edward Street, the majority involved 'rear-end' collisions (6 crashes). Parking related crashes (4 crashes) and 'right-through' were the next most frequent crash types.
- Almost all crashes in King Edward Street occurred during retail business hours (12 crashes). One crash was reported during the evening (8:00pm on a Saturday).
- Crashes were relatively evenly spaced along King Edward Street, as shown in Figure 2.

Importantly:

- No crashes involved vulnerable road users (pedestrians, cyclists and motorcyclists).
- No crashes involved injury or first aid at the scene.
- No crashes were reported within the Woolworths car park area.

The crash history is reasonably typical of roads through a busy retail precinct and does not indicate that there are any specific road safety deficiencies.

Figure 2 King Edward Street Crash Map



3. Proposed Development

3.1 Development Proposal

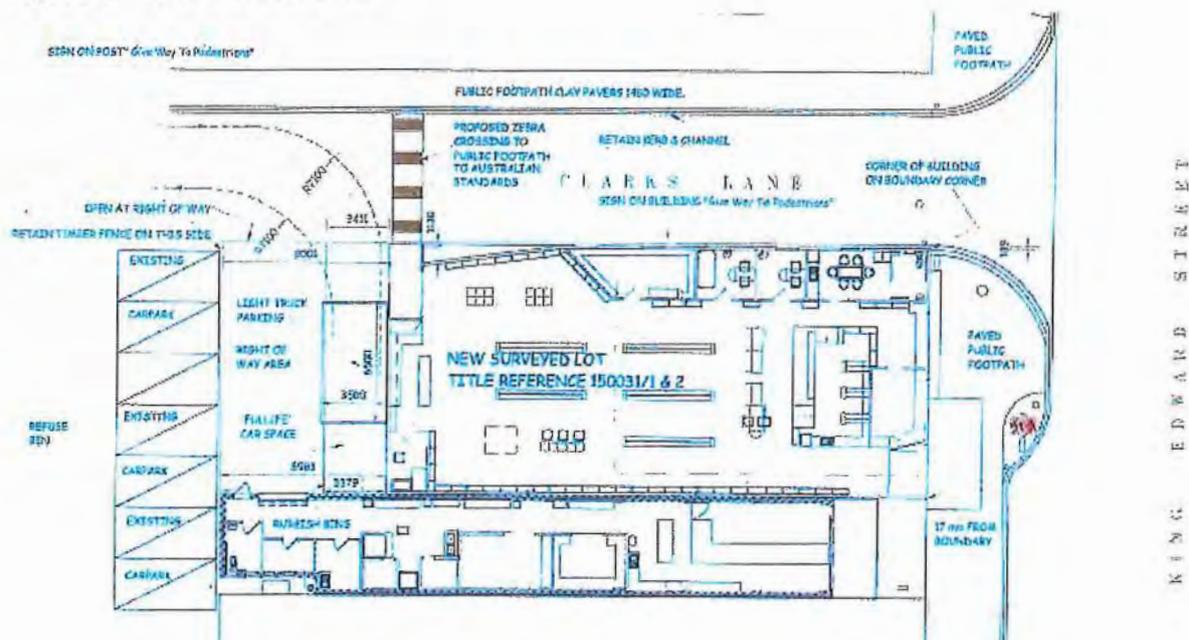
The existing cottage located on the site will be demolished and a pharmacy retail shop will be constructed. The existing Fullife Pharmacy that is currently located at 67 Reibey Street will be relocated to the development site.

The floor area of the development has the following floor areas:

- Building floor area - 413m²
- Front entry - 5.4m²
- Rear entry - 8.0m²
- Main awning - 18.0m²
- Internal retail floor area - 242.0m²

The development includes on parking space and an on-site loading area for a light rigid truck. The proposed development is shown in Figure 3, Figure 4 and Figure 5.

Figure 3 Overall Site Plan



4. Traffic Impacts

4.1 Traffic Generation

Traffic generation was estimated using several methods:

- Empirical Research; and
- Estimation from the existing Fullife Pharmacy in Reibey Street, Ulverstone.

These traffic generation calculations are provided in the following sections.

4.1.1 Pharmacy Shared Parking Survey Data

To better understand the dynamics between pharmacies, medical centres, and other retail shops, surveys were undertaken at three sites:

- Wentworth Pharmacy at 178 Clarence Street, Bellerive.
- Elizabeth Hope Pharmacy in Glenorchy.
- Top of the Town in Upper Burnie.

The Bellerive survey indicated that of those patrons that visited the pharmacy, 20% also visited more than one other neighbouring land use.

The Glenorchy survey indicated that 47% of all patrons who visited either the doctors or the pharmacy also visited at least one another establishment nearby (ie. went to the doctors and the pharmacy in one trip and vice versa). It was further noted in the survey that 39% of all patrons visited two or more sites nearby in one trip (such as went to doctors, then pharmacy, then supermarket, etc).

The Burnie survey indicated that large proportion (approximately 25%) of doctor's surgery patients also visited the nearby pharmacy in one trip. This survey focussed primarily on trips to the medical centre with the pharmacy as a secondary reference.

On this basis, it is reasonable to assume that due to the location of the proposed development within a busy commercial shopping precinct, that there will be 'shared trips' associated with customer visitation. The number of new vehicle trips is therefore likely to be in the order of 40-50% of patronage to the site.

4.1.2 Empirical Research

The daily and peak hour traffic generation potential of the proposed development has been based on general rates provided in the RMS Guide.

Based on traffic generation rates for retail developments, the RMS Guide the development is likely to generate approximately 460 trips per day (based on 121 vehicles per 100m² of floor area). The peak hour generation of the proposed development is likely to be in the order of 46 trips per hour.

The trips relate to customer trips, which may be arrivals by vehicle, or as a pedestrian from another nearby land use (workers from nearby shops, nearby residents, shoppers visiting other shops, etc), as demonstrated in Section 4.1.1.

On the assumption that 60% of the traffic generation will be new trips, the traffic generation is likely to be in the order of 276 vehicles per day, with a peak of 28 vehicles per hour.

4.1.3 Existing Pharmacy Trip Generation

Fullife Pharmacy currently operates a store at 67 Reibey Street, Ulverstone. The existing floor size (including dispensary) is 115m². The existing store current averages 110 customers per day. Assuming that 60% of arrivals are by car (with the remaining 40% by pedestrians already in the area), then the daily traffic generation of the existing site is likely to be in the order of 66 vehicles per day. The peak generation is likely to be in the order of 10 vehicles per hour.

Extrapolating the traffic generation of the existing site to the proposed development (proposed development is approximately 2.1 times the retail floor area of the existing site), the likely traffic generation would therefore be 139 vehicles per day, with a peak of 15 vehicles per hour.

4.1.4 Adopted Trip Generation

The trip generation from the RMS Guide is considered generic in nature and is considered conservative in the context of the development. The RMS Guide's traffic generation rates for this type of development include various retail components that are not representative of a modern pharmacy in isolation.

The trip generation extrapolated from the existing Fullife Pharmacy is more likely to represent the likely traffic generation of the proposed development and has therefore been adopted throughout this TIA (139 vehicles per day, with a peak of 15 vehicles per hour).

It is further noted that the previous use of the site generated traffic. The site was used for commercial activity and had informal off-street parking for up to 5 cars via Clarks Lane.

4.2 Trip Distribution

The proposed development is located within a commercial retail precinct. The traffic generated by the proposed development will therefore be distributed throughout a wide area within the Ulverstone CBD. Some key points are noted as follows:

- The most likely parking areas will be on-street King Edward Street. The majority of traffic generation will therefore be in both directions along King Edward Street.
- Traffic generation from the development is also likely to utilise Woolworths car park to the rear of the site. Traffic generation will therefore utilise Carpark Lane.

4.3 Access Provision

The site has two pedestrian accesses: King Edward Street and Clarks Lane.

One vehicular access is proposed in Clarks Lane. This access services one parking space and the loading bay along the western boundary of the site.

4.4 Access Sight Distance

The proposed building structure has an angled wall to improve sight distance at the proposed vehicular access to the site. The available sight distance in both directions along Clarks Lane is shown in Figure 6. It can be seen that approximately 40 metres is available in both directions.

AS2890.1 requires a minimum sight distance of 35 metres for a frontage road speed of 40-km/h (Figure 3.2 of AS2890.1, p32). The access exceeds this minimum value. It is further noted AS2890.1 does not provide sight distance values for vehicle speeds lower than 40-km/h, which is likely the case with Clarks Lane.

Figure 6 Sight Distance at Access



4.5 Pedestrian Impacts

The proposed development is likely to generate a moderate amount of pedestrian activity in the surrounding network. Two pedestrian accesses are proposed:

- Main entry from the King Edward Street frontage.

- Rear entry from Clarks Lane near the western boundary of the site.

A zebra crossing is proposed in Clarks Lane near the western access to the site. The zebra crossing location is shown in Figure 7. The Australian Standards, AS2890.1 states in Clause 4.1: "*Parking areas shall be designed so that through traffic is excluded, and pedestrian entrances and exits are separate from vehicular entrances and exits. Where pedestrians must cross busy circulating roadways, they shall be guided to a safe crossing point which shall have adequate sight distance and shall be provided with appropriate signs and pavement markings (see AS 1742.10)*".

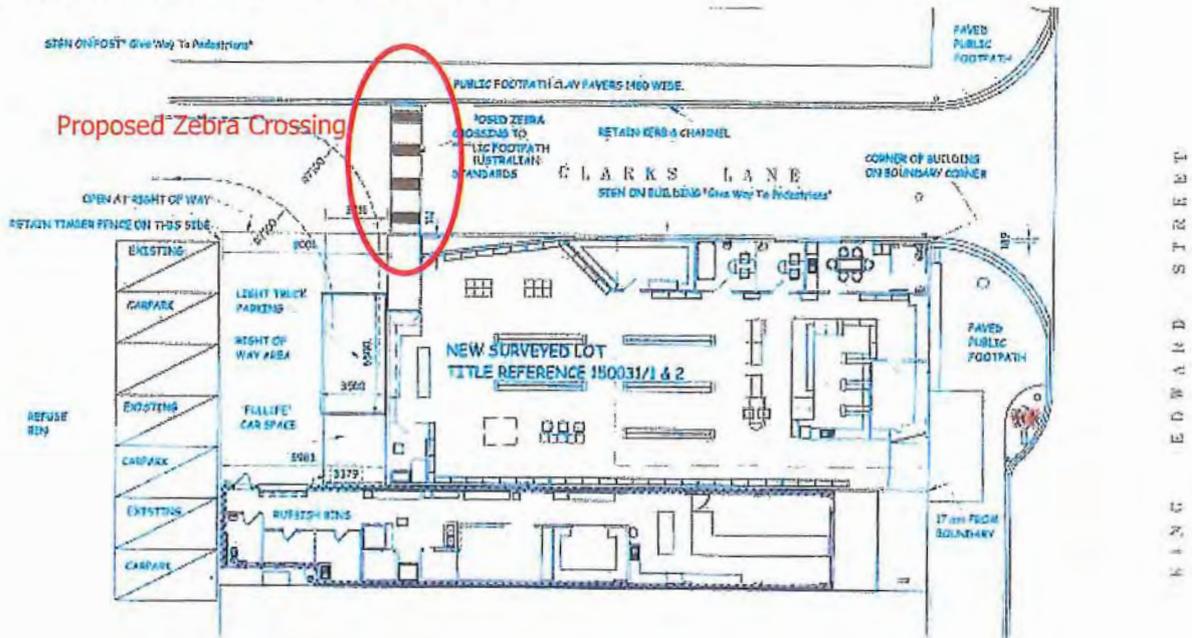
In this case, the pedestrian crossing defines a key pedestrian crossing location over the circulation roadway (Clarks Lane). The Australian Standards do not specify any numeric quantification for the installation of zebra crossings within a car park environment – the requirements for a zebra crossing within a car park area are not the same as the requirements for a zebra crossing in a road (speeds and driving environment are very different in a road related area associated with a car park).

It is noted that the relatively low vehicle speeds within Clarks Lane provides a relatively safe crossing environment for pedestrians at this location, and on this basis is not a requirement of the development (ie. pedestrians crossing at this location are considered sufficiently safe to not warrant the need for a zebra crossing). Note that if installed, the zebra crossing must be line-marked and signed in accordance with Australian Standards requirements. The zebra crossing line marking shall consist of a series of longitudinal bars approximately 600mm wide with 600 mm spacing between bars and not less than 3.0 metres long. The Australian Standards requirements are reproduced in Figure 8.

It is further noted that 90-degree car parking is located immediately behind the zebra crossing location on the northern side of Clarks Lane. The placement of regulatory signage should therefore be placed in a manner to minimise conflict with vehicles manoeuvring into and out of these parking spaces.

Sight distance was assessed for the proposed zebra crossing in Clarks Lane. Unobstructed sight distance is available in both directions along Clarks Lane from both sides of the crossing, a distance of approximately 40 metres (noting that the alignment of the proposed building is angled to improve sight distance for vehicles and pedestrians). This available sight distance (into King Edward Street and the main car parking area) is considered adequate for the low vehicle speed environment.

Figure 7 Clarks Lane Zebra Crossing



Pedestrian access at the main entrance to the site is well facilitated via the existing footpaths on King Edward Street. The existing pedestrian infrastructure is of a high standard and will provide a high level of service for pedestrians at this access.

The development is likely to generate a moderate amount of pedestrian activity from the Woolworths car park to the west of the site. The existing layout of the car park does not provide for separate provision for pedestrian movements. The car park layout near the subject site with potential pedestrian movements is shown in Figure 9.

The Woolworths car park appears to have been designed to maximise the number of parking spaces, but does not provide any separate pedestrian paths. Pedestrians are therefore required to walk within the parking aisles to access the supermarket or adjacent land. Vehicles parking in this car park accessing the proposed development should cross to the northern footpath on Clarks Lane and then utilise the zebra crossing for the rear access, or the King Edward Street footpath for the front entrance to the store. This is shown conceptually in Figure 9.

To ensure that pedestrians do not walk along the vehicular carriageway of Clarks Lane, signage is recommended at the northwest corner of the subject site with wording "PEDESTRIANS USE OTHER FOOTPATH" (or similar).

Figure 9 Woolworths Car Park Pedestrian Access



4.6 Road Safety Impacts

No significant adverse road safety impacts are foreseen for the proposed development. This is based on the following:

- The proposed development reduces the number of on-site parking spaces that are accessed from Clarks Lane. This reduces the potential conflict at the access location in Clarks Lane.
- A pedestrian zebra crossing is proposed in Clarks Lane to facilitate safe pedestrian access to and from the site's western access. This will assist in reducing vehicle speeds in Clarks Lane and provide an improved safety environment for pedestrians. To reduce pedestrian risks associated with pedestrians walking along the vehicular carriageway of Clarks Lane, signage is recommended as per Section 4.5.
- There is sufficient spare capacity in King Edward Street and the surrounding road network to absorb the small predicted increase in peak hour traffic generated from the proposed development (15 vehicles per hour). No change to the level of service of the road network would be expected as a result of the development.
- The accesses are located in a 'commercial' environment and as such, traffic movements into and out of the site will not be seen as an unusual event by other motorists. The proposed development is compatible with neighbouring land uses in a commercial environment.
- The crash history of King Edward Street and Carpark Lane near the subject site does not indicate that there are any existing road safety issues that may be exacerbated by the increased traffic generated by the proposed development.

5. Parking Assessment

5.1 Parking Provision

The proposed development provides one car parking space and one small rigid vehicle loading area on-site. These parking areas are accessed from Clarks Lane on the northern boundary of the site.

5.2 Shared Parking Principles

The proposed development is situated in a retail shopping precinct in Ulverstone and as such the principles of shared parking apply. In commercial areas it is common for trips to be undertaken that result in several destinations within the area requiring only one parking manoeuvre. That is, patrons visit more than one destination within the area whilst only utilising one parking space. This is particularly true for retail and food trips, doctors and pharmacy trips, etc. Surveys undertaken by Midson Traffic in Tasmania indicate that shared parking principles are strong with pharmacy developments (as outlined in Section 4.1.1).

The principles of shared parking are best outlined by the following extract from the text: Parking Policy, Design and Data, Young, W., 1991.

"There are many locations where a number of different land uses are located in close proximity. These areas have been termed mixed use or multi-use areas and tend to exhibit different characteristics to single use developments. These differences are exhibited in three ways:

- 1. the dependence of one land use on activities generated by other land uses,*
- 2. the recognition that a parking space can be shared by several users. This is often referred to as shared parking, and*
- 3. the tendency, in situations where an aggregate of single uses exist, for a principal trip (perhaps a motorised trip) to result in a number of short trips (walk trip) from the initial destination.*

In complex land uses, it is not uncommon for the three characteristics to occur concurrently. Accordingly, where complex land uses exist, the parking needs should not be calculated by adding the individual land use needs. The peak demand for parking in shared parking facilities must take into account the parking demand for each generator, displacing them temporally to determine the maximum demand. Further, the use of time, user and area access restrictions can be relaxed to take into account the complementarity of parking demands.

In an overall urban context, some city parking management plans have considered joint use parking promotion in which developers of centre city sites are allowed to use municipal parking facilities to satisfy parking requirements provided that demand patterns for multiple users do not conflict. They may also develop a neighbourhood shopping district parking programme which will provide short term parking areas facing a shortage of such spaces.

The development of multi-use facilities has opened a new dimension in parking policy. The provision of public parking places through cash in lieu systems have been used to enable more efficient use of parking facilities. Further, parking credits for existing public parking provide a basis for recognising that existing developments have a certain share of public parking devoted to their use."

In the context of the development, there is a mix of neighbouring similar land uses (services, retail, medical, etc). This is coupled with a relatively large supply of on and off street parking in the surrounding area that has been managed to cater for typical parking demands for these uses. In these situations, it is common for customers to visit multiple sites (such as retail shopping and then obtain refreshments).

The actual parking demand is therefore likely to be lower than the aggregated parking demands of each of the components of the surrounding area. Peaks for each land use are unlikely to coincide for each component of the strip shopping centre, hence effectively sharing the demands for these spaces across different times of the day.

5.3 Car Parking Demands

Based on the surveys outlined in Section 4.1.1 and the existing operation of the Fullife Pharmacy in Reibey Street, the proposed development is likely to have a parking demand of approximately 8 cars. This is based on a peak hour customer demand of 15 vehicle arrivals. At any one time, the peak parking demand associated with these arrivals is unlikely to exceed 8 cars.

5.4 Planning Parking Scheme Requirements

5.4.1 Car Parking Spaces

Acceptable Solution A1 of E9.5.1 of the Planning Scheme states "*Provision for parking must be the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code*".

Table E9.1 requires a total of 1 x space per 30 square metres of gross floor area for 'General retail and hire – shop' land use. This is a requirement for 13 parking spaces. Only one parking space is provided, therefore the proposed development does not comply with the A1:E9.5.1 of the Planning Scheme.

The Performance Criteria, P1 of E9.5.1 of the Planning Scheme requires that:

- (a) It must be unnecessary or unreasonable to require arrangements for the provision of vehicle parking; or*
- (b) Adequate and appropriate provision must be made for vehicle parking to meet -*
 - (i) anticipated requirement for the type, scale, and intensity of the use;*
 - (ii) likely needs and requirements of site users; and*

(iii) likely type, number, frequency, and duration of vehicle parking demand

In this case, the following is relevant with respect to the proposed development:

- a. The proposed development provides a total of 1 parking space on-site. It is not considered appropriate to increase parking on-site as this would increase traffic activity within Clarks Lane. Clarks Lane is narrow and not suitable for increased traffic access on its southern side due to its road width.
- b. The anticipated peak parking demand is likely to be less than 8 cars based on the existing Fullife Pharmacy (factored for floor area). Many of these cars will be parked to access multiple sites (shared parking principles outlined in Section 5.2).
- c. The proposed development is located within a major shopping precinct area. As such, a large pool of publically accessible parking is available in the nearby vicinity. Two large off-street parking areas are located from Carpark Lane and Clarks Lane. King Edward Street, Patrick Street and Reibey Street also provide a relatively large pool of on-street parking near the site. These spaces are generally accessible spaces that are available for customers of businesses in the nearby surrounding area. All available spaces are controlled by time restrictions to ensure that parking turnover is appropriate to the needs of the businesses in the area.

Based on the comments above, the proposed development meets the requirements of Performance Criteria, P1 of E9.5.1 of the Planning Scheme.

5.4.2 Loading Bay Requirements

Acceptable Solution A1 of E9.5.2 of the Planning Scheme states "*There must be provision within a site for - (a) on-site loading area in accordance with the requirement in the Table to this Code; and (b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of 1 space for every 50 parking spaces*".

Table E9.1 requires 1 x small rigid truck space per 400 square metres of gross floor area. One small rigid truck space is provided on-site, therefore the Acceptable Solution, A1 of E9.5.2 of the Planning Scheme is met.

AS2890.2 requires that the service area is dependent on a combination of:

- a. The maximum size of vehicle likely to use the facility.
- b. The frequency with which vehicles of different classification use the facility; and
- c. Whether the public road from which the facility is accessed is a major or minor road.

The following points are relevant for the site:

- Swept paths of a 6.4 metre truck (design vehicle) were tested at the site from Clarks Lane.
- The frequency of access to the site will be several times per day by vehicles of differing sizes (up to a maximum of 6.4m).
- Access into the site is via a minor road. This access has been assessed to be appropriate in following sections of AS2890.2

AS2890.2 requires that the use of the service area for regular use of a major road must be as follows:

- a. A service area unobstructed by other vehicles or on-site activities shall be provided.
- b. All manoeuvring associated with parking, loading and unloading shall be able to be confined to the service area.
- c. Both entry and exit at the property boundary shall be in the forward direction.
- d. Circulation roadways shall be provided to connect the access driveway with the service area.
- e. Wherever practicable, separate entry and exit access driveways should be provided.

In this case, the following is applicable:

- a. The service area and access driveway has been tested to enable the swept path of a 6.4 metre truck.
- b. All manoeuvring associated with parking, loading and unloading are confined to the loading area.
- c. Entry is a reversing manoeuvre and exit is in a forwards direction.
- d. The site is not sufficiently large enough to provide separate circulation roadways.
- e. Separate entry and exit cannot be provided.

The proposed access arrangements therefore generally comply with the requirements of AS2890.2. Forwards entry to the site is not possible due to the constrained nature of the site. The reversing manoeuvre into the site is considered relatively safe due to the low volume using Clarks Lane, the traffic calmed environment (provided by the proposed pedestrian zebra crossing and narrow road width), and the adequate sight distance for traffic approaching the manoeuvring truck within Clarks Lane.

5.5 Car Parking Layout

The on-site car parking area consists of the following:

- 1 x loading area with dimensions 3.5m x 6.5m. This provides sufficient area for a small truck or van to unload stock on-site. The nature of store will result in stock being delivered predominantly in vans. Vehicles are required to reverse into the parking area from Clarks Lane – the swept path for this manoeuvre is shown in Figure 3.
- 1 x car parking space. This car parking space is not line marked and sits immediately south of the loading area. The narrow width of the manoeuvring area will result in this parking space being at an angle to enable manoeuvring into and out of the space. This space is proposed for

staff, not customers, and therefore there will be a degree of familiarity with the use of the space.

Acceptable Solution A1 of E9.6.1 of the Planning Scheme states that:

Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –

- (a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities - Off Street Car Parking;*
- (b) Be in accordance with AS/NZS2890.2 (2002) Parking Facilities - Off Street Commercial Vehicles;*
- (c) Be in accordance with AS/NZS 2890.3 1993) Parking Facilities – Bicycle Parking Facilities;*
- (d) Be in accordance with AS/NZS 2890.6 Parking Facilities - Off Street Parking for People with Disabilities;*
- (e) Each parking space must be separately accessed from the internal circulation aisle within the site;*
- (f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; and*
- (g) Be formed and constructed with compacted sub-base and an all-weather surface.*

The following is relevant with respect to the proposed development:

- a. The single proposed parking space is not line marked. The available width of the right-of-way access to the parking space and the available space for manoeuvring is not sufficient for the parking space to comply with the normal car parking module of AS2890.1:2004.
- b. The development generally complies with the requirements of AS2890.2:2002. A reversing access manoeuvre is required for the site – this is deemed acceptable and is outlined in Section 5.4.2.
- c. N/A – No bicycle parking is proposed.
- d. N/A – No parking is proposed for people with disabilities.
- e. Only one parking space is proposed. This is accessed via a right-of-way from Clarks Lane.
- f. Forwards entry and exit are not possible due to the constrained parking area. For the loading area this is detailed in Section 5.4.2. The single parking space will be used by staff only and is consistent with other angle parking located along Clarks Lane (angle spaces on the northern side of Clarks Road must be accessed either forwards-in/ reverse-out, or reverse-in/ forwards-out).
- g. The parking area should be sealed in accordance with Council requirements.

Based on the above, the proposed development generally complies with the requirements of A1:E9.6.1 of the Planning Scheme. The on-site parking area must be accessed by a reverse manoeuvre (inwards or outwards) for both the loading area and the parking space.

The Performance Criteria, P1, of E9.6.1 of the Planning Scheme States:

The layout and construction of a vehicle parking area, loading area, circulation aisle, and manoeuvring area must be adequate and appropriate for –

- (a) the nature and intensity of the use;*
- (b) effect of size, slope and other physical characteristics and conditions of the site;*
- (c) likely volume, type, and frequency of vehicles accessing the site;*
- (d) likely demand and turnover for parking;*
- (e) delivery and collection vehicles;*
- (f) familiarity of users with the vehicle loading and vehicle parking area;*
- (g) convenience and safety of access to the site from a road;*
- (h) safety and convenience of internal vehicle and pedestrian movement;*
- (i) safety and security of site users; and*
- (j) the collection, drainage, and disposal of stormwater*

The following is relevant for the development:

- a. The car parking area will have infrequent associated use. It is not intended for use by the general public (ie. not customer parking) and will therefore have a low turnover. Vehicles using the parking area are likely to have a degree of familiarity with its use.
- b. The parking area associated with the development is relatively small and provides a constrained environment for the site. Modifying the parking area to facilitate a turning area to enable forwards entry and exit will result in a major modification of the development with a large reduction in floor area for little gain.
- c. The car parking area will have a low associated use. It is not intended for use by the general public (ie. not customer parking) and will therefore have a low turnover.
- d. The car parking area will have a low associated use. It is not intended for use by the general public (ie. not customer parking) and will therefore have a low turnover.
- e. The loading bay will be used for delivery and collection of stock, etc. The loading area is considered sufficiently large to cater for this use.
- f. Users of the car parking area will be familiar with its use.
- g. Sight distance is considered acceptable at the access to the car parking area along Clarks Lane. The relatively low volume using Clarks Lane and the traffic calmed environment (provided by the

proposed pedestrian zebra crossing and narrow road width) provides a relatively safe environment for site access.

- h. No pedestrian movements are likely within the parking area, other than those associated with staff accessing the single car park, or staff pedestrian movements associated with loading activity. No customer pedestrian movements will occur within the car parking area.
- i. No pedestrian movements are likely within the parking area, other than those associated with staff accessing the single car park, or staff pedestrian movements associated with loading activity. No customer pedestrian movements will occur within the car parking area.
- j. Drainage not assessed in this TIA.

Based on the above assessment, the development complies with the Performance Criteria, P1, of E9.6.1 of the Planning Scheme.

5.6 On-Street Parking

There is a large pool of nearby publically accessible on-street parking in the surrounding road network. Kind Edward Street consists mostly of half-hour time restricted parking on both sides of the road near the subject site. This time restriction is considered suitable and compatible with the proposed development's requirements.

6. Conclusions

This traffic impact assessment (TIA) investigated the traffic and parking impacts of a proposed Fullife Pharmacy development at 24 King Edward Street, Ulverstone.

The key findings of the TIA are summarised as follows:

- The traffic generated by the proposed development will not adversely impact upon the surrounding road network in terms of traffic efficiency or road safety. Based on similar developments, the development is likely to generate approximately 139 vehicles per day, with a peak of 15 vehicles per hour.
- The proposed development provides 1 on-site parking space and 1 loading area. This does not satisfy the requirements of Acceptable Solution of E6.6.1 of the Planning Scheme (13 spaces). Based on the likely low parking demands associated with the proposed development, and the principles of 'shared parking' (outlined in detail in Section 4.1.1 and 5.2), the development complies with the requirements of Performance Criteria, P1 of E6.6.1 of the Planning Scheme.
- Access by service vehicles was assessed and found to generally comply with the requirements of AS2890.2. The loading area requires a service vehicle to reverse into the site – this was assessed and found to be acceptable and safe on the basis that adequate sight distance is available, and the traffic volume and speeds are relatively low in Clarks Lane.
- The single parking space is unmarked and can only be accessed with a reversing manoeuvre (into or out of the site). This was assessed and considered safe and acceptable on the basis that it is to be used as a staff parking space and therefore will have infrequent use and will be utilised by familiar user(s).
- A zebra crossing is proposed in Clarks Lane. This should be installed in accordance with the requirements set out in Australian Standards, AS1742.10:2009 (line marking and signage).
- To prevent pedestrians walking along the vehicular carriageway of Clarks Lane to/from the Woolworths car park, signage should be installed at the northwest corner of the site with wording "PEDESTRIANS USE OTHER FOOTPATH" (or similar).

Based on the findings of this report and subject to the recommendations above, the proposed development is supported on traffic grounds.

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Document Status

Revision	Author	Review	Date
0	Keith Midson	Zara Kacic-Midson	22 February 2017
1	Keith Midson	Zara Kacic-Midson	8 March 2017

Mary-Ann Edwards

From: Fullife Pharmacy Ulverstone <fullife@bigpond.com>
Sent: Friday, 7 April 2017 9:31 AM
To: Mary-Ann Edwards
Subject: Body Corporate notification

Hi Mary-Ann

As discussed by phone yesterday, please be advised that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, I declare that I have notified the Body Corporate of the Owners of 24 King Edward Street Ulverstone of my intention to submit a planning application for the development of the property at 24 & 24A King Edward Street, Ulverstone.

Regards

Colin

Colin Wood
Fullife Pharmacy Ulverstone
67 Reibey Street
Ulverstone Tasmania 7315

**CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES**

Received: 07 APR 2017

Application No:

Doc. ID:

Local Government

NOTICE OF APPLICATION FOR LAND USE PERMIT
(Section 57(3) Land Use Planning and Approvals Act 1993)

The following application for use and development of land has been received:

Application No: DA 2017/21
Site: 48 Cascade Road
ROMAINE (CT: 104196/6)
(Outbuilding) Shed

Proposal:
Discretionary Matter: Reliant on performance criteria for grant of permit - Clause 13.4.3 Location and configuration of development (P4)

The application and documentation may be viewed at the Burnie City Council Offices, Ground Floor, 80 Wilson Street, Burnie between 8.30am - 5.00pm Monday to Friday inclusive or on Council's website at www.burnie.net

Any person may make representation relating to an application. Representations regarding the proposal should be in writing addressed to the General Manager, Burnie City Council, PO Box 973, Burnie 7320 or burnie@burnie.net to be received no later than 5.00pm on 28 April 2017.

Dated: 8 April 2017
Andrew Wardlaw
GENERAL MANAGER

www.burnie.net



DOWNLOAD THE DOMAIN APP TODAY



Property owners may request that their property frontage not be included in the spraying program by contacting Paul Vlasich on 0428 519 086 before 10 April 2017.

Further information regarding registration on the No Spray List and the property owner's responsibilities can be found at www.kentish.tas.gov.au

Dated at Sheffield this 8th day of April 2017.



Local Government

CENTRAL COAST COUNCIL

19 King Edward Street
Ulverstone Tasmania 7315
Tel. 03 6429 8900
Fax 03 6425 1224
www.centralcoast.tas.gov.au

APPLICATIONS FOR PLANNING PERMITS
S.57 Land Use Planning and Approvals Act 1993

The following applications have been received:

- Location: 405 Penguin Road & CT35699/1 Penguin Road, West Ulverstone Subdivision (three lots) - discretionary use and development in the Rural Resource zone
Application No.: DA216107
- Location: 8 Tasma Parade, West Ulverstone
Proposal: Visitor Accommodation (four serviced apartments) - variation to rear and side boundary setback; location of car parking and loading and unloading of vehicle; and proximity to a waterway standards
Application No.: DA216132
- Location: 6 Davis Street, Leith
Proposal: Residential (dwelling) and outbuilding (shed) - development exposed to a natural hazard (landslide)
Application No.: DA216167
- Location: 146A Main Street, Ulverstone
Proposal: Residential (multiple dwellings x three) - variation to rear boundary setback and building envelope
Application No.: DA216171
- Location: 22 & 22A Alexandra Road, Ulverstone
Proposal: Residential (multiple dwellings x four) - variation to front and rear boundary setback; open space; proximity to a rail line; and car parking standards
Application No.: DA216180
- Location: CT237081/1 McKennas Road, Gawler
Proposal: Subdivision (dwelling excision) - discretionary use and development in a Rural Resource zone
Application No.: DA216189
- Location: 188 Stubbs Road, Turners Beach
Proposal: Residential (dwelling) and outbuilding (garage) - variation to standard for setback from the Rural Resource zone
Application No.: DA216191
- Location: 24 & 24A King Edward Street, Ulverstone
Proposal: Demolition of a building and General retail and hire (pharmacy) - variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards
Application No.: DA216200

Local Government

KENTISH COUNCIL
APPLICATION FOR PLANNING PERMIT
S.57 LAND USE PLANNING AND APPROVALS ACT 1993

Applications for the following have been received:

APPLICATION NO: DA 2017/0024
PROPOSAL: Proposed pilot accommodation with reliance on Performance Criteria under the Cradle Gateway Specific Area Plan (residential use, pitch of roof & colour of cladding)
SITE: 3845 Cradle Mountain Road, Cradle Mountain
APPLICATION NO: DA 2017/0025

PROPOSAL: Proposed shed extension with reliance on Performance Criteria under the Rural Living zone provisions (reduced setback & site coverage)
SITE: 56 Cornwall Road, Acacia Hills
APPLICATION NO: DA 2017/0036

PROPOSAL: Proposed portion with reliance on Performance Criteria under the Water and Waterways Code
SITE: West Kentish Road, West Kentish (CT 242900/2)

The applications and associated materials will be available for inspection at the Council Office during normal office hours or at www.kentish.tas.gov.au for a period of fourteen (14) days (not including the period 14th of April 2017 to 18th of April 2017) from the date of publication of this notice. During this time, any person may make representation in relation to the proposal by letter, addressed to the General Manager, PO Box 63, Sheffield 7306 or by e-mail to council@kentish.tas.gov.au.

WEED SPRAYING PROGRAM

Kentish Council advises that its roadside weed spraying program will commence Monday 10 April 2017 for a period of approximately 6 weeks.

Property owners may request that their property frontage not be included in the spraying program by contacting Paul Vlasich on 0428 519 086 before 10 April 2017.

Further information regarding registration on the No Spray List and the property owner's responsibilities can be found at www.kentish.tas.gov.au

Dated at Sheffield this 8th day of April 2017.

Gerald Monson
GENERAL MANAGER



Local Government

EASTER GARBAGE/RECYCLING COLLECTION

Residents are advised that there will be no interruption to the normal household refuse wheeler bin collection or kerbside recycling collection schedule over the Easter period for 2017.

WASTE TRANSFER STATION CLOSURE NOTICE

The Wynyard Waste Transfer Station will be closed on Good Friday, Friday 14th April 2017 and will reopen at 10am Saturday 15th April 2017

APPLICATIONS FOR PLANNING PERMITS

Notice is given that applications have been made for the following discretionary permits:-

No: DA 40/2017
Location: 105 Inglis Street Wynyard
Applicant: Abel Drafting Services
Zoning: General Residential
Use Class: Residential
Proposal: Carport
Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P3)

No: DA 44/2017
Location: 5 Inghis Drive Wynyard
Applicant: Luke Jones, Hotondo Homes North West Tas
Zoning: General Residential
Use Class: Residential
Proposal: Dwelling
Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P1, P3) & Sunlight and overshadowing for all dwellings (10.4.4 P1)

No: SD 2016
Location: 130 Reservoir Drive Wynyard (CT 234487/1)
Applicant: Michael Wells, EnviroPlan
Zoning: Rural Living
Use Class: Residential & Resource Development
Proposal: Subdivision (1 into 2 lots)
Discretionary Matter: Subdivision (13.4.7 P1, P2), Reticulation of an electricity supply to new lots on a plan of subdivision (13.4.8 P1) & Use likely to be exposed to a natural hazard (E6.5.2 P1)

The application and associated plans and documents will be available for inspection during normal office hours for the exhibition period at the Council Office, Saunders Street, Wynyard or viewed on Council website www.wynyard.tas.gov.au. Any person who wishes to make representations in accordance with the Land Use Planning and Approvals Act 1993, must do so during the exhibition period. Representations in writing will be received by the General Manager, PO. Box 168, Wynyard, 7325, email.council@wynyard.tas.gov.au by Wednesday 26 April 2017.

Dated at Wynyard this 8th day of April 2017

Michael Stretton
General Manager
PO Box 168
Wynyard 7325



Local Government

WEST COAST COUNCIL

INVITATION FOR EXPRESSIONS OF INTEREST

EDUCATION & TRAINING ADVISORY COMMITTEE

West Coast Council is seeking Expressions of Interest from suitably qualified and experienced individuals with West Coast interests for appointment to Council's Education & Training Advisory Committee.

The primary objective of this advisory committee is to drive forward and enhance education and training initiatives for the region, and to make recommendations to Council on critical issues and education and training opportunities generally. The committee will meet approximately six times per year, reporting to Council formally each quarter.

Members will be expected to focus on (and represent) the broad interests of the West Coast community, rather than those of any particular individual or organisation(s).

Members will be formally appointed by Council and membership is entirely voluntary.

Expressions of interest must address the Selection Criteria and provide details of the applicant's experience, skills, knowledge and qualifications and how they would apply these to assist in the Committee's functions as outlined in the Education & Training Advisory Committee Charter.

The charter, as well as further information, can be obtained by contacting the committee Secretariat, Simon Lee on 0419 390 912 or via email ecodev@westcoast.tas.gov.au

Expressions of interest should be forwarded to: Education & Training Advisory Committee Selection Panel, PO Box 63 Queenstown Tas 7467.

Expressions of Interest close 5pm Friday 28 April 2017.



Public Notices

TEMPORARY ROAD CLOSURE ANZAC DAY - APRIL 25

In accordance with the Local Government (Highways) Act 1982, the public is advised that for the purpose of activities connected with the preparation and staging of the Latrobe ANZAC Day Dawn Service and Citizens Commemorative Service on April 25, the said event being declared to be a public function for the purpose of the section, the following roads will be closed to through traffic -

- JAMES STREET between Gilbert Street and George Street, Latrobe at 5:30am until 5:55am and 9:30am until 9:55am
- GILBERT STREET between James Street and Hamilton Street from 5:40am until 6:00am and from 9:45am until 10:00am.
- GILBERT STREET from Hamilton Street to Barclay Street including the junction of Weld Street and access to the Station Square car park from 5:40am until 6:45am and again from 9:45am until 11 am

Through traffic during the road closures will be detoured via Cotton Street, Latrobe.

In the event of wet weather, the Services will be held at the Latrobe Memorial Hall.

Dated at Latrobe this 8th day of April, 2017.

P Freshney, Mayor
Latrobe Council, 170 Gilbert Street, Latrobe, 7307

Join the social network for your suburb

Every day over 6,500 suburbs across Australia use Naboto get better connected with their local area. Here you can share recommendations, discover events, and buy, sell or borrow items all with people local to you.

nabo.com.au




EASTER HOLIDAY 2017 OPENING HOURS

The Advocate's offices at 39-41 Alexander Street, Burnie and 45 Best St, Devonport will be closed from 5pm, Thursday, April 13 and reopen on Tuesday, April 18 at 9am.

The Advocate will not be published on Good Friday.

The Advocate Classifieds Phone Lines will be open from 1.30 till 6.30pm on:

Saturday, April 15
Easter Sunday, April 16
Monday, April 17

Phone 1300 363 789
Email: classifieds@theadvocate.com.au

The Advocate
A new INSIGHT

Annexure 3

CENTRAL COAST COUNCIL

Division *Plan - 1000 - 5*
Rec'd **21 APR 2017**
File No
Doc. Id *267126*

RJ & L Coates
8 Grove Street
FORTH TAS 7310

April 21, 2017

Central Coast Council
PO Box 220
ULVERSTONE TAS 7315

TO WHOM IT MAY CONCERN

RE: Development Application DA216200 24 & 24a King Edward Street, Ulverstone.

We, Raymond John Coates and Lea Coates, as owners of the neighbouring property 24b King Edwards Street, Ulverstone (Lot 3 on Strata Plan 150031) hereby make representation to the Council in regards to the development application DA 216200 concerning 24 & 24a King Edward Street, Ulverstone (Lots 1 and 2 on the Strata Plan).

While the application ostensibly interferes with the Common Ground of the Strata Plan that defines the property, the Body Corporate, consisting of the developer and ourselves, held a meeting on Wednesday April 19 and we are now satisfied that due consideration has been given to the drainage infrastructure utilised by Lot 3 and that its integrity will be maintained throughout the demolition, clearing and building processes.

As noted previously we do not agree to parts of the Protection Work Notice (Form 6). The form states that the builder will wish to erect a temporary security fence from the front footpath to the canopy of our building approximately 50cm south of our northern boundary. This interferes directly with access to our retail premises. In an effort to address this, the developer has stated that consideration for our customer access throughout the construction must be addressed in any tender application for the building work, and we are confident that the developer will ensure that our business is not impeded by construction works.

We still however have concerns re the inclusion of customer access to the rear of the proposed building. This access is adjacent to the driveway at the rear of our building which is used for delivery access for our business. Trucks and delivery vehicles reverse in and out of this driveway frequently and the addition of pedestrian traffic to this vicinity raises safety concerns.

Thank you for considering our representation

Yours sincerely



Lea Coates



Raymond J Coates

Annexure 4



24 & 24A King Edward Street, Ulverstone



24 King Edward Street, Ulverstone - building to be demolished



24B King Edward Street, Ulverstone - adjoining property, also forms part of the three lot Strata Plan



View of 24 & 24A King Edward Street, Ulverstone – showing Clarkes Lane secondary frontage with the property boundary to the roads edge



Rear of 24 & 24A King Edward Street, Ulverstone. The grassed area and cottage is subject to the development proposal. The sealed area in the foreground is a right of way on Lot 3 of the Strata Plan (24B King Edward Street, Ulverstone). Lots 1 and 2 (24 & 24A King Edward Street, Ulverstone) have benefit of the right of way

Submission to Planning Authority Notice

Council Planning Permit No.	DA216200	Council notice date	21/04/2017
TasWater details			
TasWater Reference No.	TWDA 2017/00546-CC	Date of response	26/04/2017
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
Response issued to			
Council name	CENTRAL COAST COUNCIL		
Contact details	planning.cmw@centralcoast.tas.gov.au		
Development details			
Address	24 KING EDWARD STREET, ULVERSTONE	Property ID (PID)	2825401
Description of development	Demolition of a building and general retail and hire (pharmacy) (inc 24A King Edward St)		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Weeda Drafting & Building Consultants Pty. Ltd.	1217 Sheets 1A, 2A, 3A, 4A, , 5 & 6A		04/04/2017
Conditions			
SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. The applicant must engage a suitably qualified professional to assess the suitability of the existing property water & sewer connections to service the proposal. The property service connections must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
TRADE WASTE			
2. Liquid trade waste generated as a result of activity associated with this use is to be pre-treated in accordance with TasWater trade waste pre-treatment requirements.			
DEVELOPMENT ASSESSMENT FEES			
3. The applicant or landowner as the case may be, must pay a development assessment fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:			
a. \$201.93 for development assessment.			
4. The payment is required within 30 days of the issue of an invoice by TasWater.			

Advice

For information on TasWater development standards, please visit

<http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developer's cost to locate the infrastructure.

Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council.

Documentation must include a floor and site plan with:

Location of all pre-treatment devices

Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and

Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge.

At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application together with the General Supplement form is also required.

If the nature of the business changes or the business is sold, TasWater is required to be informed in order to review the pre-treatment assessment.

The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial>.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by



Jason Taylor

Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Annexure 6

12 April 2017

Our ref.: DA216200, paa:kaa

Doc ID: 266771

Mr J Weeda
51 Leighlands Avenue
ULVERSTONE TAS 7315

Dear Jake

LOCAL GOVERNMENT (HIGHWAYS) ACT 1982 AND URBAN DRAINAGE ACT 2013
STATEMENT OF COMPLIANCE FOR VEHICULAR ACCESS AND DRAINAGE ACCESS
DEMOLITION AND COMMERCIAL DEVELOPMENT (PHARMACY)
– 24 KING EDWARD STREET, ULVERSTONE

I refer to your application DA216200 for the demolition of an existing building and commercial development (pharmacy) at 24 King Edward Street, Ulverstone, and based on the information supplied with the application the following determination is made in respect to vehicular access and stormwater drainage.

Access can be provided to the road network for the property at 24 King Edward Street, Ulverstone, subject to the following:

- R1 Vehicular access to the lot is available from Clarkes Lane, generally as shown on the Weeda Drafting & Building Consultants Site Location & Setting Out Plan Drawing No. 1217 – 6A of 6 dated 4 April 2017 (copy enclosed);
- R2 The installation of any type of pedestrian crossing across Clarkes Lane is not approved as it is not considered appropriate or warranted, as confirmed in the Midson Traffic Pty Ltd report of March 2017;
- R3 A separate conditioned approval from the Council acting in its capacity as the Road Authority will be required for any works or activity in the road reservation, and must be arranged prior to any work associated with the development being undertaken. Please contact the Council Public Safety Coordinator, Tony King on 0419 103 887;
- R4 Any work associated with roads, footpaths, kerb and channel or street trees will be undertaken by the Council, unless alternative arrangements are approved by Council's Director Infrastructure Services or his representative;

- R5 Any damage or disturbance to roads, footpaths, kerb and channel, street trees or other existing services resulting from activity associated with the development must be rectified;
- R6 All works or activity listed above must be completed to the satisfaction of the Council's Director Infrastructure Services or his representative;
- R7 All works or activity listed above shall be at the developer's/property owner's cost.

Limited access can be provided to the Council's stormwater network at 24 King Edward Street, Ulverstone to drain stormwater from the proposed development subject to the following:

- S1 The existing stormwater connection point is believed to be located in the southwest corner of the property;
- S2 On-site detention storage must be provided to limit the peak rate of the piped stormwater discharge to that generated by the site developed to a level of 100 per cent impervious for a 10% AEP storm event. Note that the developed site includes the property at 24B King Edward Street;
- S3 The on-site detention storage must be designed to accommodate a 1% AEP storm event for the fully developed site, unless it can be demonstrated that either a suitably designed overland flow path or an alternative on-site storage mechanism is available. Note that the developed site includes the property at 24B King Edward Street;
- S4 Any on-site detention storage system must be designed by a civil engineer eligible for membership of IE Aust or equivalent;
- S5 Prior to the issuing of the Building Permit, the engineering design drawings and plans, including supporting documentation and calculations for any on-site detention storage must be submitted to the Council, and be approved in principle by the Director Infrastructure Services or his representative;
- S6 On completion, an "as constructed" plan complete with levels, must be submitted, complete with a certification that the storage and adjacent floor levels have been constructed in accordance with the approved design;
- S7 Any work associated with existing stormwater infrastructure will be undertaken by the Council, unless alternative arrangements are approved by the Council's Director Infrastructure Services or his representative;
- S8 Any damage or disturbance to existing stormwater infrastructure resulting from activity associated with the development must be rectified;

- S9 All works or activity listed above must be completed to the satisfaction of the Council's Director Infrastructure Services or his representative;
- S10 All works or activity listed above shall be at the developer's/property owner's cost.

In general the following shall apply in respect to the provision of infrastructure associated with the development and to any existing Council infrastructure.

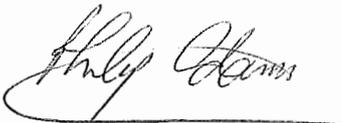
- I1 The provision, upgrading, re-routing, relocation or extension of Council infrastructure and services, required as a result of the subdivision, must be done in accordance with the relevant standards and to the satisfaction of the Council's Director Infrastructure Services or his representative;
- I2 The provision, upgrading, re-routing, relocation or extension of Council infrastructure and services, required as a result of the subdivision, shall be at the developer's/property owner's cost;
- I3 Any damage or disturbance to existing services resulting from activity associated with the subdivision must be rectified at the developer's/property owner's cost.

This 'Statement of Compliance' is not an approval to work in the road reservation or undertake stormwater drainage works, nor is it a planning permit for the demolition or development. This 'Statement of Compliance' is valid for a period of 2 years from the date shown above.

A copy of this 'Statement of Compliance' has been provided to the Council's Land Use Planning Group for consideration with planning permit application DA216200.

Please contact me on tel. 6429 8977 should you have any further enquires.

Yours sincerely



Philip Adams
ENVIRONMENTAL ENGINEER

Public Safety Coordinator
Administrative Assistant - Planning ✓

Encl.

Noteworthy Nominees Pty Ltd
3 Fulton Street
ULVERSTONE TAS 7315

A COPY FOR YOUR INFORMATION



PLANNING ONLY

SIGN ON POST* Give Way To Pedestrians*

PAVED PUBLIC FOOTPATH

PUBLIC FOOTPATH CLAY PAVERS 1480 WIDE.

PROPOSED ZEBRA CROSSING TO PUBLIC FOOTPATH TO AUSTRALIAN STANDARDS

RETAIN KERB & CHANNEL

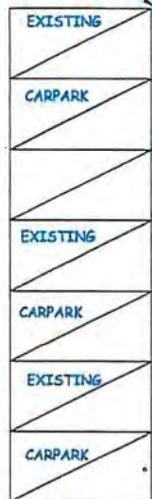
CLARKS LANE

CORNER OF BUILDING ON BOUNDARY CORNER

SIGN ON BUILDING "Give Way To Pedestrians"

KING EDWARD STREET

OPEN AT RIGHT OF WAY
 RETAIN TIMBER FENCE ON THIS SIDE



LIGHT TRUCK PARKING
 RIGHT OF WAY AREA

'FULLIFE' CAR SPACE

RUBBISH BINS

NEW SURVEYED LOT
 TITLE REFERENCE 150031/1 & 2

PAVED PUBLIC FOOTPATH

17 mm FROM BOUNDARY

SITE LOCATION & SETTING OUT PLAN 1:200

CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No:

Doc. ID:

EXISTING LOT AREA
 520.00 m²
 BUILDING AREA
 413.30 m²
 TOTAL BUILDINGS
 413.30 m²
 SITE COVERAGE
 79.48 %

PROPOSED DEMOLITION OF A TIMBER FRAMED COTTAGE & CONSTRUCTION OF A NEW PHARMACY AT 24 KING EDWARD STREET, ULVERSTONE FOR NOTEWORTHY NOMINEES Pty. Ltd.

DATE:	SCALE:	CHECKED BY:	DRAWN BY:	DWG No.
04/04/17	1:200	J WEEDA	A WEEDA	1217 - 6A OF 6

Annexure 1

22 & 22A Alexandra Road, Ulverstone

ALEXANDRA



430490

430500

430510

430520

430530

430540

5443160

5443150

5443140

5443130

5443120

5443110

5443100

5443090

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No: DA216180

Doc. ID: 266931/266937

24

22A

20

22

6

8



DA216180

Annexure 2

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

CENTRAL COAST COUNCIL

PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au

Received: 07 APR 2017

Application No: DA26180

Doc. ID: 266920 / 266936



Land Use Planning and Approvals Act 1993
Central Coast Interim Planning Scheme 2013
PLANNING PERMIT APPLICATION

Office Use Only

Application No _____

Date Received _____

Zone _____

Fee \$ _____

Permitted

Discretionary

NPR

Use or Development Site:

Site Address: 22 and 22a Alexandra Road

Ulverstone TAS 7315

Certificate of Title Reference: 1/63202 2/59820

Land Area: _____ Heritage Listed Property YES NO

Applicant/s

First Name: _____ Middle Name: _____

Surname or Company name: RFS Projects Pty Ltd Mobile: 0419 394 244

Postal Address: 70 Tyagrah Road Phone No: 6424 6325

Devonport 7310

Email address: admin@rfsprojects.com.au

Owner (Note - if more than one owner, all names must be indicated)

First Name: Peter Middle Name: _____

Surname: Davey Phone No: 0497 893401

Postal Address: 1/28 Alexandra Rd Ulverstone 7315

PERMIT APPLICATION INFORMATION

(If insufficient space, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Residential

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$ 702,000 (Estimate) Actual

Total floor area of the development 586m²

Notification of Landowner

If land is NOT in the applicant's ownership

I, _____, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____

Date

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister

responsible for the land, consent to the making of this permit application.

Minister (Signature) _____

Date

Applicants Declaration

I/ we RFS Projects Pty Ltd
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s  Date 7/21/17

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 63202	FOLIO 1
EDITION 4	DATE OF ISSUE 11-Dec-2013

SEARCH DATE : 07-Apr-2017

SEARCH TIME : 03.26 PM

DESCRIPTION OF LAND

Town of ULVERSTONE

Lot 1 on Diagram 63202 (formerly being 29-23TN)

Derivation : Part of Lot 3 Section N Granted to J. Stevenson

Prior CT 2934/7

SCHEDULE 1

M439434 TRANSFER to WAYNE BARRY MONSON Registered
11-Dec-2013 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
D109796 MORTGAGE to Westpac Banking Corporation Registered
11-Dec-2013 at 12.03 PM

UNREGISTERED DEALINGS AND NOTATIONS

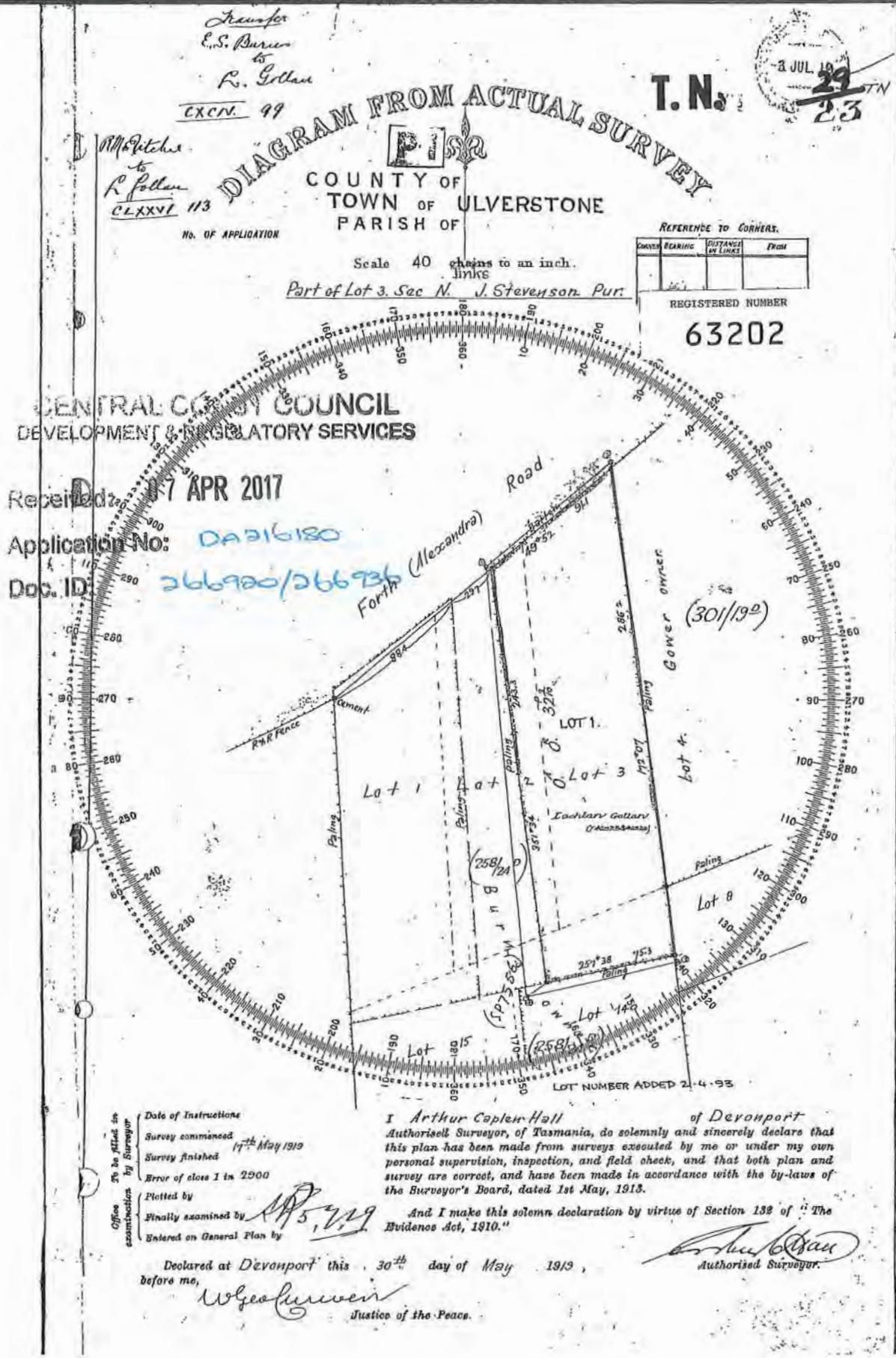
No unregistered dealings or other notations

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 07 APR 2017

Application No: DA216180

Doc. ID: 266920 / 266936



As filed in Office of Examinations by Surveyor

Date of Instructions

Survey commenced 17th May 1919

Survey finished

Error of close 1 in 2900

Plotted by

Finally examined by

Entered on General Plan by

I Arthur Caplen Hall of Devonport Authorised Surveyor, of Tasmania, do solemnly and sincerely declare that this plan has been made from surveys executed by me or under my own personal supervision, inspection, and field check, and that both plan and survey are correct, and have been made in accordance with the by-laws of the Surveyor's Board, dated 1st May, 1913.

And I make this solemn declaration by virtue of Section 132 of "The Evidence Act, 1910."

Declared at Devonport this 30th day of May 1913, before me,

W. G. Curwen
Justice of the Peace.

Arthur Caplen Hall
Authorised Surveyor.

SEARCH OF TORRENS TITLE

VOLUME 59820	FOLIO 2
EDITION 5	DATE OF ISSUE 27-Sep-2005

SEARCH DATE : 07-Apr-2017
SEARCH TIME : 03.30 PM

DESCRIPTION OF LAND

Town of ULVERSTONE
Lot 2 on Diagram 59820 (formerly being 301-19D)
Derivation : Part of Lot 3 Section N. Gtd. to J. Stevenson
Prior CT 3091/90

SCHEDULE 1

C674107 TRANSFER to ROBERT GRAHAM DOVE Registered
27-Sep-2005 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
C669440 MORTGAGE to Commonwealth Bank of Australia
Registered 27-Sep-2005 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 07 APR 2017
Application No: 09216180
Doc. ID: 266920 / 266936

10303
 THE COMMON SEAL of the Warden, Coroner and Electors of the Municipality of Ulverstone has been hereunto affixed in the presence of me
 19th day of March 1954 in pursuance of the
 authorisation given at a meeting of the Council held on the 15th day of February 1954
 Warden
 Council Clerk
 MEMO 8/11/54
 No. OF APPLICATION

FROM AC^r

REGISTERED NUMBER

59820

D 30/19

TOWN OF ULVERSTONE

Part of Lot 3 SEC. N G^r to Jas. Stevenson

Scale 30 ft to an inch

REFERENCE TO CORNERS

COR.	BEARING	DISTANCE IN LINKS	FROM

NO INFORMATION TO BE WRITTEN WITHIN THIS SPACE

M.E. Frampton
 C.T. 338-121



CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

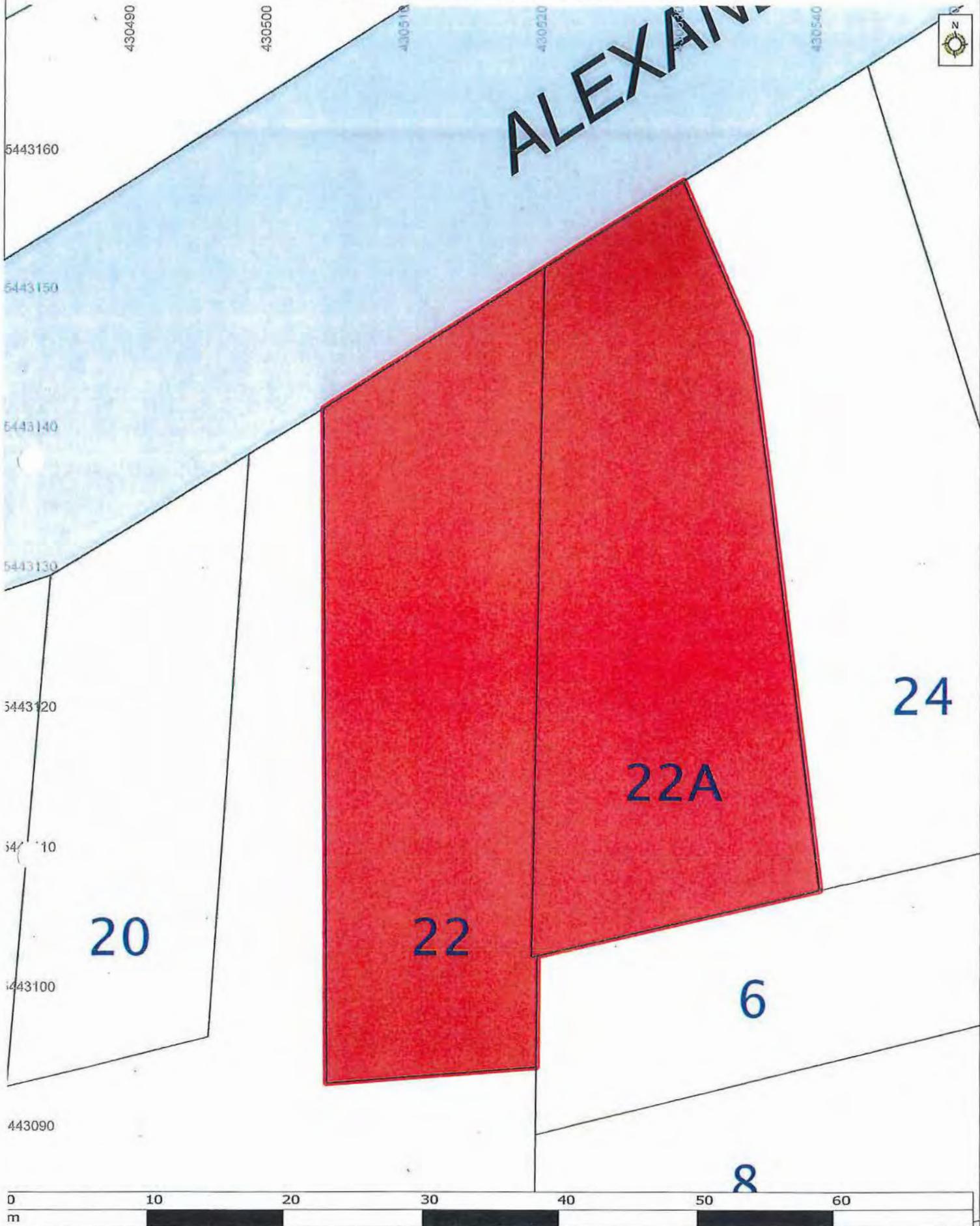
Received: 07 APR 2017
 Application No: DA216180
 Doc. ID: 266900/266936

To be filled in by Surveyor:
 Date of Instructions
 Survey commenced
 Survey finished 22-3-54
 Error of close 1 in
 Plotted by
 Examined as to boundaries
 Mathematically checked
 Entered on Card by
 Dated this 24th day of Feb. 1954

I, Charles Kingston Goddard of Ulverstone Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or under my own personal supervision, inspection, and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Law No. 2, dated 3rd July, 1946.

C. K. Goddard
 Authorised Surveyor.

22 & 22A Alexandra Road, Ulverstone



DA216180

copyright © 2015, Central Coast Council
The information shown on this plan has been generated from digital data.
Central Coast Council accepts no responsibility for the accuracy of the data.
Boundary locations should be checked at the State Titles Office.
DA94 (Zone 55)

RFS PROJECTS PTY. LTD.

PROJECT:

NEW UNIT DEVELOPMENT

RFS PROJECTS & PETER DAVEY

22 & 22A ALEXANDRA RD

ULVERSTONE

TASMANIA

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Doc ID:

DRAWING SCHEDULE	
PAGE	TITLE
1	SITE PLAN
2	LANDSCAPING PLAN
3	POS
4	PARKING
5	DRAINAGE
6&6A	SHADING PLANS - SUN ALTITUDE
7 - 7C	SHADING PLANS
8-16	UNIT 1
17-25	UNIT 2
26-34	UNIT 3
35-43	UNIT 4
44	BAL
45A&B	WET AREA WATERPROOFING NOTES
46	NCC COMPLIANCE NOTES
47	WORK HEALTH & SAFETY NOTES

VOLUME & FOLIO
1/63202 & 2/59820
DESIGN WIND SPEED -
SOIL CLASSIFICATION -
CLIMATE ZONE - 7
BAL - LOW

FLOOR AREA	
UNIT 1	144M ²
UNIT 2	144M ²
UNIT 3	149M ²
UNIT 4	149M ²

RFS PROJECTS PTY LTD
ABBIE BROWN - CC6487
ACCREDITED BUILDING DESIGNER
70 TUGRAH RD, DEVONPORT
P 64 246325
E.abbie@rfsprojects.com.au



ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

SITE AREA - UNIT 1
 Land Area = 394M²
 Unit Area = 144 M²
 Porch Area = 1M²
 Alfresco = 13M²
 POS(inc. alfresco) = 60M²
 Free Open Space = 189M²
 (inc. paths, driveway & garden)

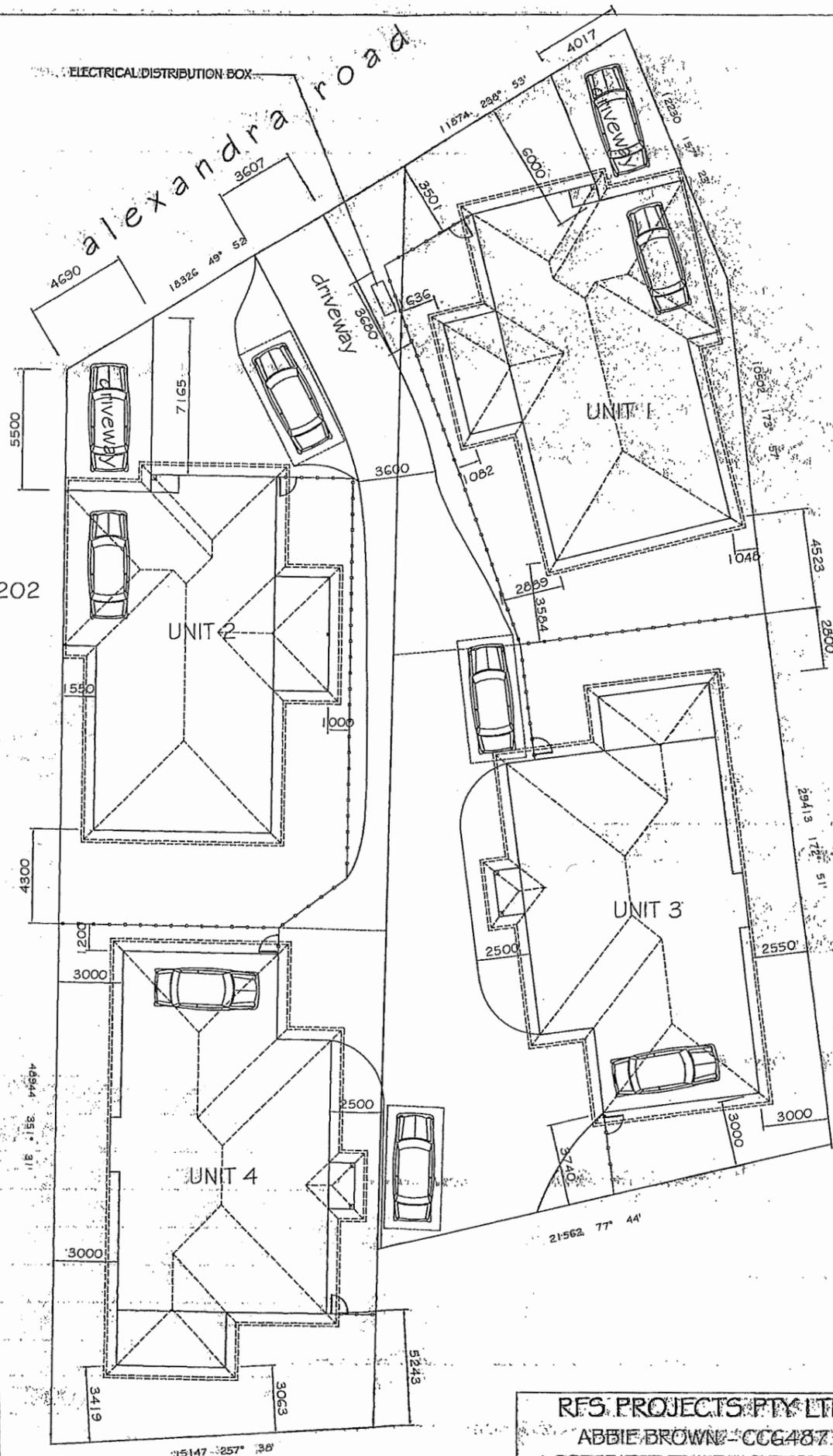
SITE AREA - UNIT 2
 Land Area = 445M²
 Unit Area = 144 M²
 Porch Area = 1M²
 Alfresco = 13M²
 POS(inc. alfresco) = 70M²
 Free Open Space = 290M²
 (inc. paths, driveway & garden)

SITE AREA - UNIT 3
 Land Area = 488M²
 Unit Area = 149 M²
 Porch Area = 2.5M²
 Alfresco = 13M²
 POS(inc. alfresco) = 60M²
 Free Open Space = 276.5M²
 (inc. paths, driveway & garden)

SITE AREA - UNIT 4
 Land Area = 350M²
 Unit Area = 149 M²
 Porch Area = 2.5M²
 Alfresco = 13M²
 POS(inc. alfresco) = 60M²
 Free Open Space = 188.5M²
 (inc. paths, driveway & garden)

LOT 1
 M²
 VOL-63202
 FOL-1

LOT 2
 M²
 VOL-59820
 FOL-2



CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

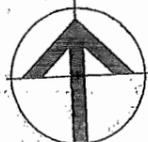
Date:



SITE PLAN

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE

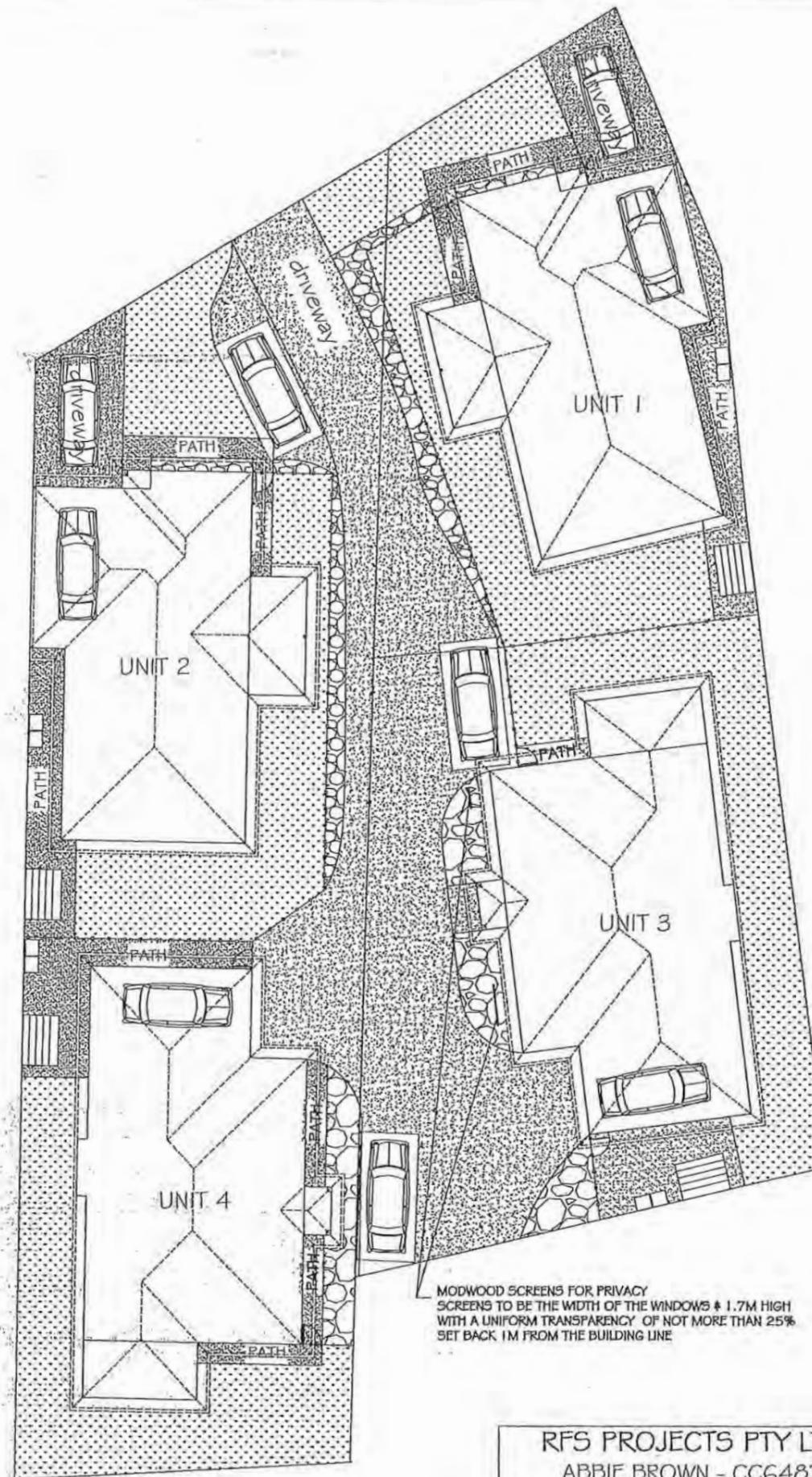


RFS PROJECTS PTY LTD
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 ACCREDITED BUILDING DESIGNER
 70 TUGRAH RD, DEVONPORT
 T 64 246325
 E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

SITE PLAN
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO. 1
 DATE - 15/03/17
 REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



LANDSCAPING LEGEND

-  GRASS
-  STONE COVER GARDEN
-  PATHS - CONCRETE
-  DRIVEWAY - CONCRETE
-  CLOTHES LINE
-  RUBBISH BINS
-  FENCE 1500 HIGH COLORBOND

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 05 APR 2017

Application No: JA 2/6 180

Doc. ID:

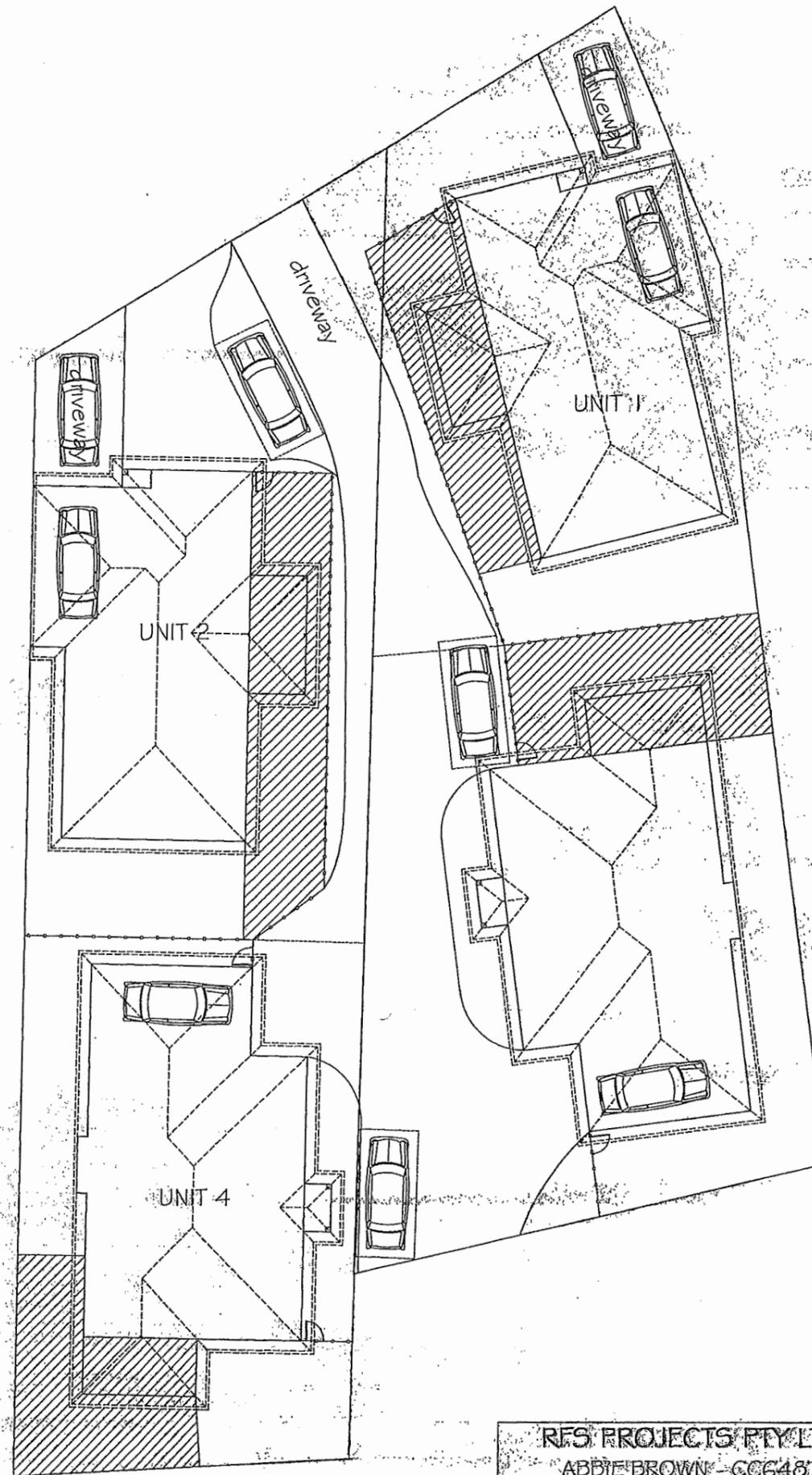


LANDSCAPING PLAN

ALL DIMENSIONS IN MILLIMETERS				
IF IN DOUBT DO NOT SCALE				
REV	DESCRIPTION	DATE		
A	PRELIMINARY	15.03.17		

RFS PROJECTS PTY LTD ABBIE BROWN - CC6487 ACCREDITED BUILDING DESIGNER 70 TUGRAH RD, DEVONPORT P 64 246325 E abbie@rfsprojects.com.au	NEW UNIT DEVELOPMENT RFS PROJECTS & PETER DAVEY 22 & 22A ALEXANDRA RD ULVERSTONE	LANDSCAPING SCALE - 1:250 (A3) JOB NO. DAVEY DRAWING NO. 2 DATE - 15/03/17 REV - A
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ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



POS 

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

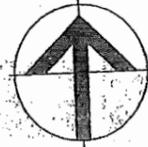
Application No:

Doc ID:



REV	DESCRIPTION	DATE
A	PRELIMINARY	15/03/17

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE



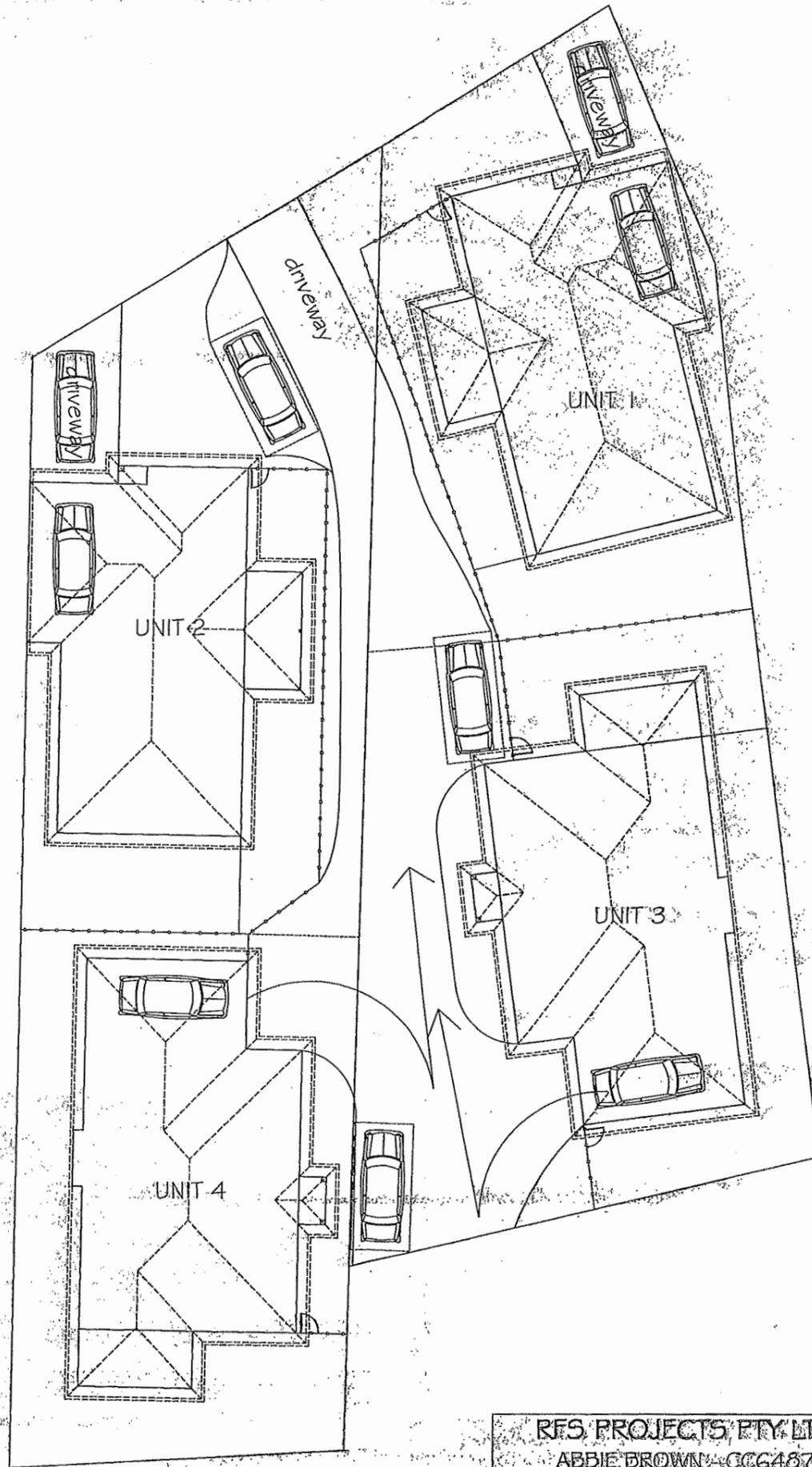
PRIVATE OPEN SPACE

RFS PROJECTS PTY LTD
 ABBIE BROWN - CCG487
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 70 TUGRAH RD, DEVONPORT
 VIC 64 246325
 E: abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
 RFS PROJECTS PTY LTD
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULLVERSTONE

POS
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO. 3
 DATE - 15/03/17
 REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



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DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

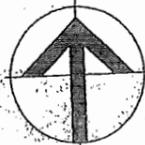
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ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE

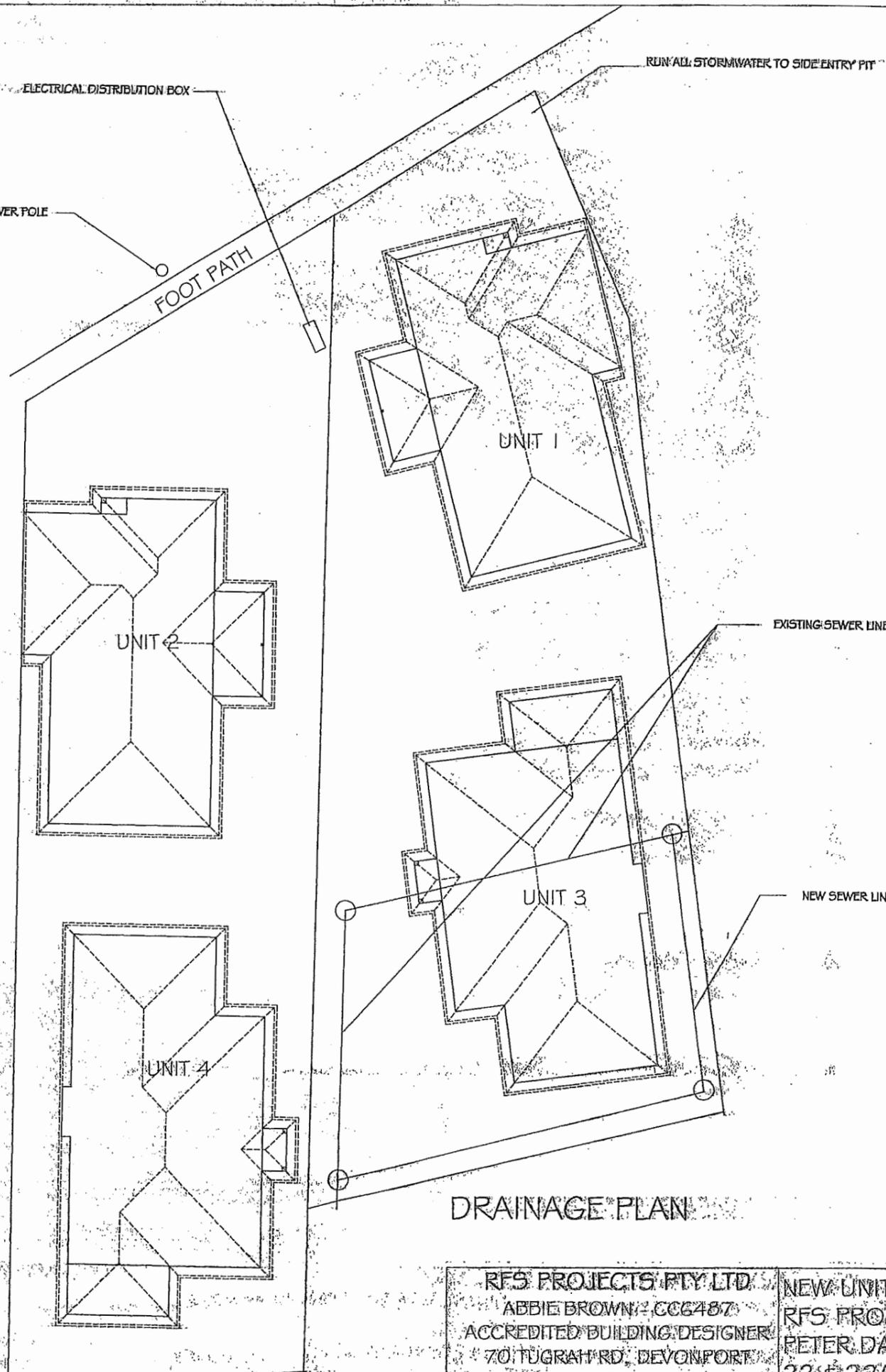


MEMBER

PARKING

RFS PROJECTS PTY LTD ABBIE BROWN - CCG487 ACCREDITED BUILDING DESIGNER 70 TUGRAH RD, DEVONPORT P 64 246325 E abbie@rfsprojects.com.au	NEW UNIT DEVELOPMENT RFS PROJECTS & PETER DAVEY 22 & 22A ALEXANDRA RD ULVERSTONE	PARKING SCALE - 1:250 (A3) JOB NO. DAVEY DRAWING NO. 4 DATE 15/03/17 REV A
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ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



DRAINAGE PLAN

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Doc. 3:



REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17

ALL DIMENSIONS IN MILLIMETERS
↑
IF IN DOUBT DO NOT SCALE



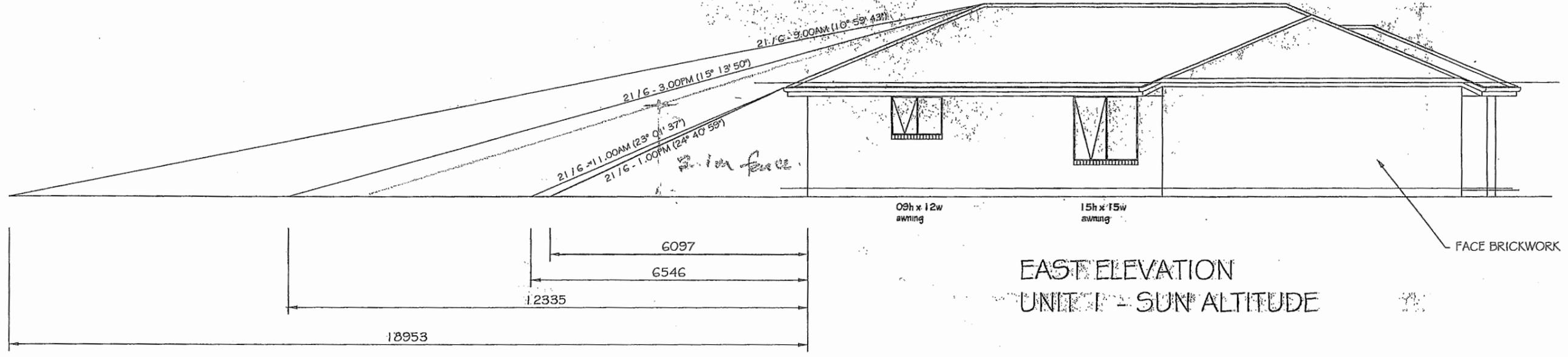
RFS PROJECTS PTY LTD
ABBIE BROWN - CC6487
ACCREDITED BUILDING DESIGNER
70 TUGRAH RD, DEVONPORT
VIC 3142
P 64 246325
E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
RFS PROJECTS #
PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

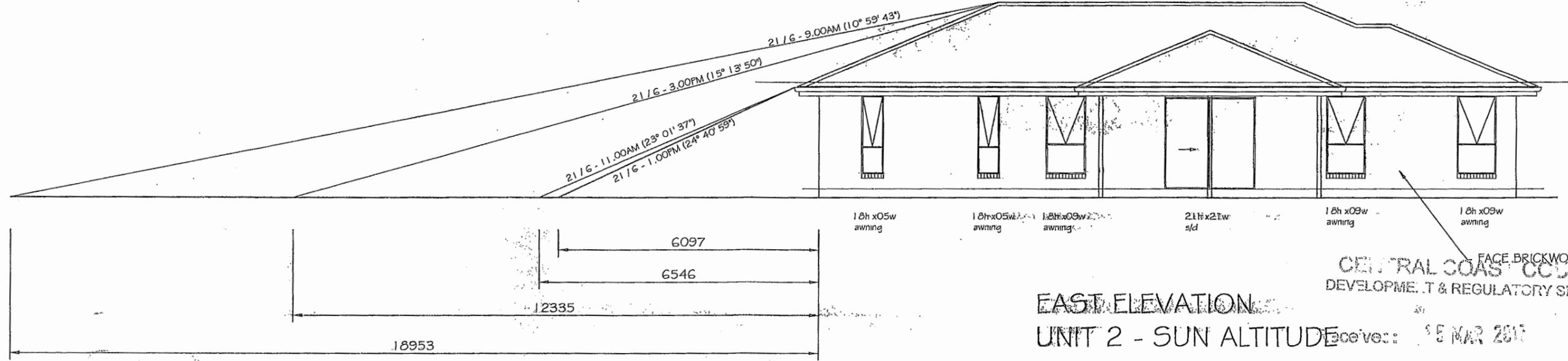
DRAINAGE PLAN
SCALE - 1:250 (A3)
JOB NO. DAVEY
DRAWING NO. 5
DATE - 15/03/17
REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION.

Shading 10:00
Face 11:00 = 1 + 1 = 2
= 2 + 2 = 4



EAST ELEVATION
UNIT 1 - SUN ALTITUDE



EAST ELEVATION
UNIT 2 - SUN ALTITUDE

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017
Application No:
Doc. No:

A	PRELIMINARY	15.03.17
REV	DESCRIPTION	DATE

ALL DIMENSIONS IN MILLIMETERS
IF IN DOUBT DO NOT SCALE

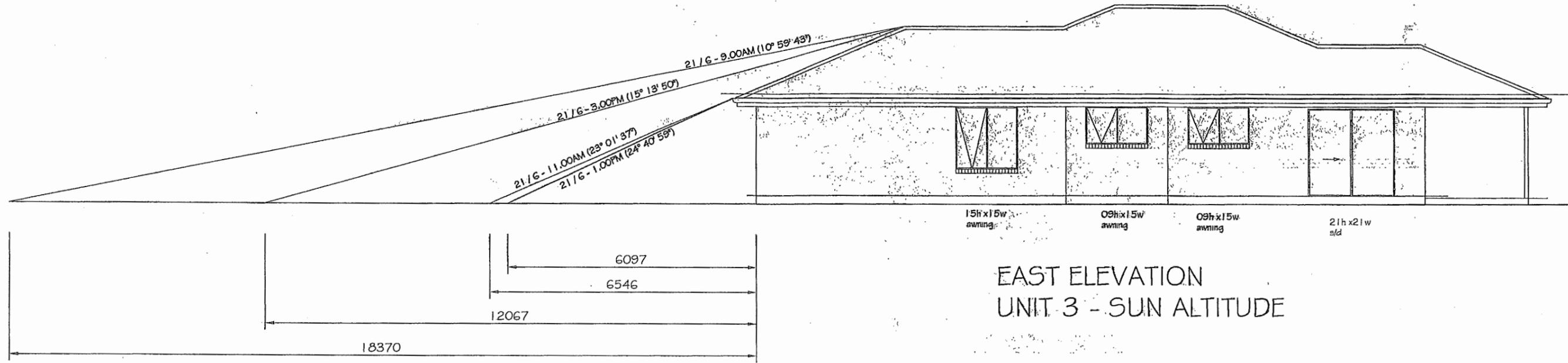


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ABBIE BROWN - CCG 487
ACCREDITED BUILDING DESIGNER
70 TUGRAH RD, DEVONPORT
T 64 246325
E abbie@rfsprojects.com.au

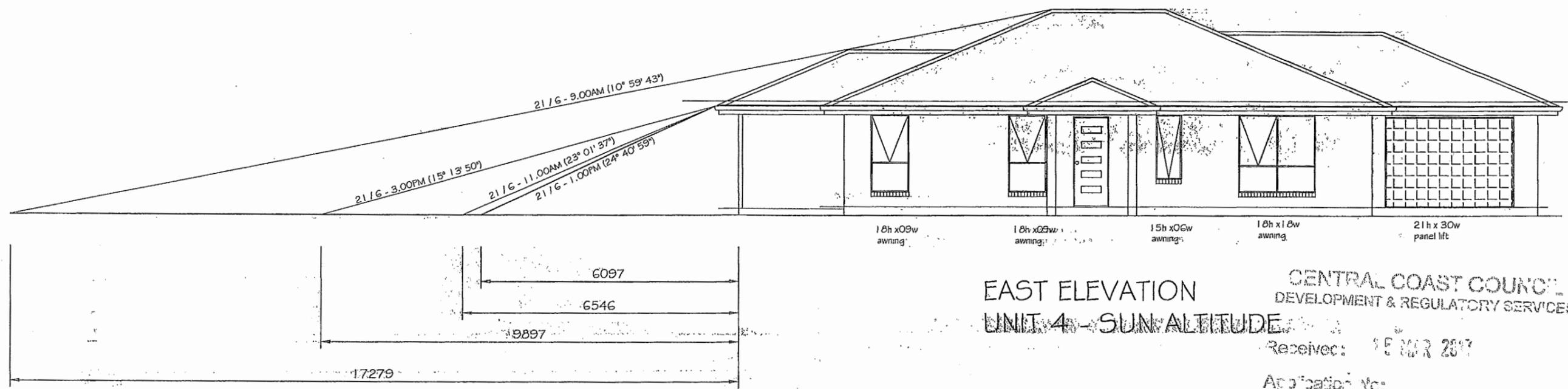
NEW UNIT DEVELOPMENT
RFS PROJECTS &
PETER DAVEY
221 & 22A ALEXANDRA RD
ULVERSTONE

SUN ALTITUDE
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 6
DATE - 15/03/17
REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION.



EAST ELEVATION
UNIT 3 - SUN ALTITUDE



EAST ELEVATION
UNIT 4 - SUN ALTITUDE

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

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Doc ID:

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A	PRELIMINARY	15.03.17

ALL DIMENSIONS IN MILLIMETERS
IF IN DOUBT DO NOT SCALE

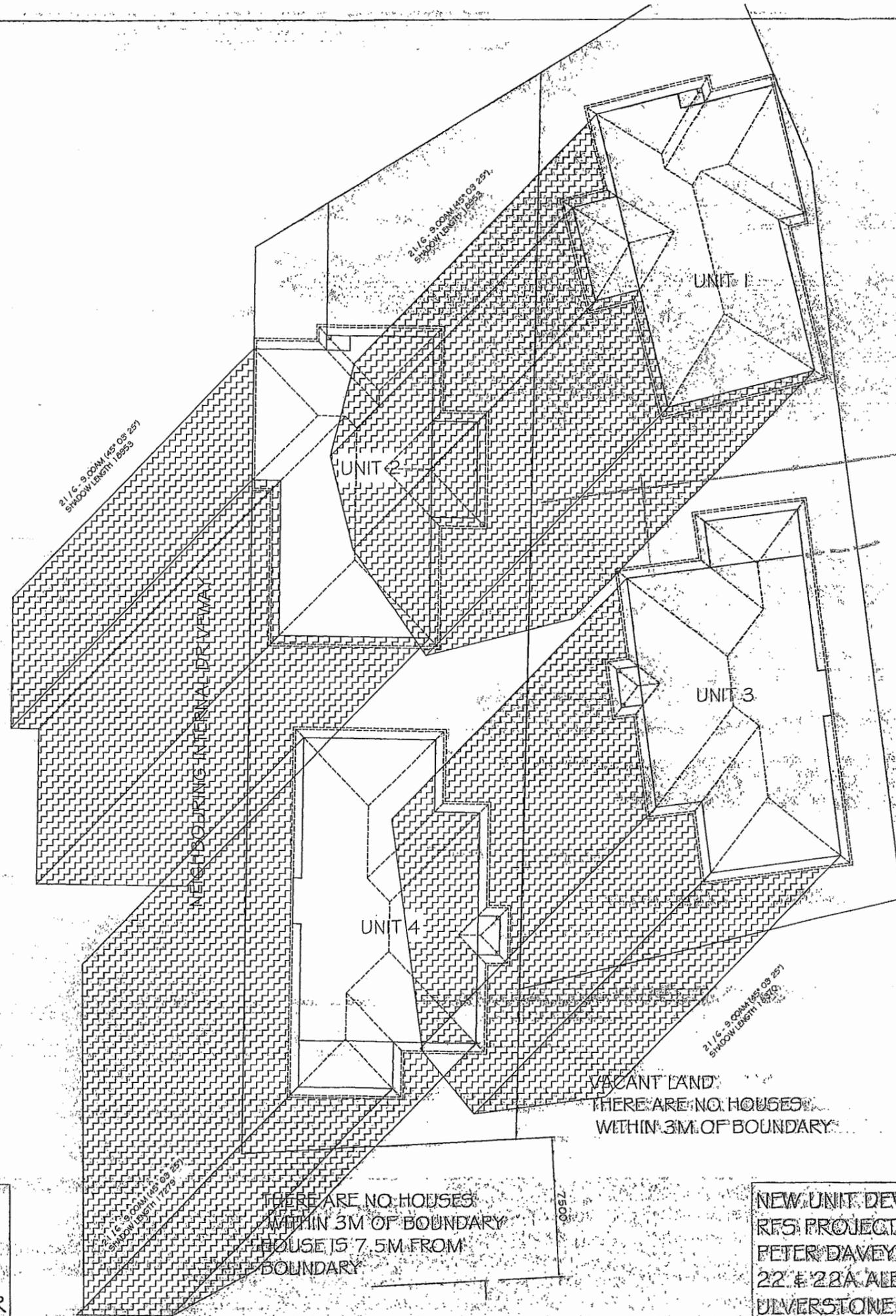


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70 TUGRAH RD, DEVONPORT
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E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
RFS PROJECTS
PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

SUN ALTITUDE
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 6A
DATE - 15/03/17
REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SHADING PLAN
9/06/15 - 9.00AM

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

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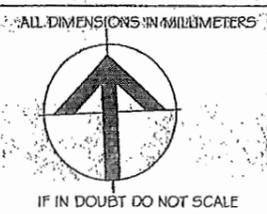
Application No:

Doc. ID:

RFS PROJECTS PTY LTD
ABBIE BROWN - CC6487
ACCREDITED BUILDING DESIGNER
70 TUGRAH RD, DEVONPORT
P 64 246325
E abbie@rfsprojects.com.au



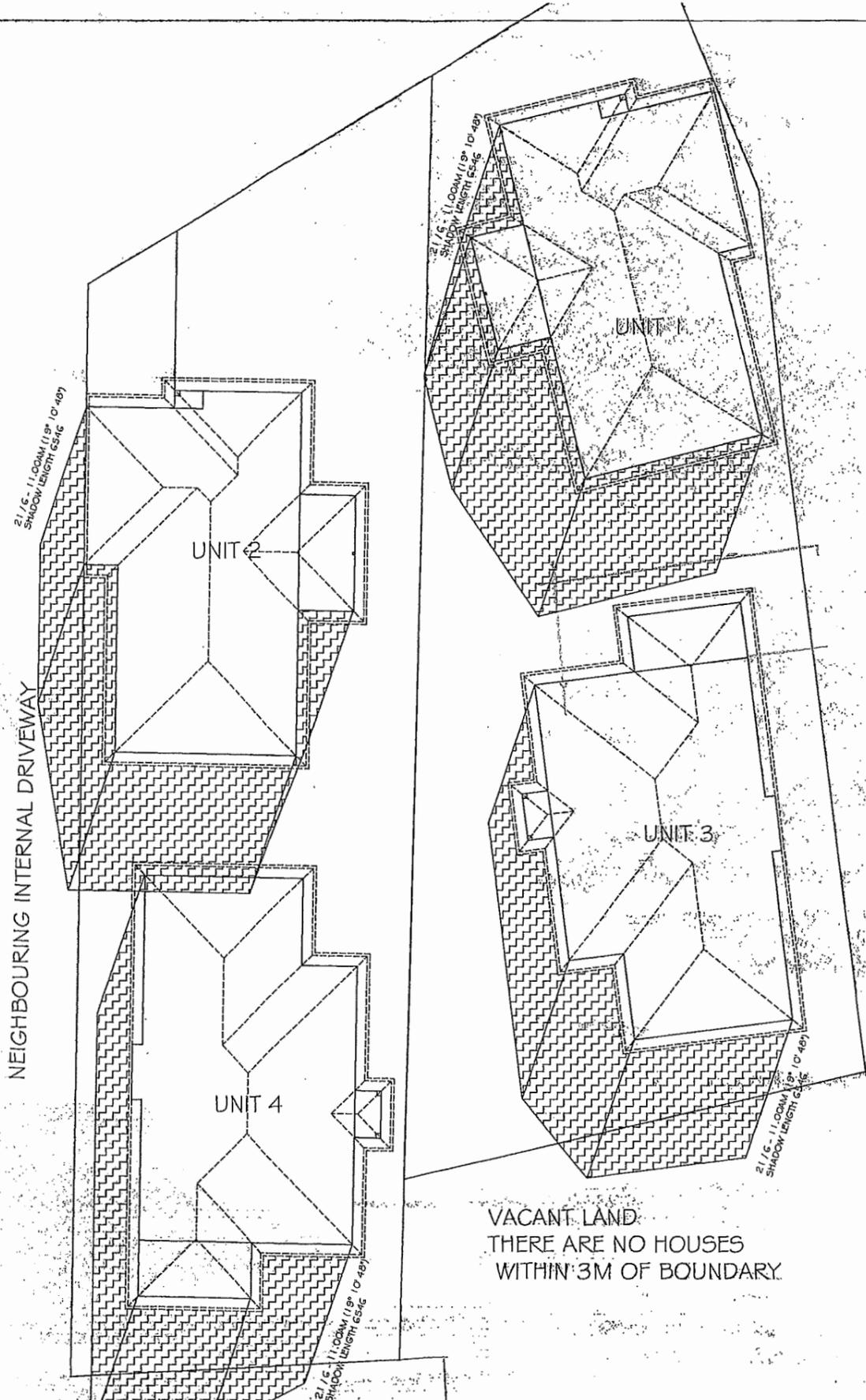
REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17



THERE ARE NO HOUSES WITHIN 3M OF BOUNDARY
HOUSE IS 7.5M FROM BOUNDARY

NEW UNIT DEVELOPMENT
RFS PROJECTS &
PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

SHADING PLAN
SCALE - 1:250 (A3)
JOB NO. DAVEY
DRAWING NO. 7
DATE - 15/03/17
REV - A



SHADING PLAN
9/06/15 - 11.00AM

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

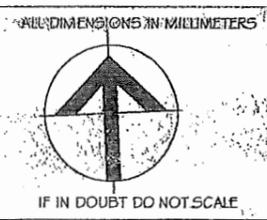
Doc ID:



THERE ARE NO HOUSES
WITHIN 3M OF BOUNDARY
HOUSE IS 7.5M FROM
BOUNDARY

VACANT LAND
THERE ARE NO HOUSES
WITHIN 3M OF BOUNDARY

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17



RFS PROJECTS PTY LTD
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70 TUGRAH RD, DEVONPORT
P 64 246325
E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
RFS PROJECTS &
PETER DAVEY
22 & 22A ALEXANDRA RD
MULVERSTONE

SHADING PLAN
SCALE - 1:250 (A3)
JOB NO. DAVEY
DRAWING NO. 7A
DATE - 15/03/17
REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

NEIGHBOURING INTERNAL DRIVEWAY



SHADING PLAN
9/06/15 - 1.00PM

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

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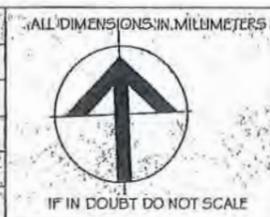
VACANT LAND
THERE ARE NO HOUSES
WITHIN 3M OF BOUNDARY

THERE ARE NO HOUSES
WITHIN 3M OF BOUNDARY
HOUSE IS 7.5M FROM
BOUNDARY

7500



REV	DESCRIPTION	DATE
A	PRELIMINARY	15/03/17



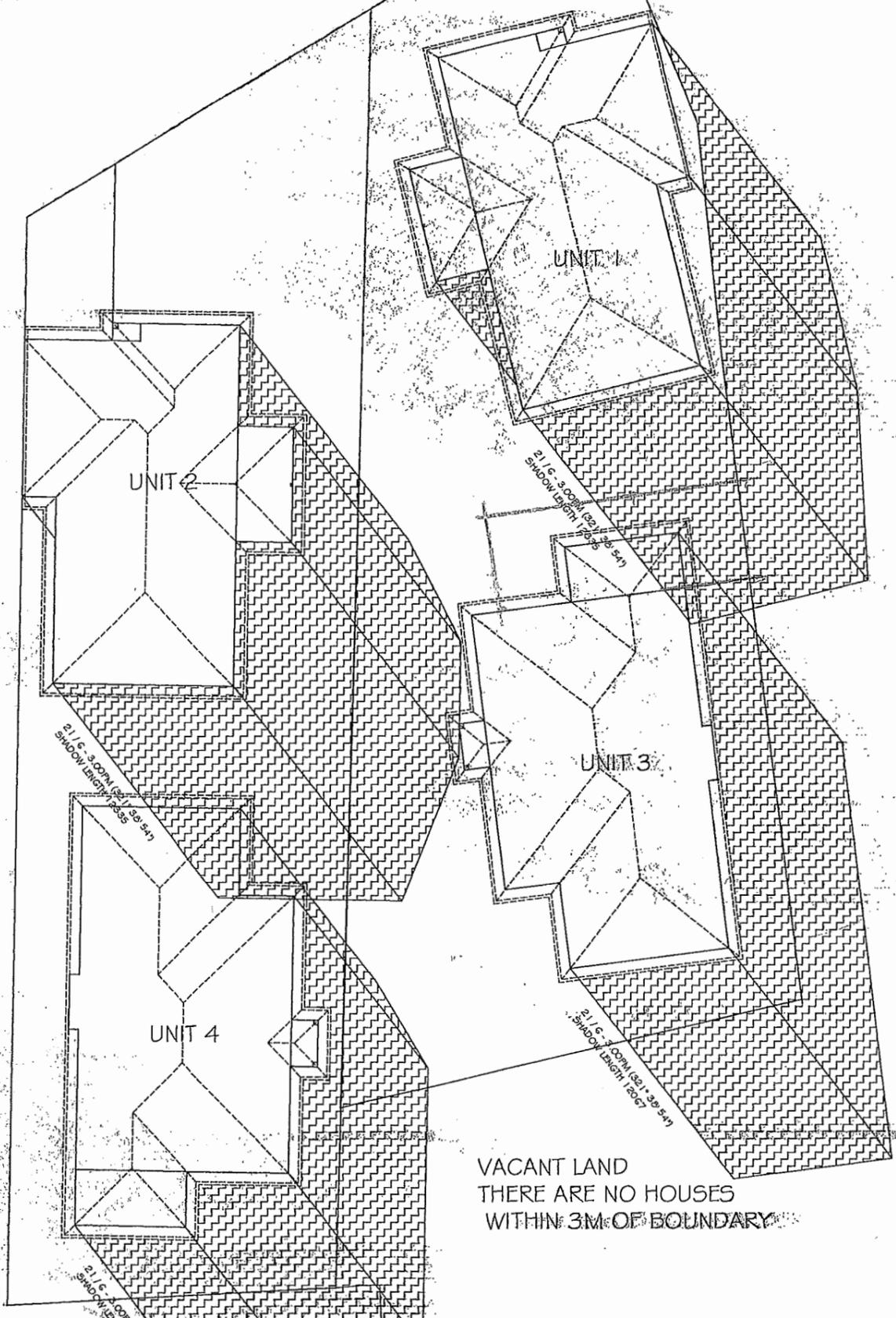
RFS PROJECTS PTY LTD
ABBIE BROWN - CC6487
ACCREDITED BUILDING DESIGNER
70 TUGRAH RD, DEVONPORT
P 64 246325
E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
RFS PROJECTS &
PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

SHADING PLAN
SCALE - 1:250 (A3)
JOB NO. DAVEY
DRAWING NO. 7B
DATE - 15/03/17
REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

NEIGHBOURING INTERNAL DRIVEWAY



SHADING PLAN
9/06/15 - 3.00PM

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

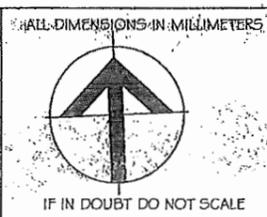
Doc ID:

VACANT LAND
THERE ARE NO HOUSES
WITHIN 3M OF BOUNDARY



THERE ARE NO HOUSES
WITHIN 3M OF BOUNDARY
HOUSE IS 7.5M FROM
BOUNDARY

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17



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70 TUGRAH RD, DEVONPORT
VIC 3207
P 64 246325
E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
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22 & 22A ALEXANDRA RD
ULVERSTONE

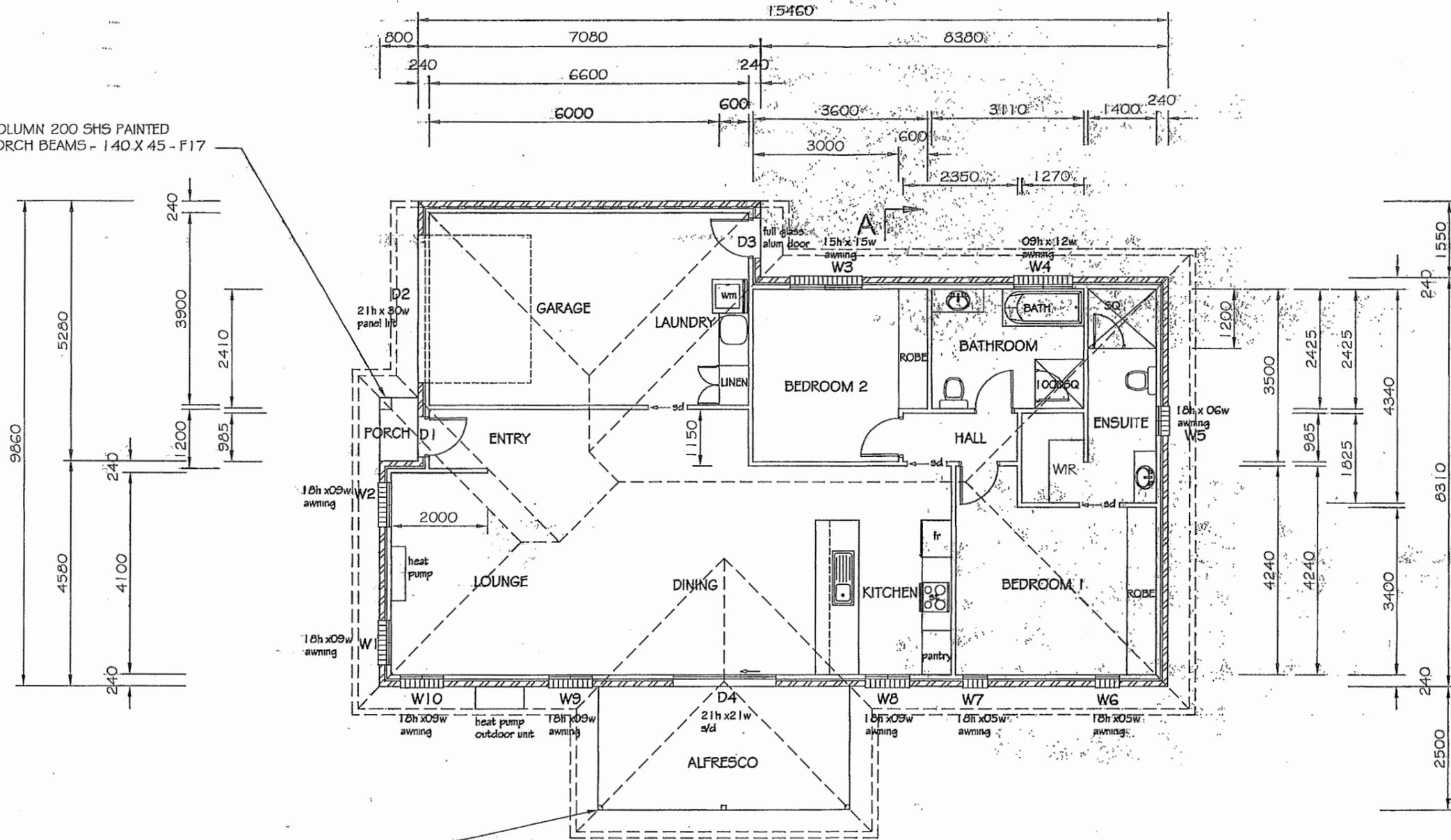
SHADING PLAN
SCALE - 1:250 (A3)
JOB NO. DAVEY
DRAWING NO. 7C
DATE - 15/03/17
REV - A

UNIT 1

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

ROOFING - CUSTOM ORB -
FASCIA -
GUTTER -
BRICK TYPE -
ALUMINIUM FRAMED WINDOWS:
COLOUR -
GLAZING - DOUBLE

COLUMN 200 SHS PAINTED
PORCH BEAMS - 140 X 45 - F17



POSTS 90 SHS
ALFRESCO BEAMS -

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Doc. ID:

FLOOR AREA
NEW RESIDENCE - 144 M²
PORCH - 1 M²
ALFRESCO - 13 M²

FLOOR PLAN

NOTE:
LIFT OFF HINGES ON TOILET DOOR

NOTE:
BULK INSULATION R2.0 IN ALL INTERNAL GARAGE WALLS

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE



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RFS
PROJECTS

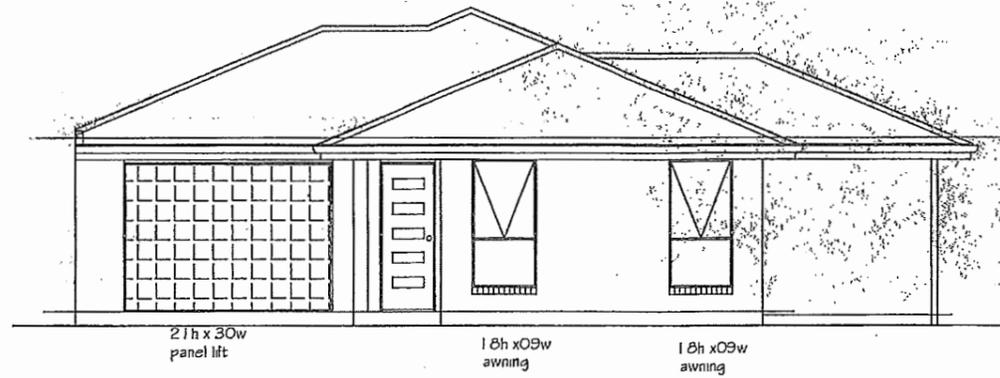
RFS PROJECTS PTY LTD
ABBIE BROWN - CCG487
ACCREDITED BUILDING DESIGNER
70 TUGRAH RD, DEVONPORT
P/G4 246325
E: abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
RFS PROJECTS &
PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

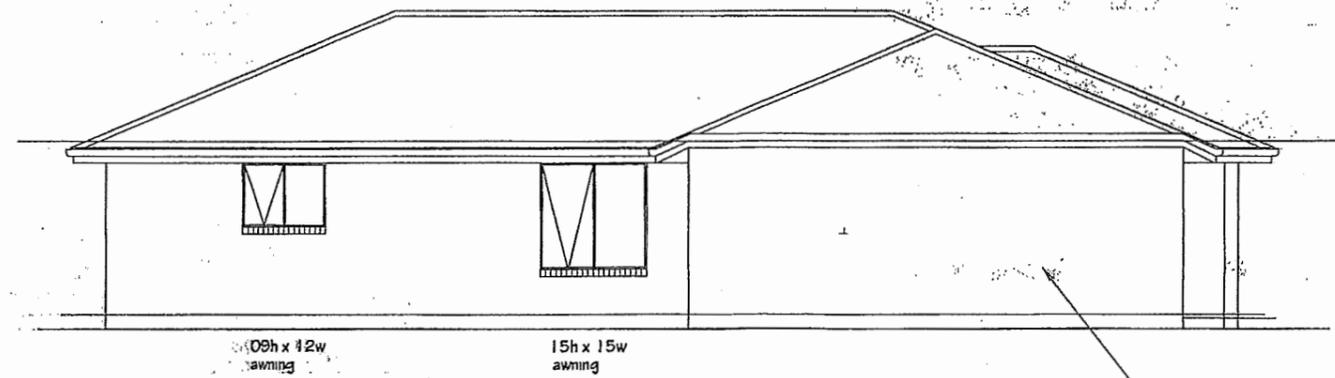
FLOOR PLAN
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 9
DATE - 15/03/17
REV - A

UNIT 1

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION.



NORTH ELEVATION



EAST ELEVATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Drawn:

FACE BRICKWORK

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17

ALL DIMENSIONS IN MILLIMETERS

IF IN DOUBT DO NOT SCALE



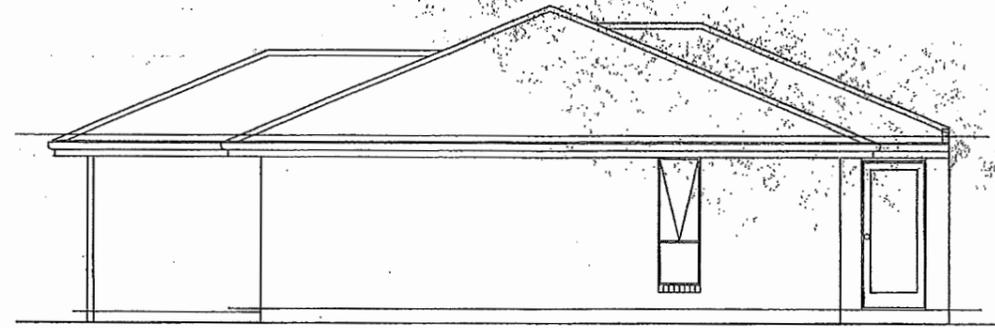
RFS PROJECTS PTY LTD
ABBIE BROWN - CCG487
ACCREDITED BUILDING DESIGNER
70 TUGRAH RD, DEVONPORT
P 64 246325
E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
RFS PROJECTS &
PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

ELEVATIONS
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 11
DATE - 15/03/17
REV - A

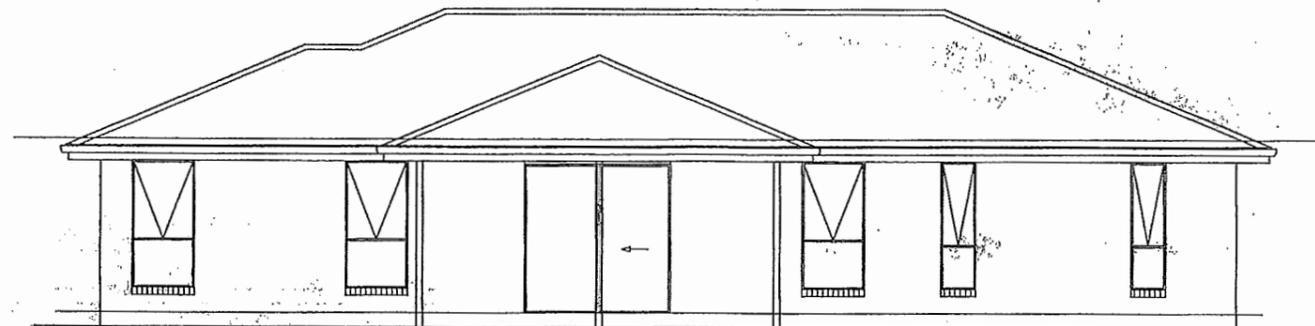
UNIT 1

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



1.8h x 0.6w
awning

SOUTH ELEVATION



1.8h x 0.9w
awning

1.8h x 0.9w
awning

2.1h x 2.1w
s/d

1.8h x 0.9w
awning

1.8h x 0.5w
awning

1.8h x 0.5w
awning

WEST ELEVATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

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A	PRELIMINARY	15/03/17

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NEW UNIT DEVELOPMENT

RFS PROJECTS #

PETER DAVEY

22 & 22A ALEXANDRA RD

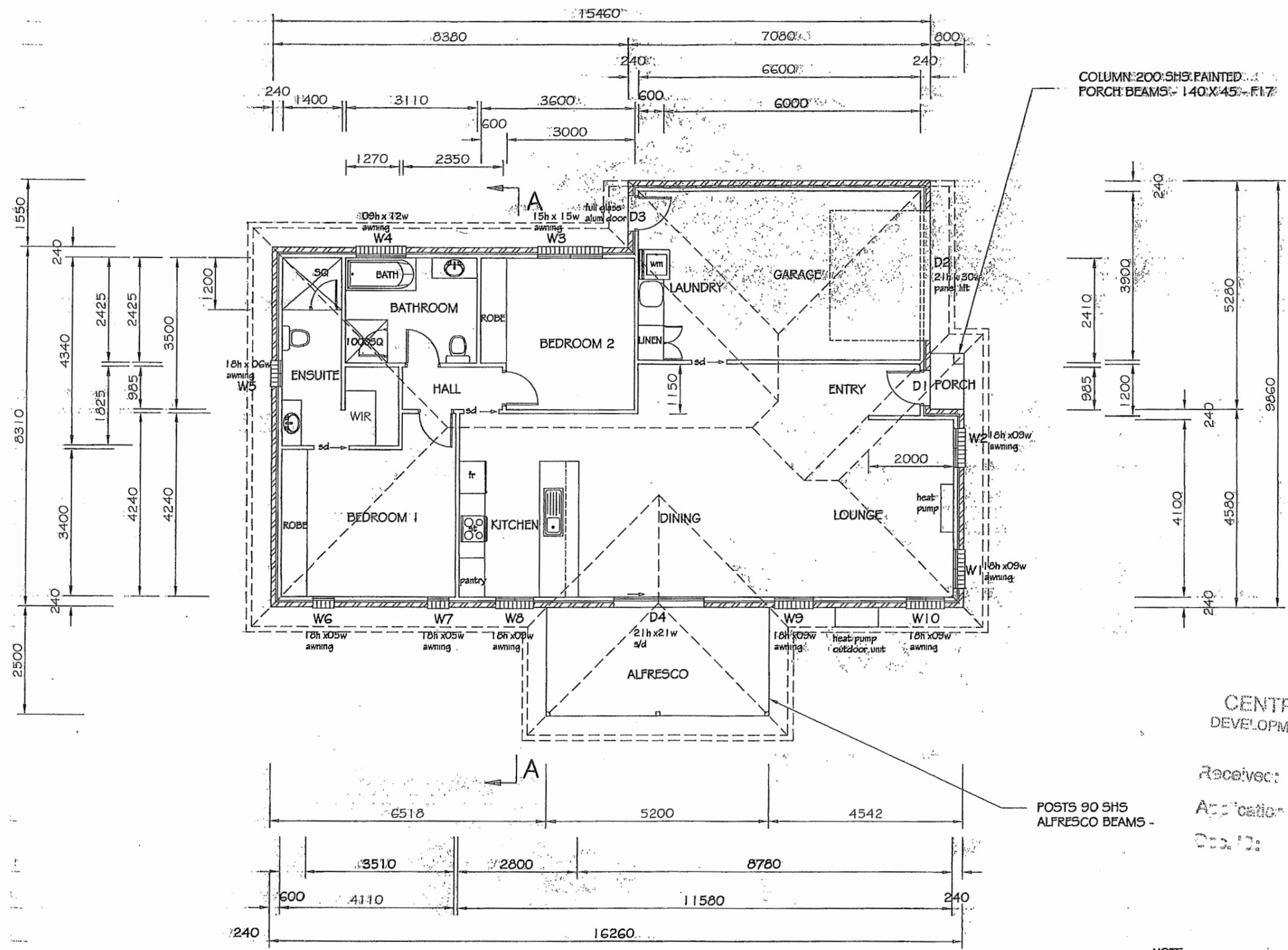
ULVERSTONE

ELEVATIONS
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 12
DATE - 15/03/17
REV - A

UNIT 2

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

ROOFING - CUSTOM ORB -
 FASCIA -
 GUTTER -
 BRICK TYPE -
 ALUMINIUM FRAMED WINDOWS:
 COLOUR -
 GLAZING - DOUBLE



CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Date:

POSTS 90 SHS
 ALFRESCO BEAMS -

FLOOR PLAN

FLOOR AREA
 NEW RESIDENCE - 144 M²
 PORCH - 1 M²
 ALFRESCO - 13 M²

NOTE:
 LIFT OFF HINGES ON TOILET DOOR
 NOTE:
 BULK INSULATION R2.0 IN ALL INTERNAL GARAGE WALLS

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17

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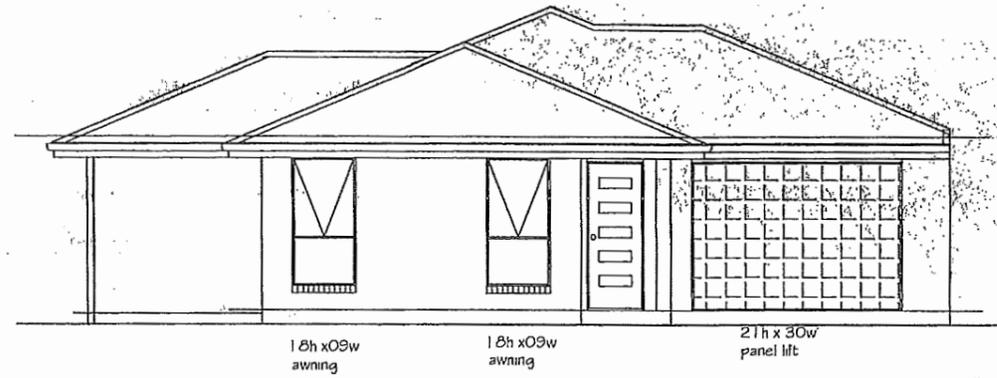
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NEW UNIT DEVELOPMENT
 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

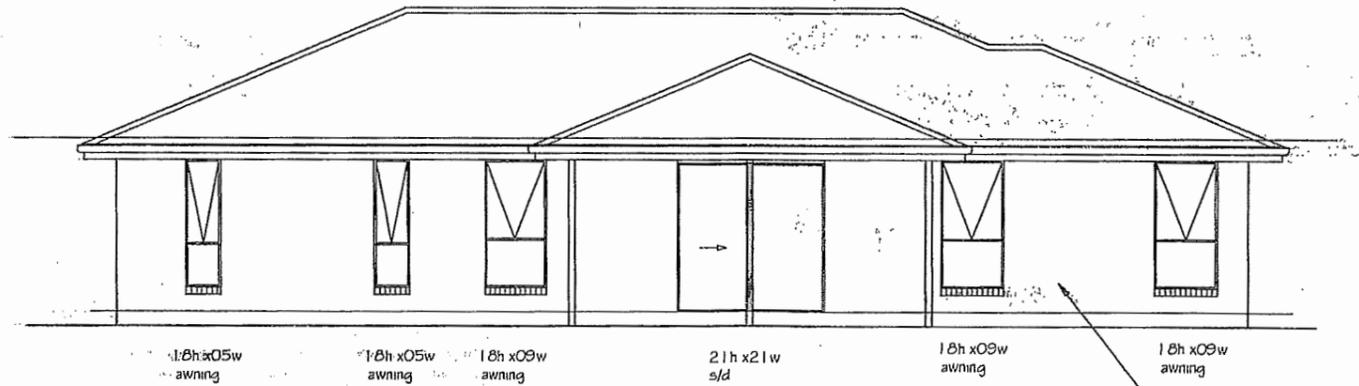
FLOOR PLAN
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. 18
 DATE - 15/03/17
 REV - A

UNIT 2

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



NORTH ELEVATION



EAST ELEVATION

FACE BRICKWORK

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

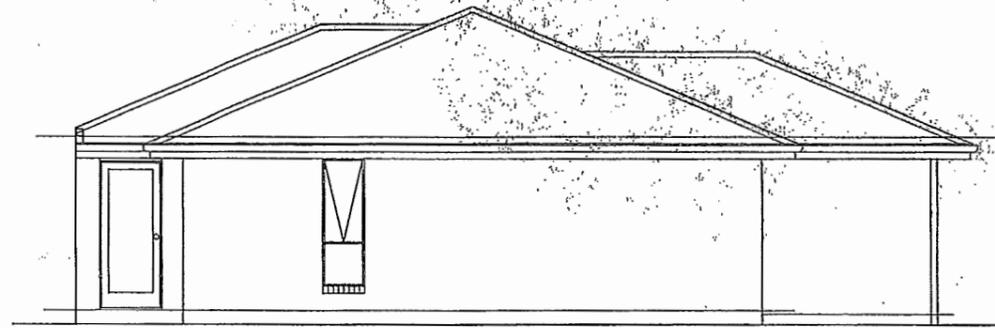
Application No:

Drawn:

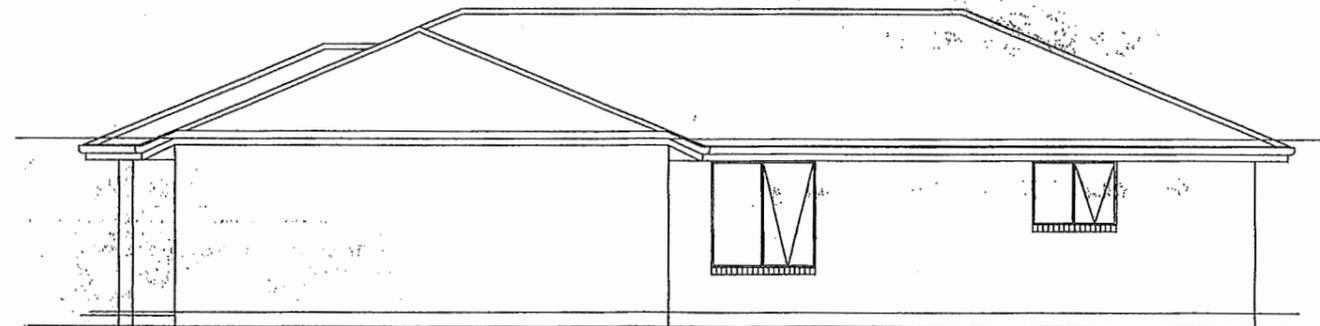
			ALL DIMENSIONS IN MILLIMETERS	 MEMBER	 © 2016 RFS PROJECTS	RFS PROJECTS PTY LTD ABBIE BROWN - CCG487 ACCREDITED BUILDING DESIGNER 70 TUGRAH RD, DEVONPORT P 64 246325 E abbie@rfsprojects.com.au	NEW UNIT DEVELOPMENT RFS PROJECTS & PETER DAVEY 22 & 22A ALEXANDRA RD ULVERSTONE	ELEVATIONS SCALE - 1:100 (A3) JOB NO. DAVEY DRAWING NO. 20 DATE - 15/03/17 REV - A
A	PRELIMINARY	15.03.17	IF IN DOUBT, DO NOT SCALE					
REV	DESCRIPTION	DATE						

UNIT 2

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SOUTH ELEVATION



WEST ELEVATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 13 MAR 2017

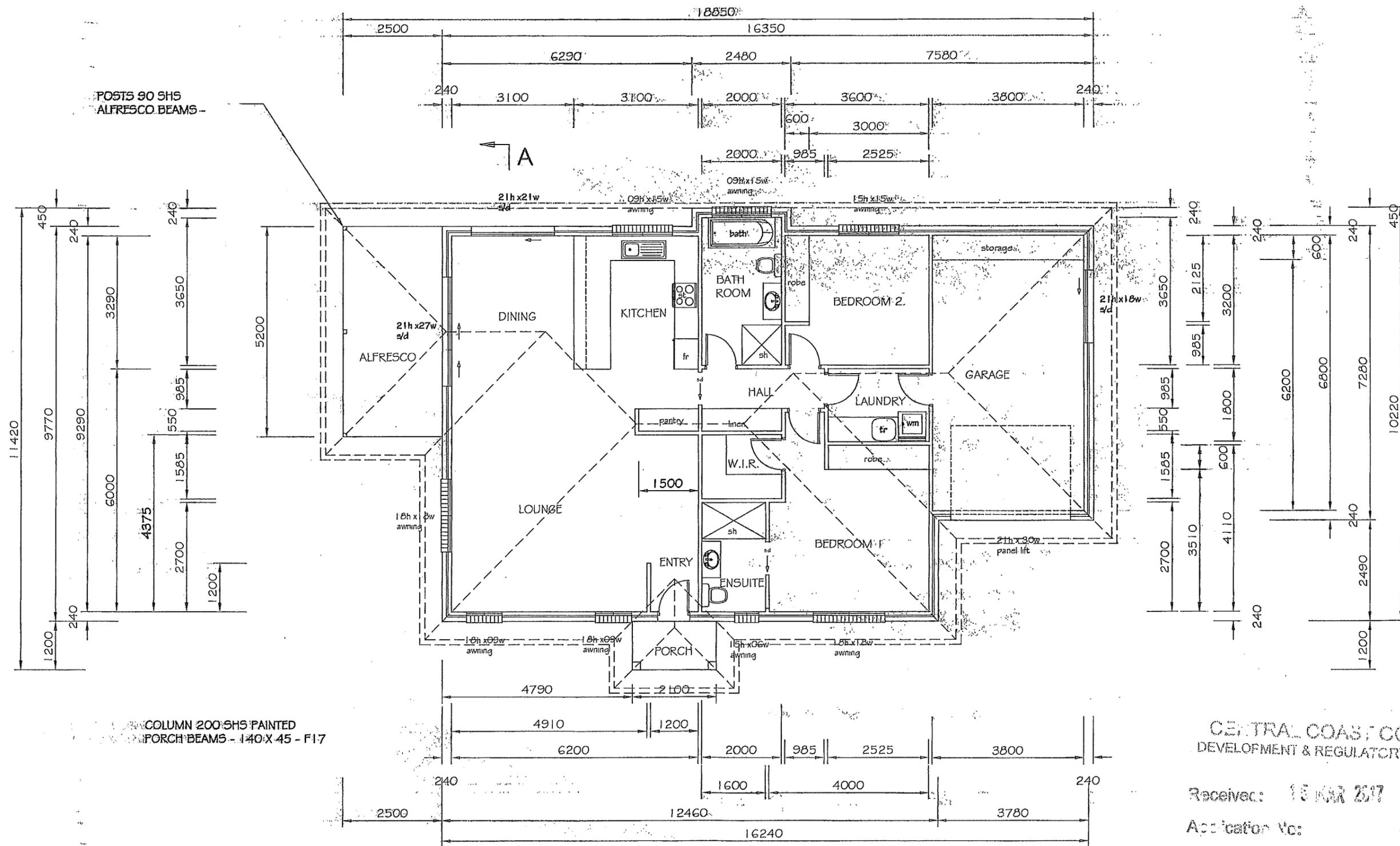
Application No:

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A	PRELIMINARY	15/03/17							
REV	DESCRIPTION	DATE	IF IN DOUBT DO NOT SCALE						

UNIT 3

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POSTS 90 SHS ALFRESCO BEAMS -

COLUMN 200 SHS PAINTED
PORCH BEAMS - 140 X 45 - F17

FLOOR PLAN

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Doc ID:

NOTE:
LIFT OFF HINGES ON TOILET DOOR
NOTE:
BULK INSULATION R2.0 IN ALL INTERNAL GARAGE WALLS

FLOOR AREA
NEW RESIDENCE - 149 M²
PORCH - 2.5 M²
ALFRESCO - 13 M²

REV	DESCRIPTION	DATE
A	PRELIMINARY	15/03/17

ALL DIMENSIONS IN MILLIMETERS

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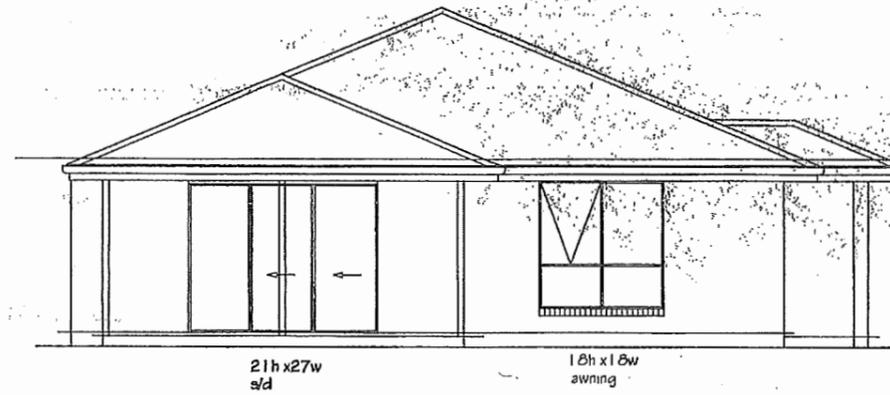
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NEW UNIT DEVELOPMENT
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22 & 22A ALEXANDRA RD
ULVERSTONE

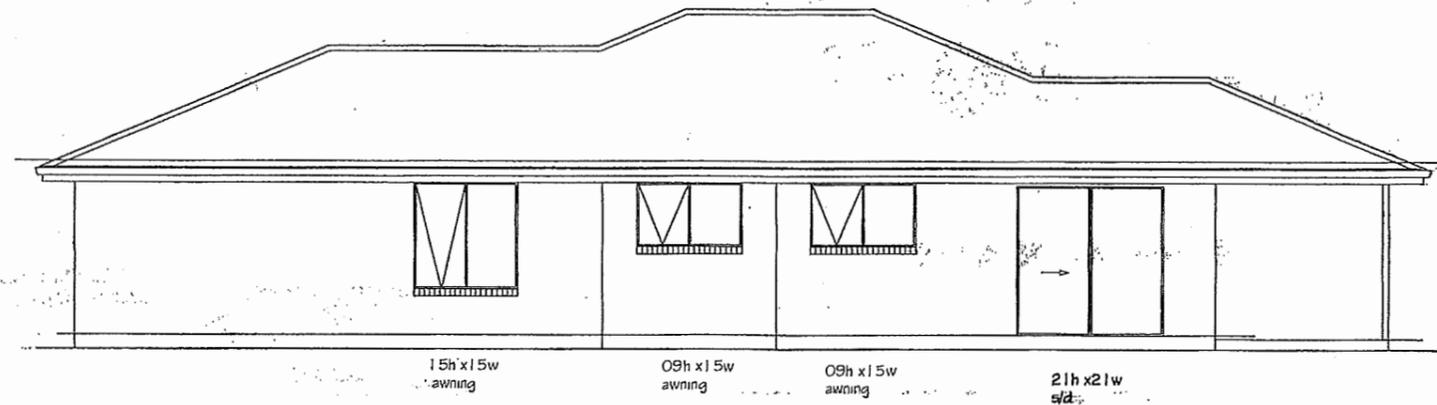
FLOOR PLAN
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 27
DATE - 15/03/17
REV - A

UNIT 3

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NORTH ELEVATION



EAST ELEVATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Drawn:

REV	DESCRIPTION	DATE
A	PRELIMINARY	15/03/17

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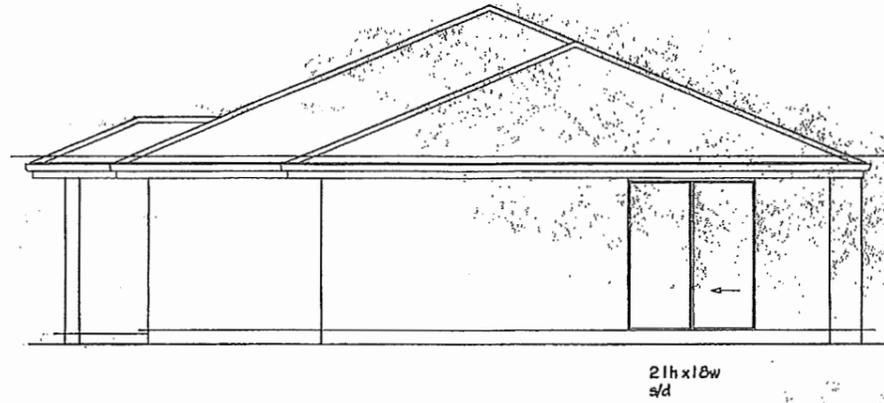
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NEW UNIT DEVELOPMENT
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22 & 22A ALEXANDRA RD
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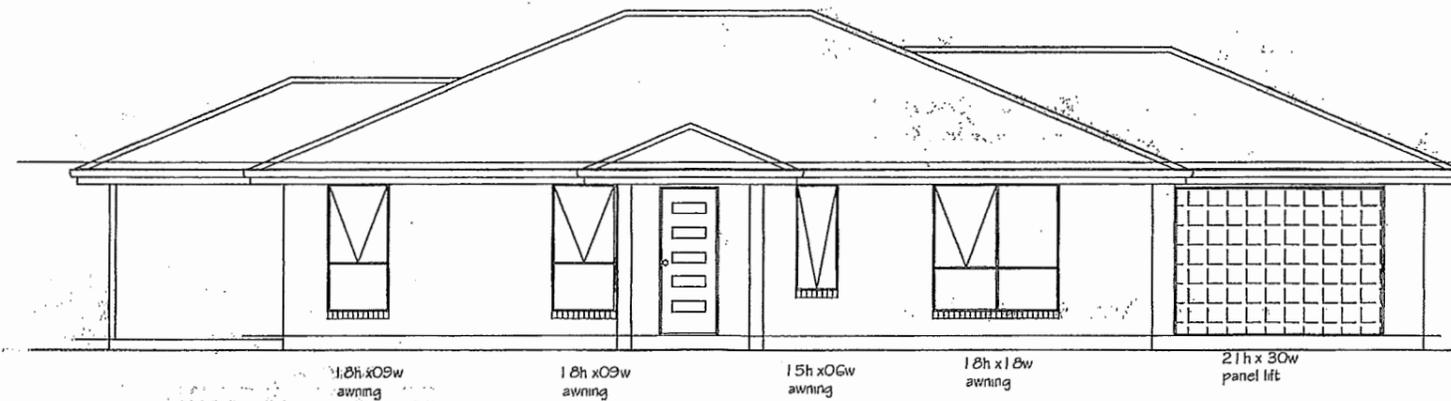
FLOOR PLAN
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 29
DATE - 15/03/17
REV - A

UNIT 3

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SOUTH ELEVATION



WEST ELEVATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Doc. No:

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17

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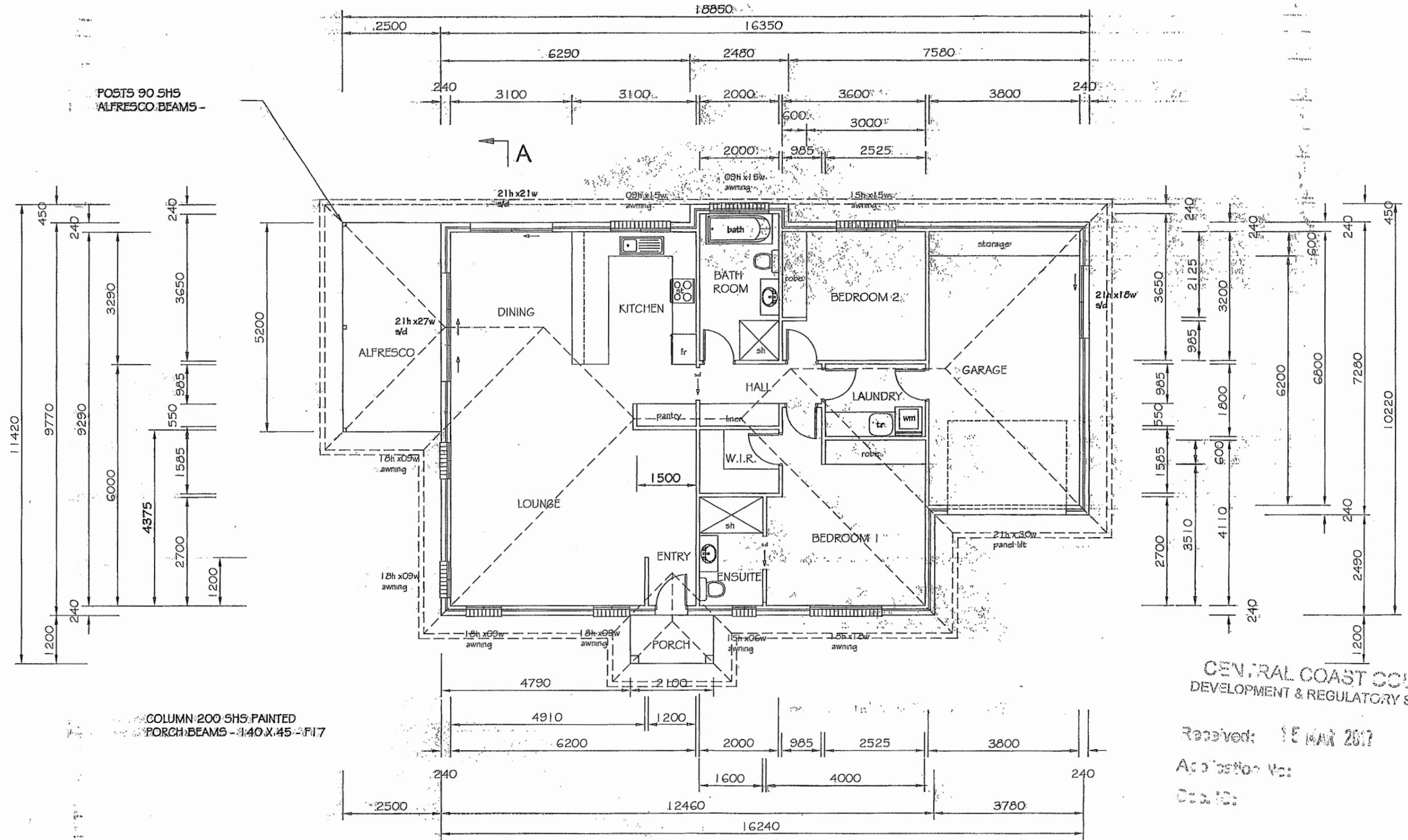
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NEW UNIT DEVELOPMENT
RFS PROJECTS
PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

FLOOR PLAN
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 30
DATE - 15/03/17
REV - A

UNIT 4

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017
Application No:
Doc ID:

NOTE:
LIFT OFF HINGES ON TOILET DOOR
NOTE:
BULK INSULATION R2.0 IN ALL INTERNAL GARAGE WALLS

FLOOR AREA
NEW RESIDENCE - 149.0 M²
PORCH - 2.5 M²
ALFRESCO - 13 M²

A

FLOOR PLAN

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE



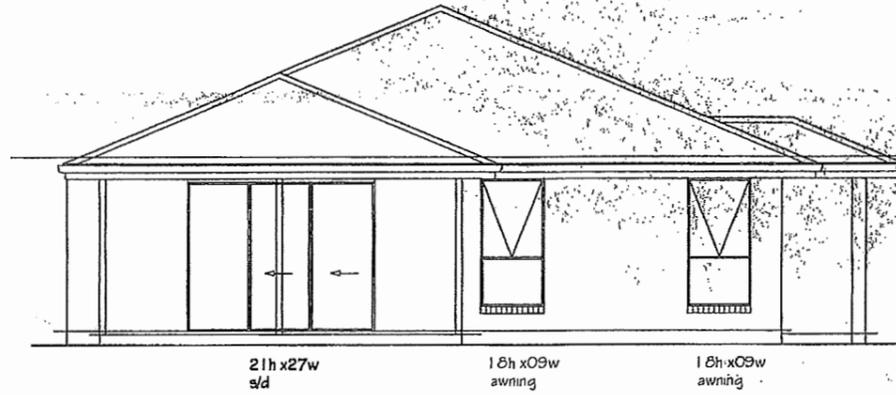
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NEW UNIT DEVELOPMENT
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22 & 22A ALEXANDRA RD
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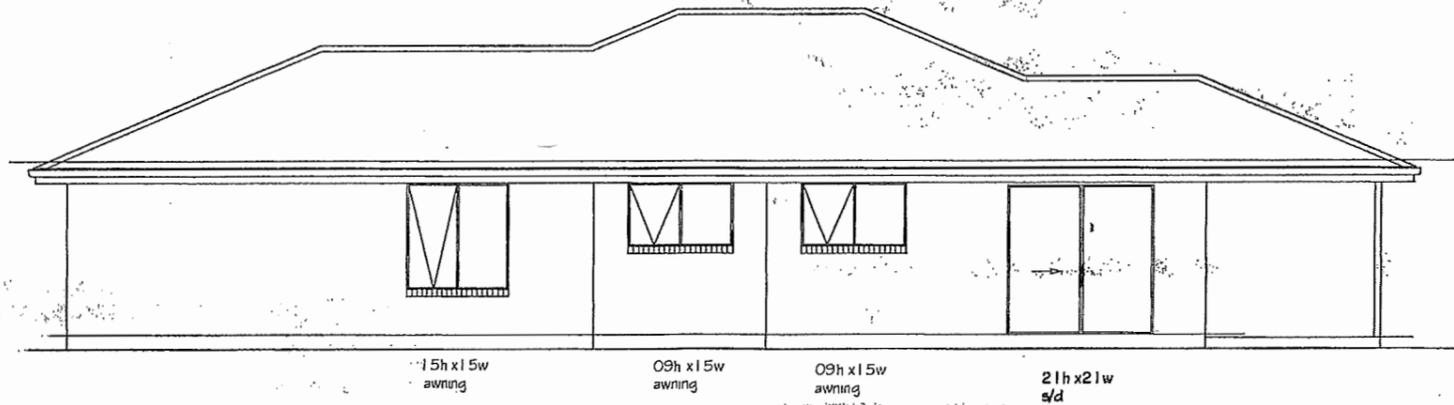
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SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 36
DATE - 15/03/17
REV - A

UNIT 4

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SOUTH ELEVATION



WEST ELEVATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

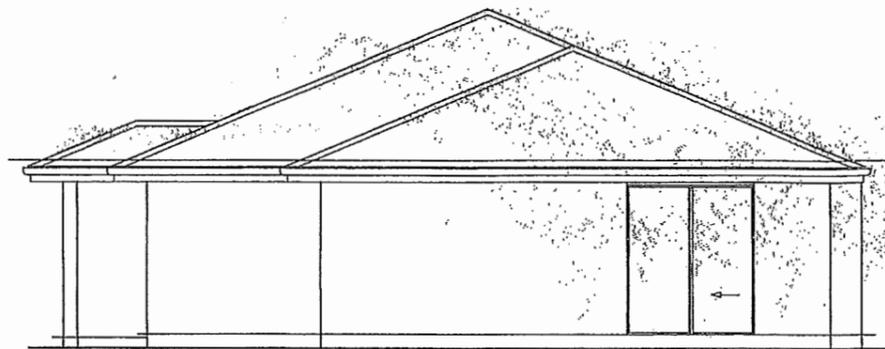
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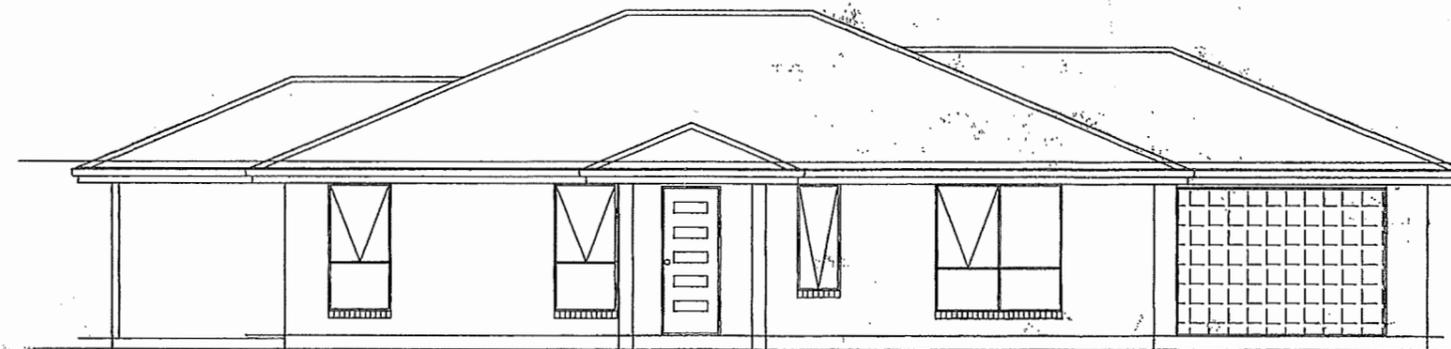
UNIT 4

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



21h x 18w
s/d

NORTH ELEVATION



18h x 09w awning 18h x 09w awning 15h x 06w awning 18h x 18w awning 21h x 30w panel lift

EAST ELEVATION

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Doc ID:

REV	DESCRIPTION	DATE
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NEW UNIT DEVELOPMENT
RFS PROJECTS &
PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

FLOOR PLAN
SCALE: 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 39
DATE: 15/03/17
REV: A



TRAFFIC IMPACT STATEMENT

PROPOSED RESIDENTIAL UNIT DEVELOPMENT

22-22A ALEXANDRA ROAD CENTRAL COAST COUNCIL
ULVERSTONE DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Doc. ID:

1. INTRODUCTION

A development application has been submitted to the Central Coast Council for the construction of four residential units on the property at 22-22A Alexandra Road in Ulverstone.

In considering the application, the Council has advised as follows:

- *It is the preference of the Road Authority that the four dwelling development be connected to the street via a single 6m wide access, in order to facilitate forward entry and exit of the site, particularly given that Alexandra Road is a busy road. Should you pursue a three-access option, then a traffic engineer is required, certifying that vehicular manoeuvrability on-site is in accordance with Australian Standard AS2890.1 and that the tree accesses proposed, two with reverse exits onto Alexandra Road, is acceptable in relation to the relevant Standards. The site plan would need to be amended to incorporate any recommendations of the traffic report.*
- *Further, the proposal does not meet the required number of car parking spaces on site (10). The traffic assessment must also address each of the relevant Performance Criteria of the Central Coast Interim Planning Scheme 2013 E9 Traffic and Parking Code in relation to occupier and visitor car parking requirements.*

This Traffic Impact Statement (TIS) has been prepared in order to address the issues that have been raised by the Council.

2. DEVELOPMENT PROPOSAL

The development that has been proposed for the site will include:

- the demolition of the two dwellings on the properties at 22-22A Alexandra Road;

- the construction of four new residential units;
- provision for 9 off-street car parking spaces.

The proposed access arrangements for the new development are that:

- the two units at the front of the site to each utilise the existing driveways at each end of the frontage boundary to the site; and
- the two rear units be accessed via a new driveway located in the middle of the frontage boundary to the whole site.

Drawings detailing the proposed development are included with this TIS.

3. DISCUSSION OF TRAFFIC ISSUES

The issues with the proposed development for the Council are the proposed three driveways, the number of on-site car parking spaces and the manoeuvring space for cars on the site.

These issues are discussed below.

Number of Access Driveways

The proposal for 22-22A Alexandra Road is the redevelopment of a current residential site through the demolition of two existing dwellings and construction of four residential units.

If this was a totally new development site, it would generally be expected that the site would have one driveway servicing the new development from the public road. This is mainly to ensure that a situation does not arise where there is a multitude of properties along a road, each with multiple driveways.

In this case the situation is somewhat different in that there are two existing gutter crossovers to the overall site. The aim by the designers of the development therefore has been an endeavour to utilise the existing infrastructure so that the two existing driveways would be retained to service the development; i.e. the two driveways to be unchanged both in design and also in its use.

The one change with respect to Alexandra Road is the addition of a single driveway which will be separated as far as practical from the two existing driveways. The internal design of the new driveway will provide for all entry and exit vehicle movements to occur in a forward direction.

Use of Access Driveways

The only issue to be considered in allowing the additional driveway therefore is whether the use of that driveway will create any operational or safety issues.

Advice has been received from the Central Coast Council that a traffic survey was undertaken on Alexandra Road outside the development in February 2012. The survey recorded an average weekday two-way traffic volume of 3,480 vehicles/day. Allowing for a 1% growth since the survey, the current traffic volume would be around 3,660 vehicles/day. Current peak hour two-way traffic volumes would be around 300 vehicles/hour at 10:00-11:00am and 360 vehicles/hour at 4:00-5:00pm.

The use of the driveways serving the development site will be quite minimal. The traffic activity is expected to be around 12-14 vehicles/day or one to two vehicles/hour during peak traffic periods at the new driveway serving the two rear units and around 6-7 vehicles/day for each of the two existing driveways (1 vehicle/hour).

The resultant traffic conflict between passing and turning traffic volumes will clearly not create any operational issues along Alexandra Road as there are more than sufficient gaps in the passing traffic stream for vehicles turning to and from the development site.

Consideration has also been given to the safety implication in having the driveways, as proposed for the development site. The following advice is provided on relevant safety issues and considerations:

- All of the driveways are positioned along a relatively straight and flat section of Alexandra Road where there are more than sufficient sight distances between vehicles turning at the driveways and approaching vehicles along Alexandra Road (see Photographs 3.1 and 3.2);
- When considering possible interaction of vehicle movements with the use of all three driveways, the relevant factors are:
 - there will be reasonable separation between the driveways, one to two car lengths;
 - good visual contact will be available between drivers using adjacent driveways with vehicle movements at the middle driveway always in a forward direction; and
 - most significantly is that the likelihood of the simultaneous use of adjacent driveway will be extremely low even over an annual basis;
- The available road width between each kerb face and the centreline marking is 6.6m. Therefore, there is more than sufficient road width to allow following vehicles to pass to the left of any vehicle indicating to turn right into any driveway if there is no parked vehicle in the immediate area of such a passing manoeuvre. As seen from Photographs 3.1 and 3.2, the on-street parking demand in this area seems to be quite low so that passing opportunities when required would be available at most times.

- There have been two reported crashes along Alexandra Road between James Street and Walker Street over the last five years, a distance of around 250m. One involved a collision with a pedestrian to the south of the development site; the other was a collision with a u-turning vehicle to the north of the development site.



Photograph 3.1: View to north along Alexandra Road with development site on right beyond trees



Photograph 3.2: View to south along Alexandra Road with development site on left beyond parked cars

Although there is a general aim with new developments to minimise the number of driveways along a road, there are quite a number of residential dwellings in any area with more than one driveway and these arrangements have been found to not give rise to any safety issues.

While the proposal is presented as a new multiple access residential development, from a traffic view point for Alexandra Road, the only change will be the proposed construction of a new driveway which will serve two residential units. With all vehicle movements at this new driveway being in a forward direction, the overall outcome would be no different to the construction of a new driveway to an internal lot.

The continued allowance of reversing manoeuvres from Units 1 and 2 using the existing driveways will not result in any change to the traffic circumstances at these locations and hence not affect the safety related to these manoeuvres.

Interaction of vehicle movements between successive driveways along the road has been discussed above with the considerations based on both forward and reverse vehicle manoeuvres.

It is also relevant to also give consideration to the more recent (2015) interim planning schemes for municipalities in Tasmania. These schemes have been more developed with respect to Code E6.0 compared with the Central Coast Interim Planning Scheme. When the one planning scheme is introduced to Tasmania it is expected it will include the 2015 scheme content.

In the 2015 planning schemes, the Acceptable Solution in Clause E6.7.4 On Site Turning states:

Onsite turning must be provided to enable vehicles to exit a site in a forward direction, except where the access complies with any of the following:

- (a) it serves no more than two dwelling units;*
- (b) it meets a road carrying less than 6000 vehicles per day.*

Having regard to all of the above related discussion, use of the two existing access driveways will be compliant with this requirement in terms of both the number of units the driveway serves and the passing traffic volume.

Having regard to all of the above discussion, the turning traffic with an additional driveway will result in a minimal change in activity and conflict with passing traffic, so that no adverse safety outcomes can be expected to arise.

Internal Traffic Circulation and Parking

Parking supply

The current interim planning scheme states in relation to parking requirements for multiple residential developments:

Table E9.1 Provision of Parking Spaces and Loading Areas

If a 2 or more bedroom dwelling in the General Residential Zone (including all rooms capable of being used as a bedroom):

(a) 2 spaces per dwelling

Visitor parking for multiple dwellings in the General Residential Zone

(a) 1 dedicated space per 4 dwellings (rounded up to the nearest whole number); or

(b) If on an internal lot or located at the head of a cul-de-sac, 1 dedicated space per 3 dwellings (rounded up to the nearest whole number)

Adjacent on-road car parking space must not be included to satisfy minimum parking spaces requirements.

The development site is within the 'general residential zone'. The proposed layout for the development site will provide two on-site parking spaces for each unit as well as one visitor parking space. Therefore, the parking supply will meet the planning scheme requirements. The proposed jockey parking in the locations shown is an allowable form of parking provided the parking bay dimensions meet the requirements of AS 2890.1

To not include available on-street parking in the consideration of the parking supply for a development is highly unusual. It is a consideration that is allowed in all subsequent (2015) interim planning scheme in Tasmania, to this scheme, and it is the primary reason for requiring one visitor parking space per three dwellings *on an internal lot or located at the head of a cul-de-sac* as there is less available on-street parking in the turning head.

Access and manoeuvring on-site

The site layout with respect to the driveway, manoeuvring areas and parking bays has been reviewed against the requirements of AS 2890.1.

Each of the driveways is quite sufficient in width, being more than 3.0m wide. With only five car parking spaces serviced by the new driveway to the two rear units, there is not a need for any passing bays at the Alexandra Road kerb line.

The driveway to the two rear units has also been designed to allow for all vehicles to turn around on-site. There is more than sufficient manoeuvring

space available for the cars to enter and exit the two garages and vehicles using the other three car parking bays along this driveway will be easily able to turnaround in the apron area of the garage to Unit 4.

Illustrations of some of the required car turning paths have been shown on the attached site layout drawing through a manual plot of the paths using the templates for B85 cars from AS 2890.1 (including the manoeuvring clearances).

All parking bays will be at least 5.4m long and 2.6m wide with at least 0.3m side clearance from any side obstructions for car door opening. This is compliant with AS 2890.1 with the width of the bays being greater than required for residential parking.

4. CONCLUSIONS

An assessment has been undertaken of the traffic implication from allowing the proposal to have an additional driveway to the two existing driveways for the residential unit development at 22-22A Alexandra Road.

Issues to be considered in allowing the additional driveway are whether the use of the additional driveway will create any operational or safety issues.

It has been determined the traffic conflict between passing and turning traffic volumes at the driveways will clearly not create any operational issues along Alexandra Road. Having regard to all relevant safety issues, it has also been concluded that no adverse safety outcomes can be expected to arise as a result of the additional driveway.

The development site will have the required number of off-street car parking spaces. It has also been concluded that the layout of the site will provide adequate driveway width, sufficient manoeuvring areas for vehicles to turnaround on-site and the parking bays will be of sufficient size so that the overall design will be compliant with the requirements of AS2890.1.

Therefore, it has been concluded the development can be supported on traffic grounds.



Milan Prodanovic

8 March 2017

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PROJECT:

NEW UNIT DEVELOPMENT

RFS PROJECTS & PETER DAVEY

22 & 22A ALEXANDRA RD

ULVERSTONE

TASMANIA

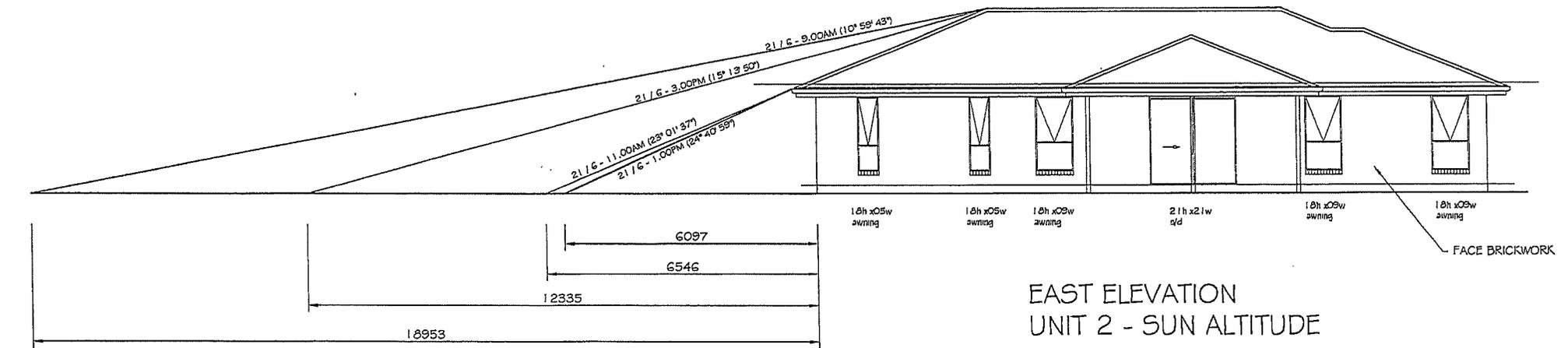
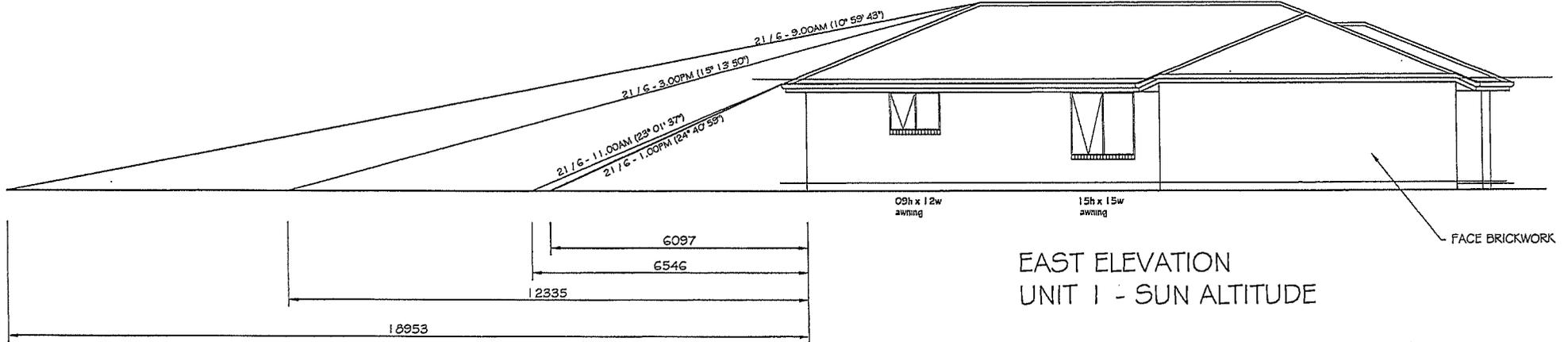
VOLUME & FOLIO
1/63202 & 2/59820
DESIGN WIND SPEED -
SOIL CLASSIFICATION -
CLIMATE ZONE - 7
BAL - LOW

FLOOR AREA	
UNIT 1	144M ²
UNIT 2	144M ²
UNIT 3	149M ²
UNIT 4	149M ²

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REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS

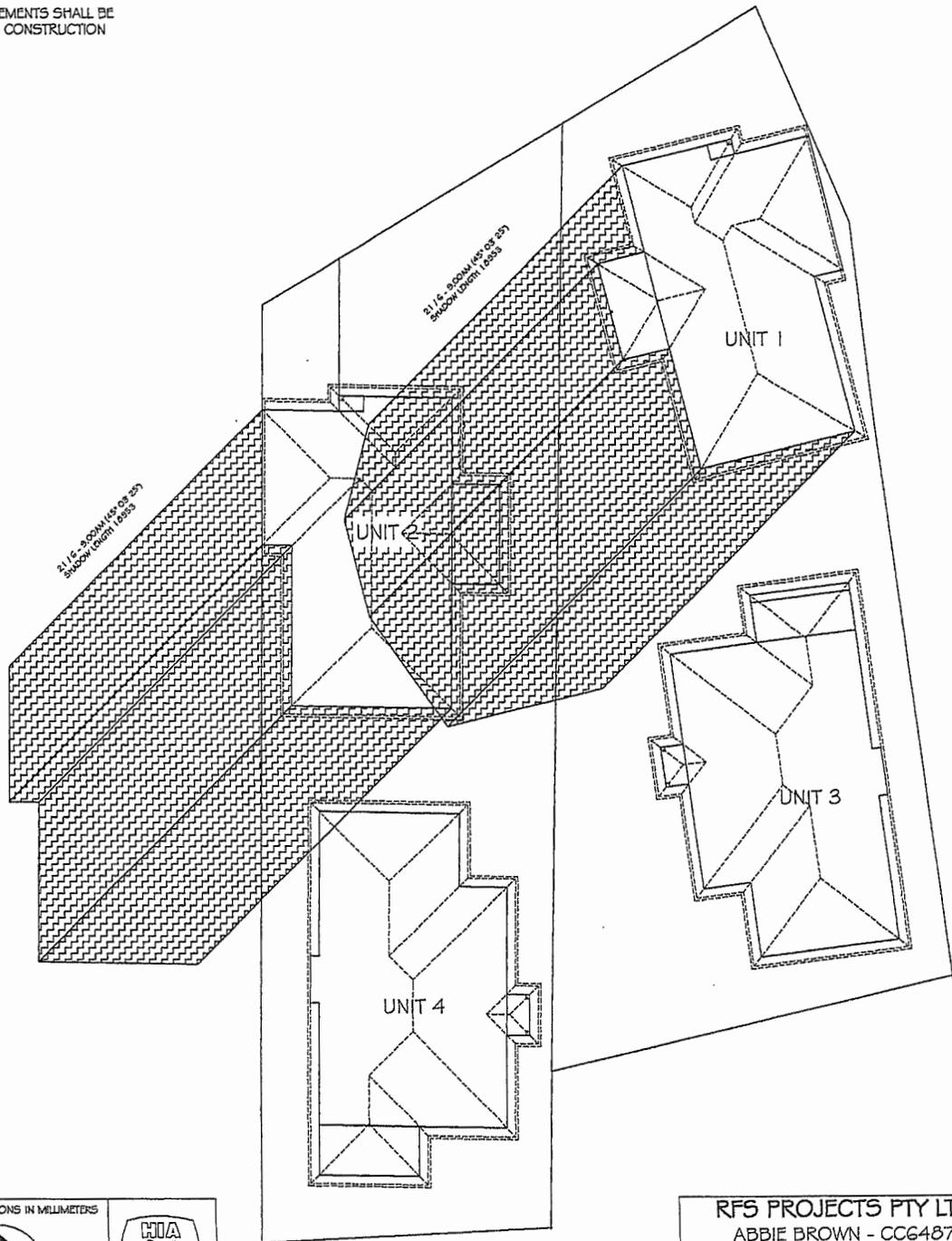
IF IN DOUBT DO NOT SCALE



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SUN ALTITUDE
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SHADING PLAN
9/06/15 - 9.00AM



REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE

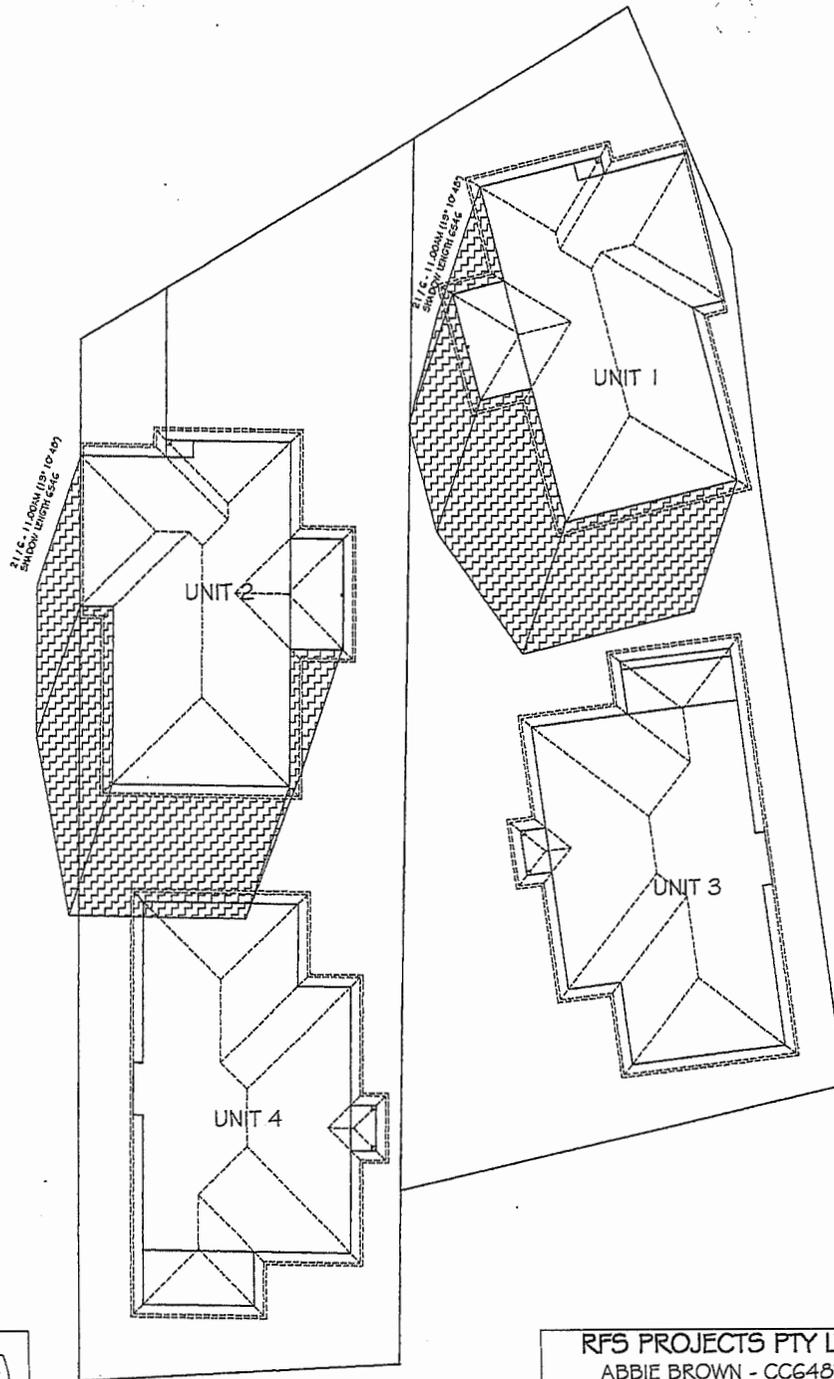


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 P 64 24 75
 E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

SHADING PLAN
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SHADING PLAN
9/06/15 - 11.00AM



REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE

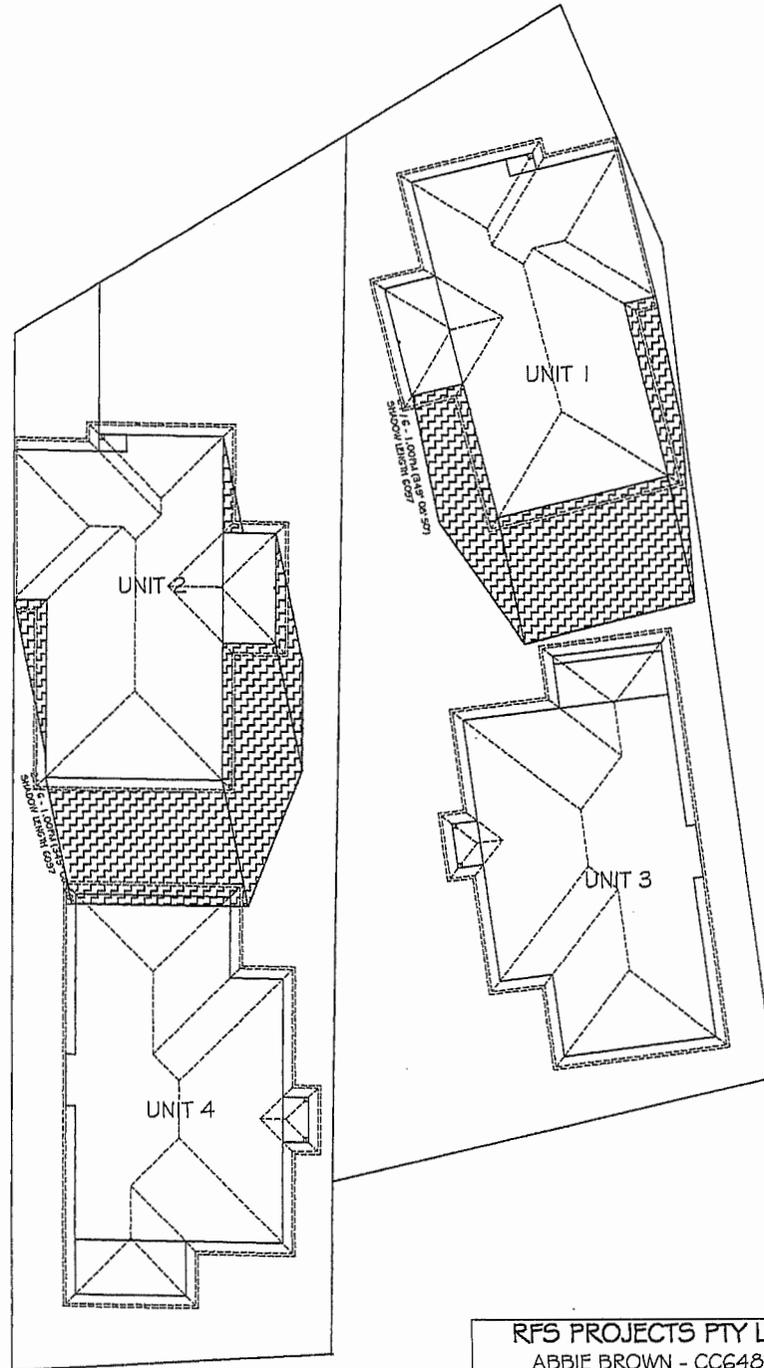


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 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

SHADING PLAN
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SHADING PLAN
9/06/15 - 1.00PM



REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE

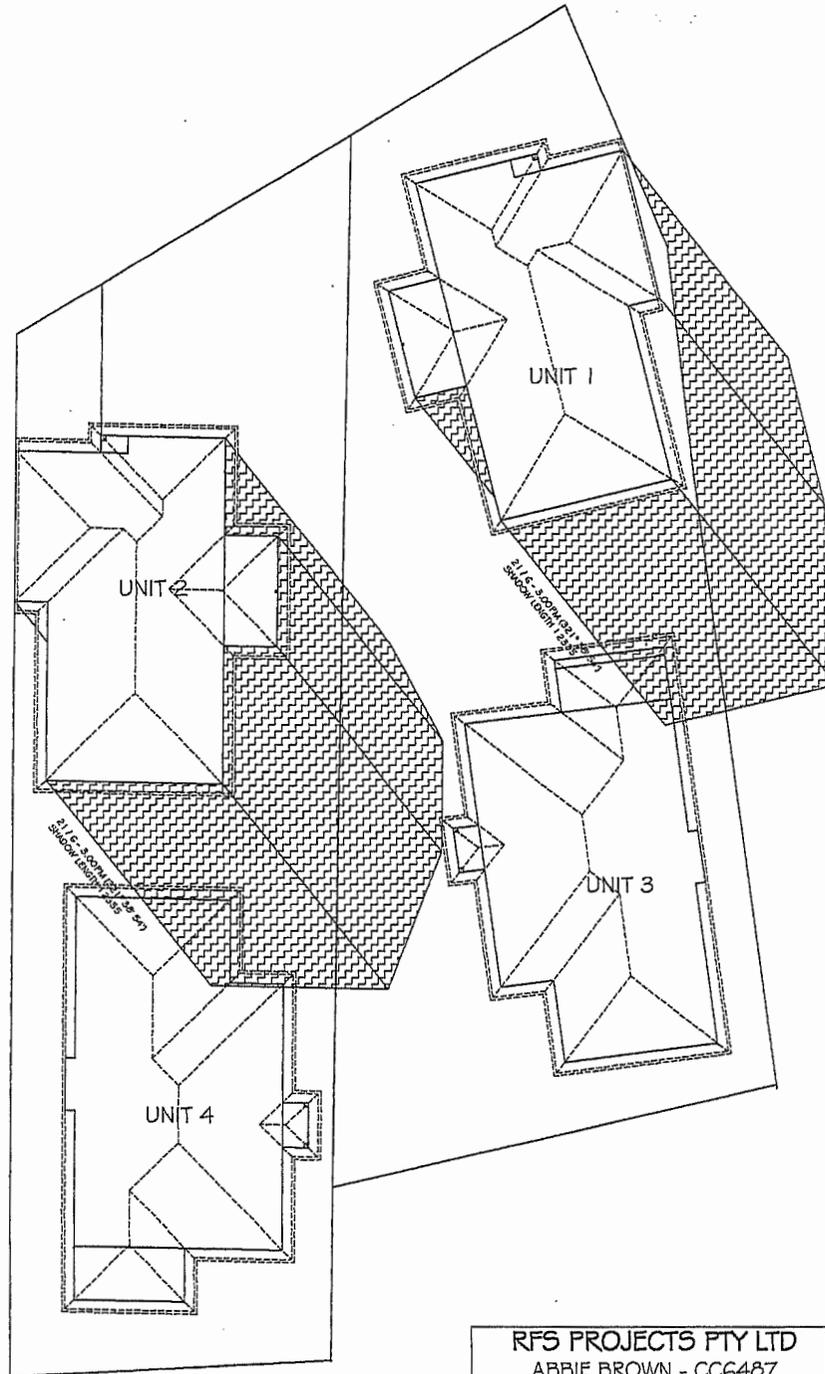


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 ULVERSTONE

SHADING PLAN
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO.
 DATE - 12/10/16
 REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SHADING PLAN
9/06/15 - 3.00PM



REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE

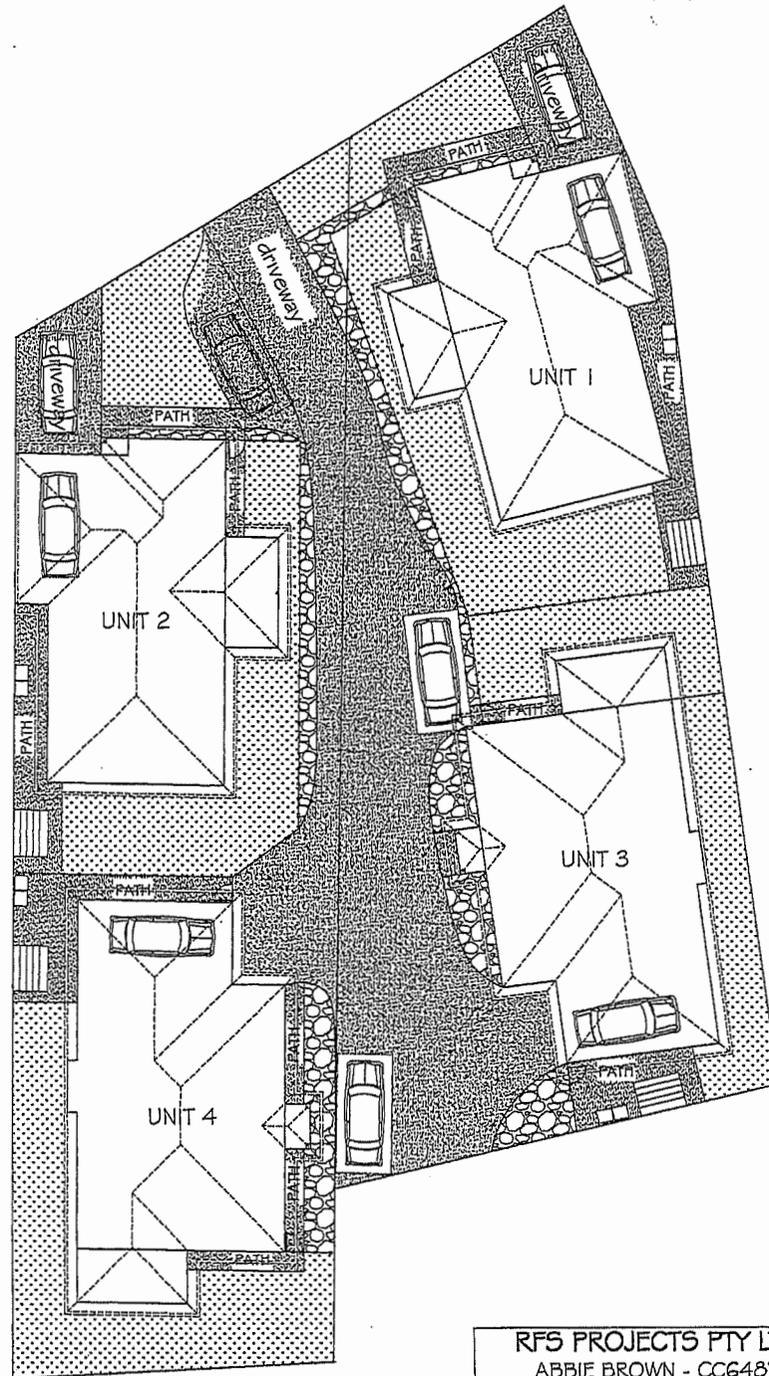


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 22 & 22A ALEXANDRA RD
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SHADING PLAN
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



LANDSCAPING LEGEND

-  GRASS
-  STONE COVER GARDEN
-  PATHS - CONCRETE
-  DRIVEWAY - CONCRETE



REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE



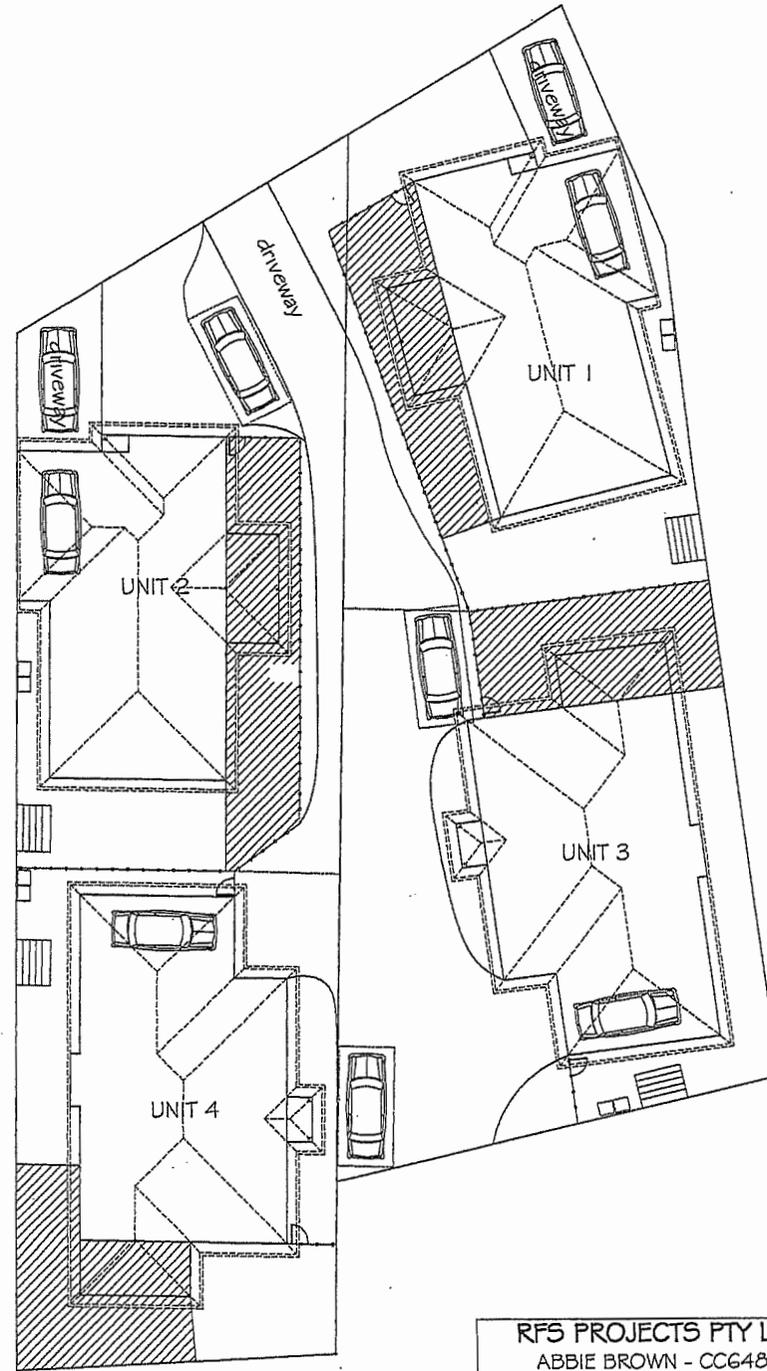
LANDSCAPING PLAN

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LANDSCAPING
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



POS 



REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE



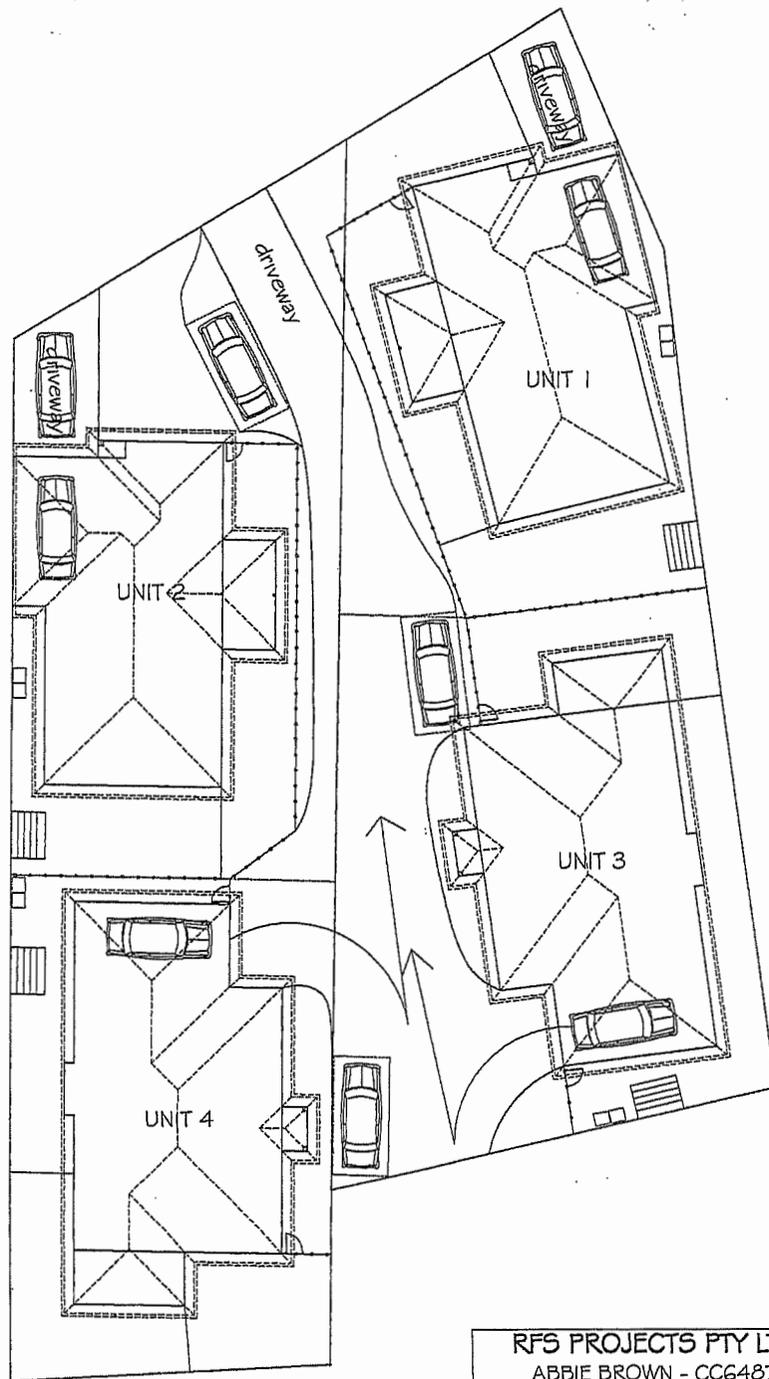
PRIVATE OPEN SPACE

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 DRAWING NO. -
 DATE - 12/10/16
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REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

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PARKING

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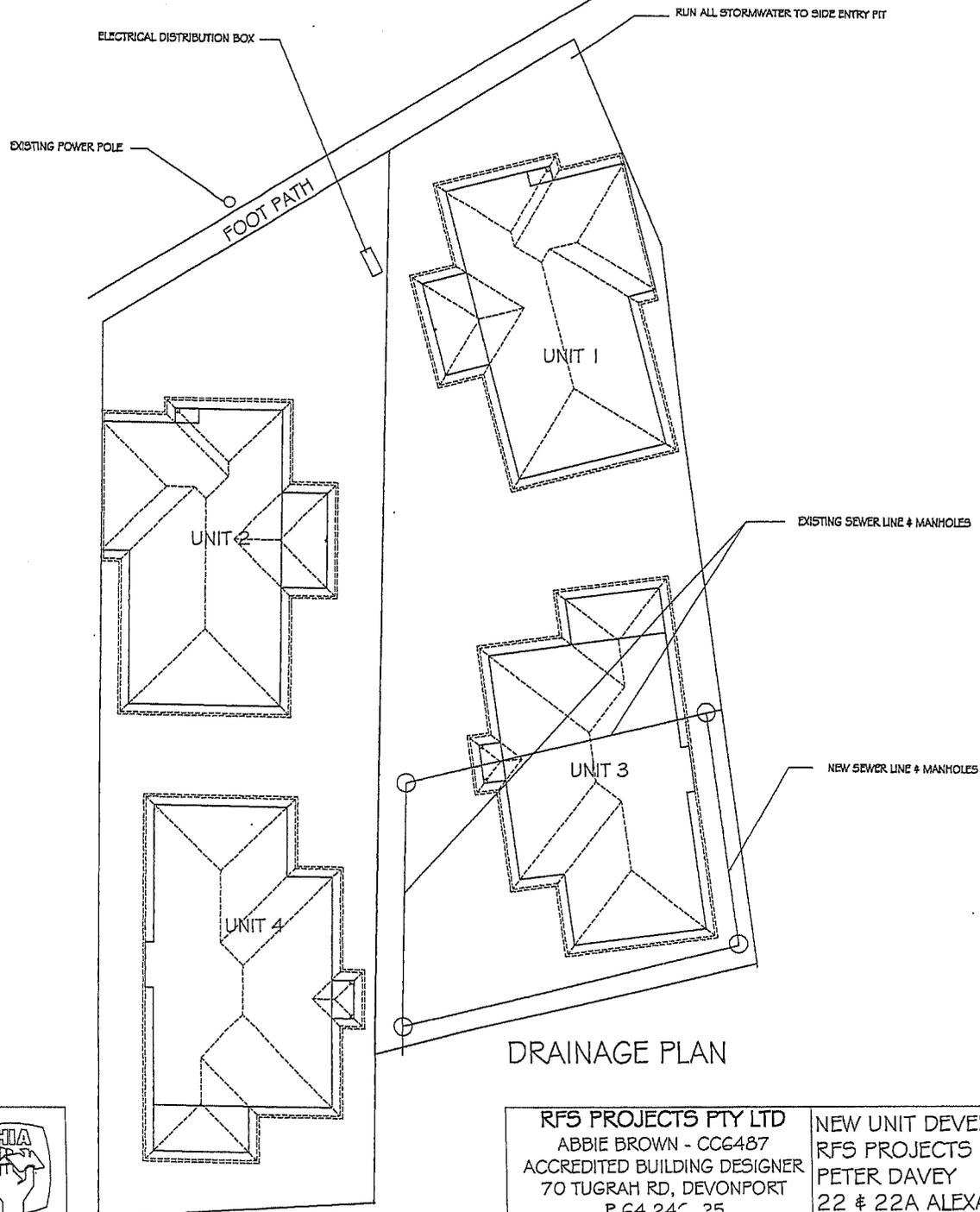
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NEW UNIT DEVELOPMENT

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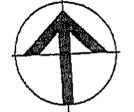
PARKING
SCALE - 1:250 (A3)
JOB NO. DAVEY
DRAWING NO. -
DATE - 12/10/16
REV - A

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE



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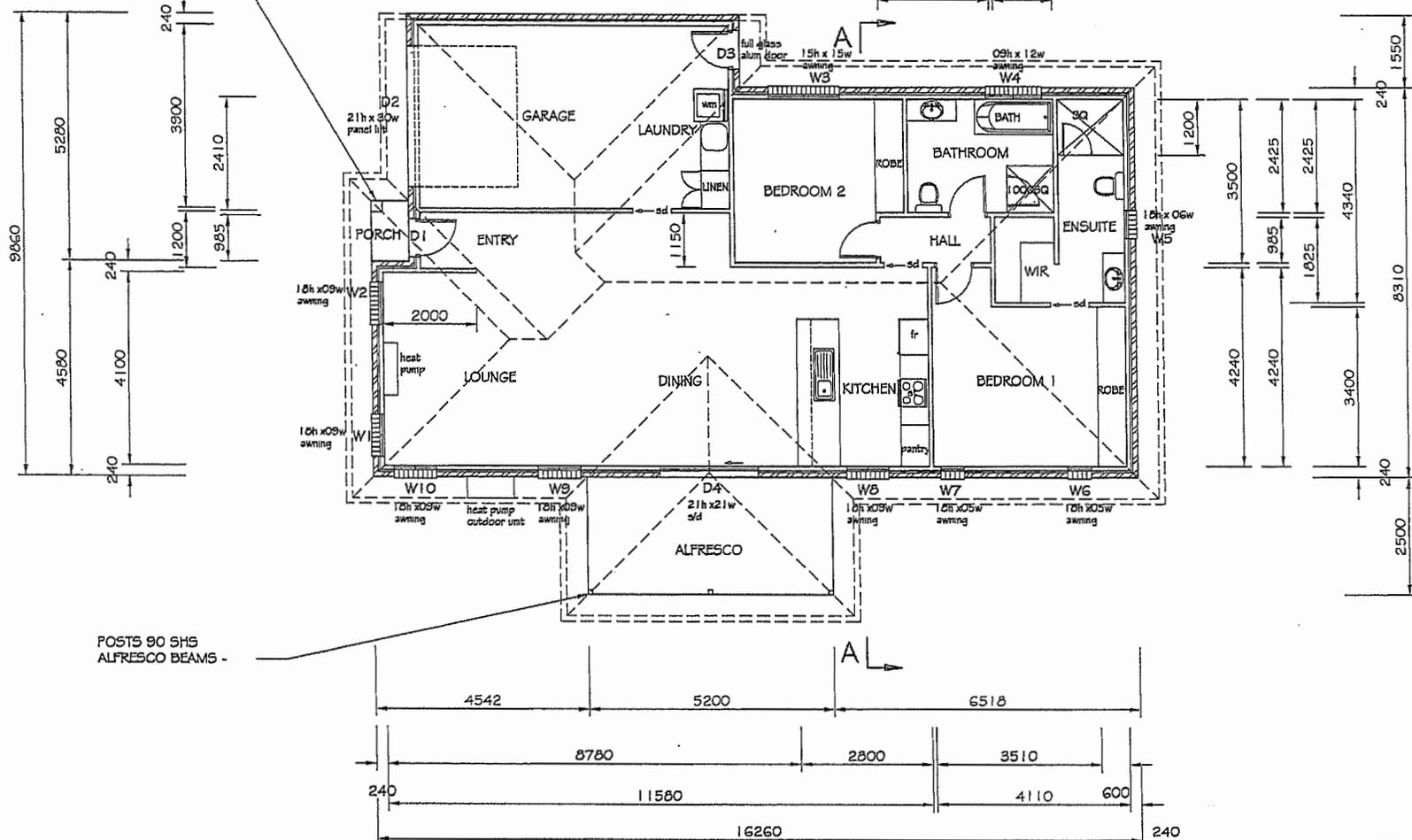
DRAINAGE PLAN
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

UNIT 1

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

ROOFING - CUSTOM ORB -
 FASCIA -
 GUTTER -
 BRICK TYPE -
 ALUMINIUM FRAMED WINDOWS:
 COLOUR -
 GLAZING - DOUBLE

COLUMN 200 SHS PAINTED
 PORCH BEAMS - 140 X 45 - F17



POSTS 90 SHS
 ALFRESCO BEAMS -

FLOOR PLAN

FLOOR AREA
 NEW RESIDENCE - 144 M²
 PORCH - 1 M²
 ALFRESCO - 13 M²

NOTE:
 LIFT OFF HINGES ON TOILET DOOR

NOTE:
 BULK INSULATION R2.0 IN ALL INTERNAL GARAGE WALLS

REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE



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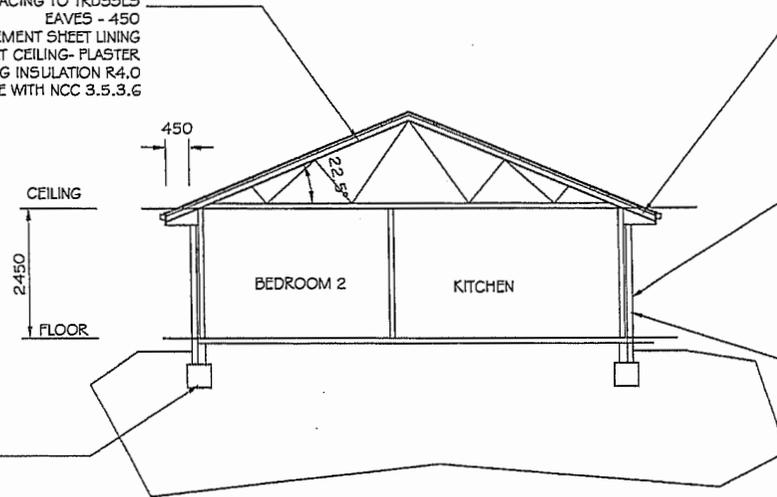
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 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

FLOOR PLAN
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

UNIT 1

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

- TRUSSED ROOF- PITCH 22.5° TO MANUFACTURERS SPECIFICATIONS
- * MUST COMPLY WITH THE ABCB PROTOCOL FOR STRUCTURAL SOFTWARE
- ASSUMED LOCATION OF GIRDER TRUSSES TO ENGINEERS DESIGN
- ROOFING- CORRUGATED COLORBOND
- 55mm PERMASTOP
- ROOF BATTENS- 90 X 35 @ 450 CRS- MGP 10
- BUGLE SCREWED TO TRUSSES AS PER AS 1604
- SPEED BRACING TO TRUSSES
- EAVES - 450
- SOFFIT - FIBRE CEMENT SHEET LINING
- FLAT CEILING- PLASTER
- CEILING INSULATION R4.0
- FLASHINGS IN ACCORDANCE WITH NCC 3.5.3.6



COLORBOND PREFORMED METAL FASCIA & GUTTER SYSTEM
GRADED TO DOWNPIPES & INSTALLED IN ACCORDANCE WITH
MANUFACTURES SPECIFICATIONS & CONNECTED TO SAW DRAINS

BRICK VENEER STRUCTURE
240 THICK EXTERNAL WALLS
230L X 76H X 110D FACE BRICK WORK
WEEP HOLES 1200 CRS MAX
CONTROL JOINTS TO ENGINEERS DESIGN
WEATHERPROOFING OF MASONRY TO COMPLY WITH NCC 3.3.4, AS 3700 & AS 4773
40 CAVITY
INTERNAL STUDS - 90 X 35 @ 450 CRS - MGP 10
EXTERNAL STUDS - 90 X 35 @ 450 CRS - F17
INTERIOR LINING - PLASTER
PROVIDE CORNICE & SKIRTING
LINING TO WET AREAS - WATER PROOF PLASTER
OR OTHER APPROVED WATERPROOF LINING
LAYER SISILATION
BULK WALL INSULATION - R2.0

TIE DOWN & BRACING TO ENGINEERS DESIGN

SLAB & FOOTINGS CONSTRUCTION
SHALL BE IN ACCORDANCE WITH AS2870 &
TO ENGINEERS DRAWINGS & SPECIFICATIONS
SITE CLASSIFICATION BY OTHERS

SECTION A-A

GENERAL NOTES:

1. THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE SPECIFICATIONS PROVIDED
2. THE BUILDER SHALL CHECK ALL DIMENSIONS & LEVELS & COUNCIL BOUNDARY REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION
3. CONNECTION OF STORMWATER & SEWER TO BE IN ACCORDANCE WITH THE LOCAL COUNCIL REQUIREMENTS. REFER TO SITE PLAN.
4. TIMBER FRAMED ROOF TRUSSES SHALL BE TO MANUFACTURES DESIGN & LAYOUT.
THE TRUSS MANUFACTURER SHALL CHECK FOR POINT LOADS ON WALL FRAMES & WINDOW UNTELS & DESIGN & INFORM THE BUILDER OF SPECIAL UNTELS ETC AS REQUIRED
5. ELECTRICAL DETAILS TO BE DETERMINED ON SITE BETWEEN ELECTRICAL CONTRACTOR & OWNERS.
6. SIX STAR ENERGY RATING TO BE PROVIDED BY OTHERS

NOTE: ORG RIM TO BE A MINIMUM
150mm BELOW LOWEST SANITARY FITTING
OR REFLUX VALVE DEPENDING ON SITE LEVELS

REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS

IF IN DOUBT DO NOT SCALE



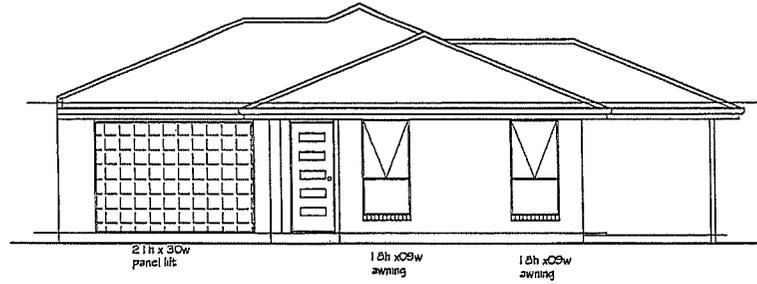
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22 & 22A ALEXANDRA RD
ULVERSTONE

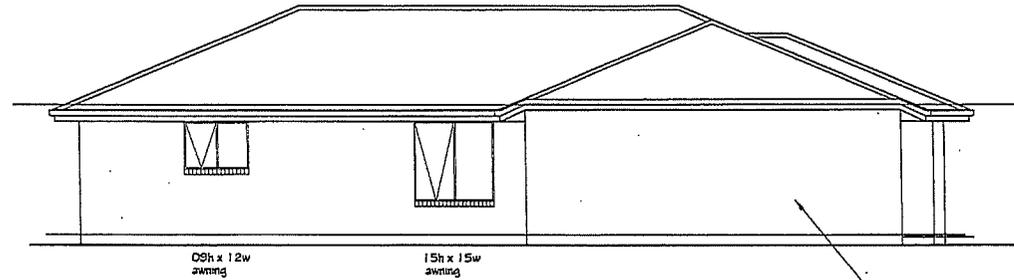
SECTION
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO. 2
DATE - 12/10/16
REV - A

UNIT 1

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



NORTH ELEVATION



EAST ELEVATION

REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS

IF IN DOUBT DO NOT SCALE



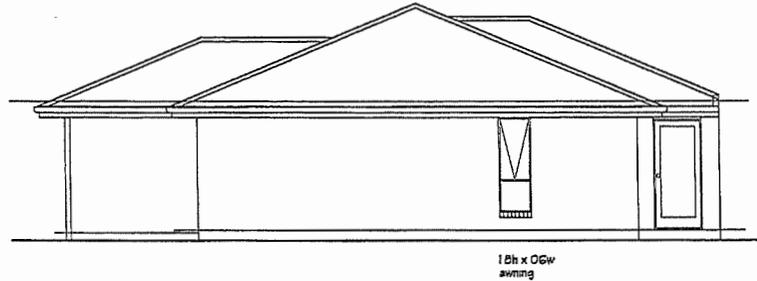
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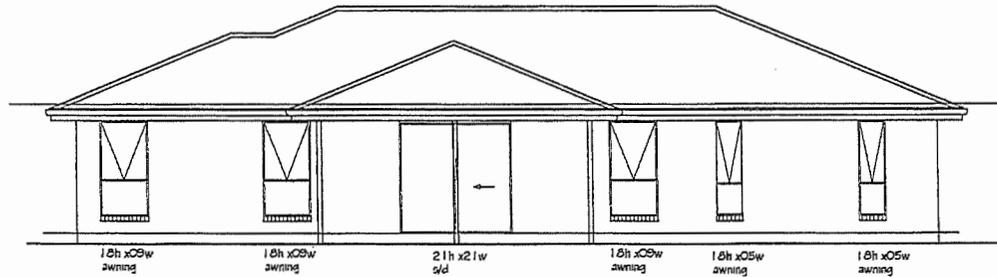
ELEVATIONS
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

UNIT 1

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SOUTH ELEVATION



WEST ELEVATION

REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS

IF IN DOUBT DO NOT SCALE



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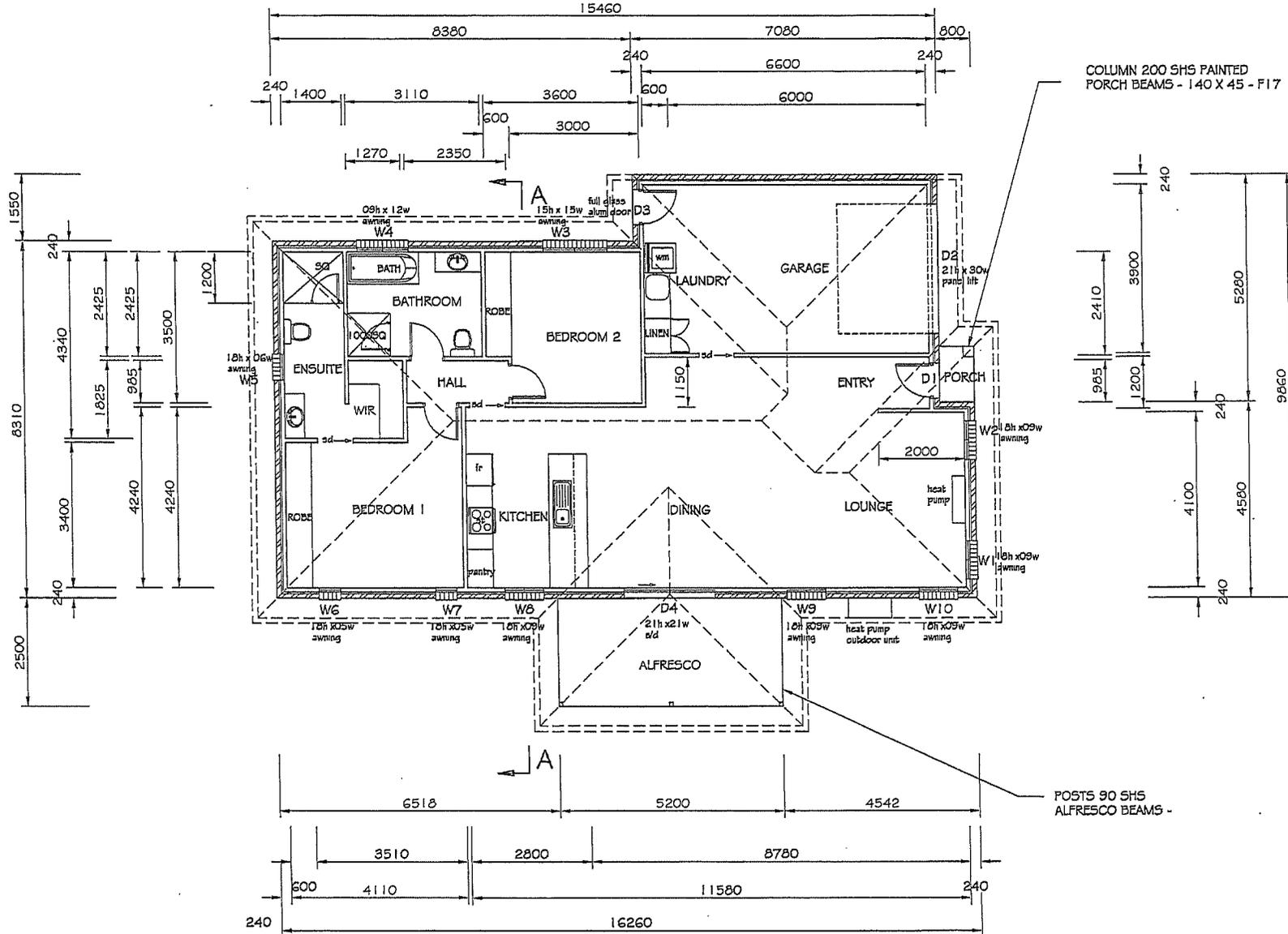
NEW UNIT DEVELOPMENT
 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

ELEVATIONS
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. 1
 DATE - 12/10/16
 REV - A

UNIT 2

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

ROOFING - CUSTOM ORB -
 FASCIA -
 GUTTER -
 BRICK TYPE -
 ALUMINIUM FRAMED WINDOWS:
 COLOUR -
 GLAZING - DOUBLE



COLUMN 200 SHS PAINTED
 PORCH BEAMS - 140 X 45 - F17

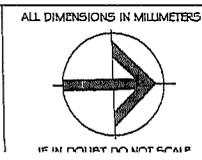
POSTS 90 SHS
 ALFRESCO BEAMS -

FLOOR PLAN

FLOOR AREA
 NEW RESIDENCE - 144 M²
 PORCH - 1 M²
 ALFRESCO - 13 M²

NOTE:
 LIFT OFF HINGES ON TOILET DOOR
 NOTE:
 BULK INSULATION R2.0 IN ALL INTERNAL GARAGE WALLS

REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16



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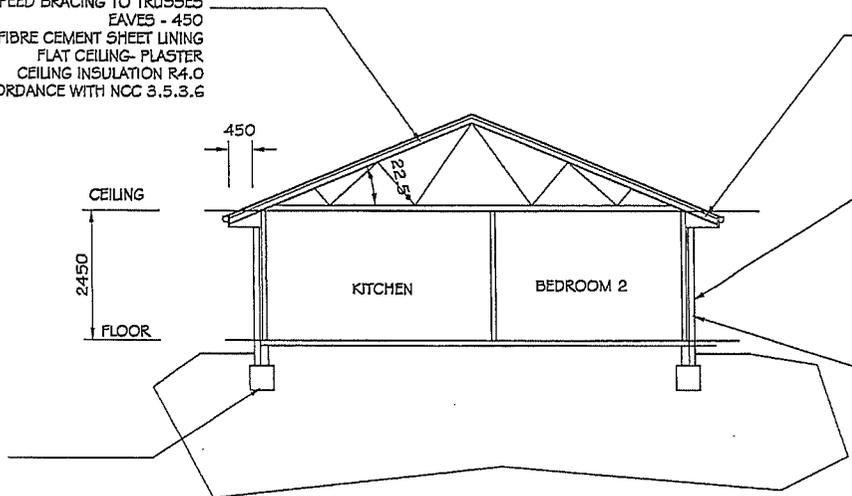
NEW UNIT DEVELOPMENT
 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

FLOOR PLAN
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 RFV - A

UNIT 2

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

TRUSSED ROOF- PITCH 22.5°
TO MANUFACTURERS SPECIFICATIONS
* MUST COMPLY WITH THE ABCB PROTOCOL FOR STRUCTURAL SOFTWARE
ASSUMED LOCATION OF GIRDER TRUSSES TO ENGINEERS DESIGN
ROOFING- CORRUGATED COLORBOND
55mm PERMASTOP
ROOF BATTENS- 90 X 35 @ 450 CRS- MGP 10
NUGLE SCREWED TO TRUSSES AS PER AS 1624
SPEED BRACING TO TRUSSES
EAVES - 450
SOFFIT - FIBRE CEMENT SHEET LINING
FLAT CEILING- PLASTER
CEILING INSULATION R4.0
FLASHINGS IN ACCORDANCE WITH NCC 3.5.3.6



COLORBOND PREFORMED METAL FASCIA & GUTTER SYSTEM
GRADED TO DOWNPIPES & INSTALLED IN ACCORDANCE WITH
MANUFACTURES SPECIFICATIONS & CONNECTED TO SW DRAINS

BRICK VENEER STRUCTURE
240 THICK EXTERNAL WALLS
230L X 76H X 110D FACE BRICK WORK
WEEP HOLES 1200 CRS MAX
CONTROL JOINTS TO ENGINEERS DESIGN
WEATHERPROOFING OF MASONRY TO COMPLY WITH NCC 3.3.4, AS 3700 & AS 4773
40 CAVITY
INTERNAL STUDS - 90 X 35 @ 450 CRS - MGP 10
EXTERNAL STUDS - 90 X 35 @ 450 CRS - F17
INTERIOR LINING - PLASTER
PROVIDE CORNICE & SKIRTING
LINING TO WET AREAS - WATER PROOF PLASTER
OR OTHER APPROVED WATERPROOF LINING
LAYER SISILATION
BULK WALL INSULATION - R2.0

TIE DOWN & BRACING TO ENGINEERS DESIGN

SLAB & FOOTINGS CONSTRUCTION
SHALL BE IN ACCORDANCE WITH AS2870 &
TO ENGINEERS DRAWINGS & SPECIFICATIONS
SITE CLASSIFICATION BY OTHERS

GENERAL NOTES:

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3. CONNECTION OF STORMWATER & SEWER TO BE IN ACCORDANCE WITH THE LOCAL COUNCIL REQUIREMENTS. REFER TO SITE PLAN.
4. TIMBER FRAMED ROOF TRUSSES SHALL BE TO MANUFACTURES DESIGN & LAYOUT. THE TRUSS MANUFACTURER SHALL CHECK FOR POINT LOADS ON WALL FRAMES & WINDOW UNTELS & DESIGN & INFORM THE BUILDER OF SPECIAL UNTELS ETC AS REQUIRED
5. ELECTRICAL DETAILS TO BE DETERMINED ON SITE BETWEEN ELECTRICAL CONTRACTOR & OWNERS.
6. SIX STAR ENERGY RATING TO BE PROVIDED BY OTHERS

NOTE: ORG RIM TO BE A MINIMUM
150mm BELOW LOWEST SANITARY FITTING
OR REFLUX VALVE DEPENDING ON SITE LEVELS

REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS

IF IN DOUBT DO NOT SCALE



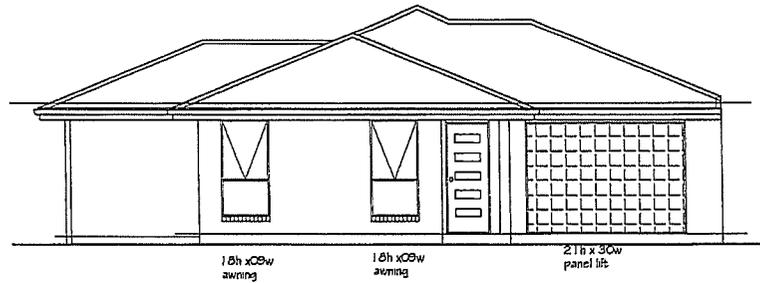
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PETER DAVEY
22 & 22A ALEXANDRA RD
ULVERSTONE

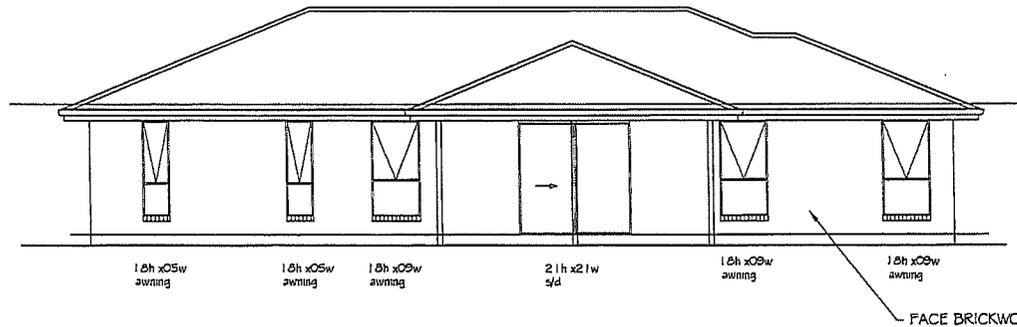
SECTION
SCALE - 1:100 (A3)
JOB NO. DAVEY
DRAWING NO.
DATE - 12/10/16
RFV - A

UNIT 2

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



NORTH ELEVATION



EAST ELEVATION

REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS

IF IN DOUBT DO NOT SCALE



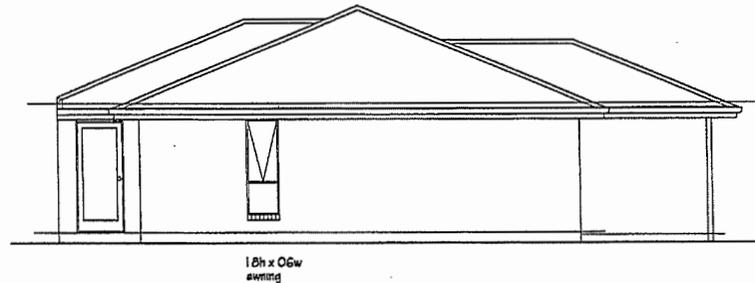
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 PETER DAVEY
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 ULVERSTONE

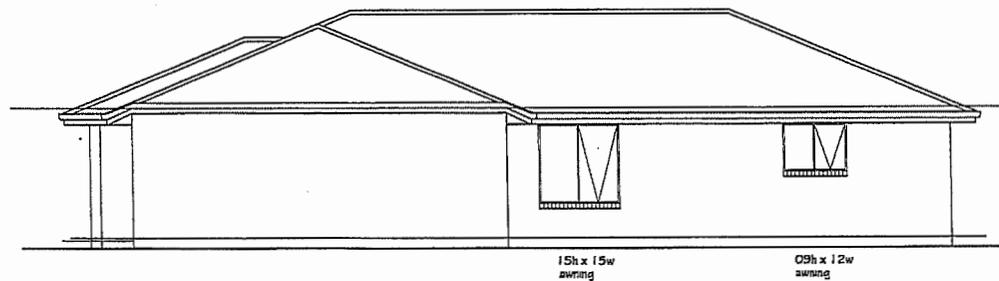
ELEVATIONS
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

UNIT 2

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SOUTH ELEVATION



WEST ELEVATION

A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



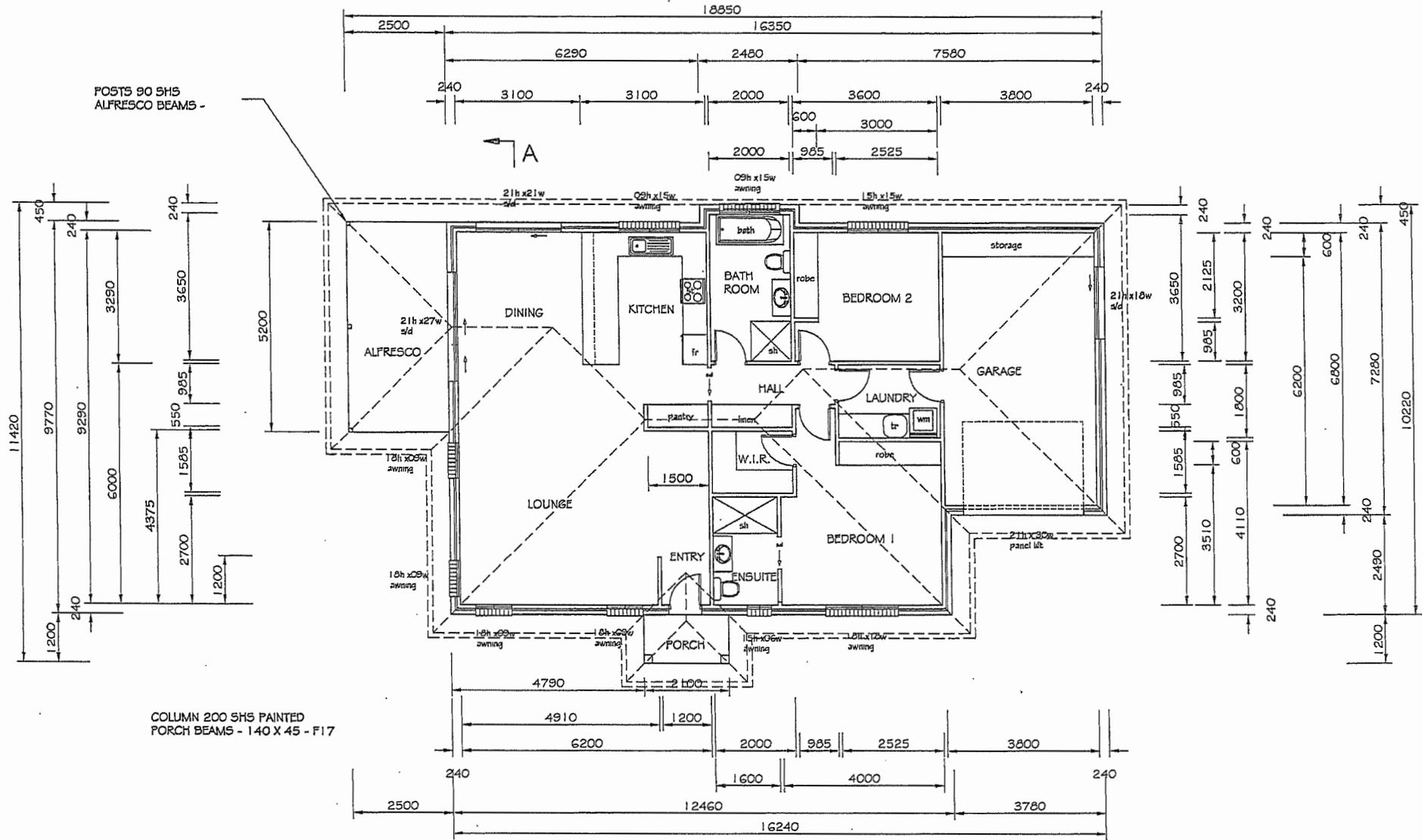
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NEW UNIT DEVELOPMENT
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 PETER DAVEY
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 ULVERSTONE

ELEVATIONS
 SCALE - 1:100 (A3)
 JOB-NO. DAVEY
 DRAWING NO. 22
 DATE - 12/10/16
 RFV - A

UNIT 3 & 4

ALL DIMENSIONS, LEVELS + COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



FLOOR AREA
 NEW RESIDENCE - 149 M²
 PORCH - 2.5 M²
 ALFRESCO - 13 M²

FLOOR PLAN

NOTE:
 LIFT OFF HINGES ON TOILET DOOR
 NOTE:
 BULK INSULATION R2.0 IN ALL INTERNAL GARAGE WALLS

A	PRELIMINARY	12.10.16
REV	DESCRIPTION	DATE

ALL DIMENSIONS IN MILLIMETERS
 # IN QUANT DO NOT SCALE



RFS PROJECTS PTY LTD
 ABBIE BROWN - CC6487
 ACCREDITED BUILDING DESIGNER
 70 TUGRAH RD, DEVONPORT
 P 64 246325
 F abbie@rfsprojects.com.au

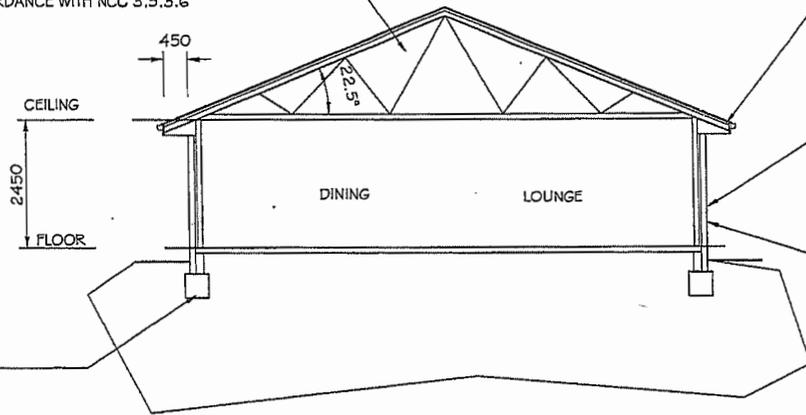
NEW UNIT DEVELOPMENT
 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

FLOOR PLAN
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

UNIT 3 & 4

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

TRUSSED ROOF- PITCH 22.5°
 TO MANUFACTURERS SPECIFICATIONS
 * MUST COMPLY WITH THE ABCB PROTOCOL FOR STRUCTURAL SOFTWARE
 ASSUMED LOCATION OF GIRDER TRUSSES TO ENGINEERS DESIGN
 ROOFING- CORRUGATED COLORBOND
 55mm FERMASTOP
 ROOF BATTENS- 90 X 35 @ 450 CRS- MGP10
 BUGLE SCREWED TO TRUSSES AS PER AS 1684
 SPEED BRACING TO TRUSSES
 EAVES - 450
 SOFFIT - FIBRE CEMENT SHEET LINING
 FLAT CEILING- PLASTER
 CEILING INSULATION R4.0
 FLASHINGS IN ACCORDANCE WITH NCC 3.5.3.6



COLORBOND PREFORMED METAL FASCIA & GUTTER SYSTEM
 GRADED TO DOWNPIPES & INSTALLED IN ACCORDANCE WITH
 MANUFACTURES SPECIFICATIONS & CONNECTED TO S/W DRAINS

BRICK VENEER STRUCTURE
 240 THICK EXTERNAL WALLS
 230L X 76H X 110D FACE BRICK WORK
 WEEP HOLES 1200 CRS MAX
 CONTROL JOINTS TO ENGINEERS DESIGN
 WEATHERPROOFING OF MASONRY TO COMPLY WITH NCC 3.3.4, AS 3700 & AS 4773
 40 CAVITY
 INTERNAL STUDS - 90 X 35 @ 450 CRS - MGP10
 EXTERNAL STUDS - 90 X 35 @ 450 CRS - F17
 INTERIOR LINING - PLASTER
 PROVIDE CORNICE & SKIRTING
 LINING TO WET AREAS - WATER PROOF PLASTER
 OR OTHER APPROVED WATERPROOF LINING
 LAYER SISILATION
 BULK WALL INSULATION - R2.0

TIE DOWN & BRACING TO ENGINEERS DESIGN

SLAB & FOOTINGS CONSTRUCTION
 SHALL BE IN ACCORDANCE WITH AS2870 &
 TO ENGINEERS DRAWINGS & SPECIFICATIONS
 SITE CLASSIFICATION BY OTHERS

ALL DIMENSIONS IN MILLIMETERS



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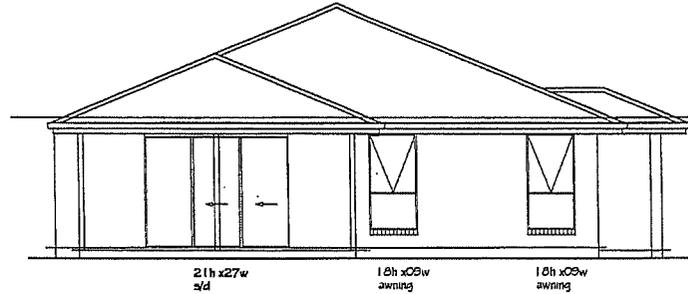
NEW UNIT DEVELOPMENT
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 ULVERSTONE

FLOOR PLAN
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

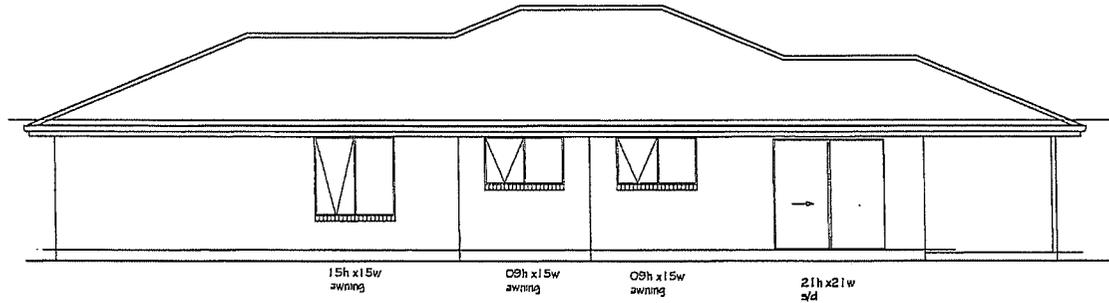
REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

UNIT 3

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



NORTH ELEVATION



EAST ELEVATION

REV	DESCRIPTION	DATE
A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS

IF IN DOUBT DO NOT SCALE



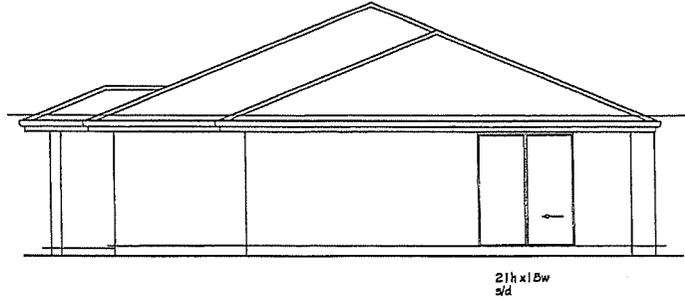
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NEW UNIT DEVELOPMENT
 RFS PROJECTS &
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

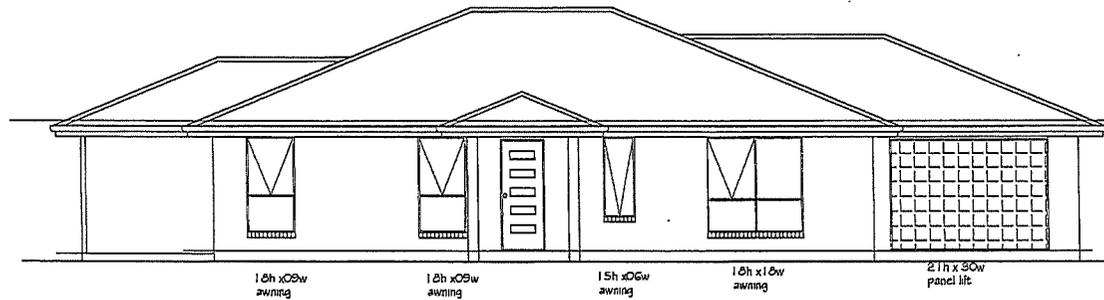
FLOOR PLAN
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
 DATE - 12/10/16
 REV - A

UNIT 3

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SOUTH ELEVATION



WEST ELEVATION

A	PRELIMINARY	12.10.16
REV	DESCRIPTION	DATE

ALL DIMENSIONS IN MILLIMETERS

IF IN DOUBT DO NOT SCALE



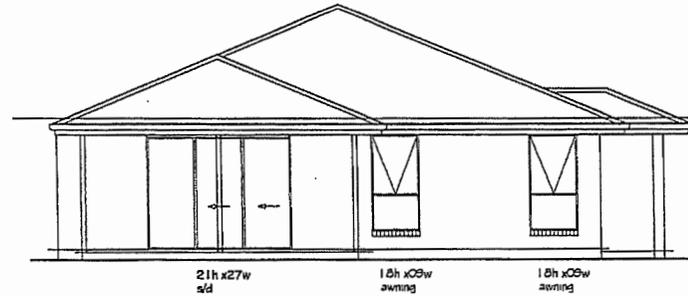
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 ACCREDITED BUILDING DESIGNER
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 P 64 24 25
 E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
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 ULVERSTONE

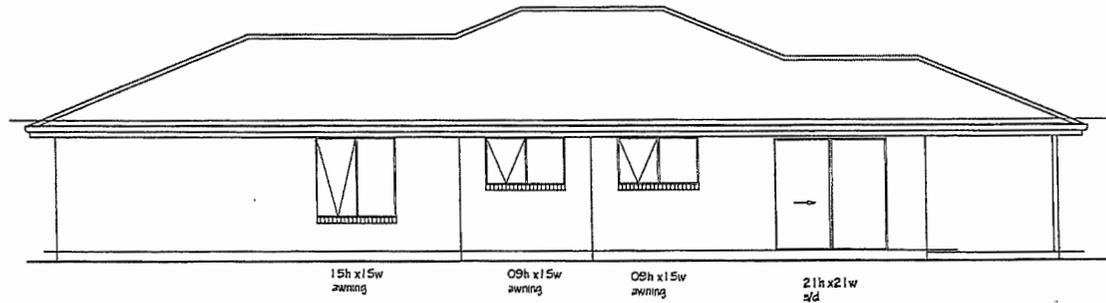
FLOOR PLAN
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. 11
 DATE - 12/10/16
 REV - A

UNIT 4

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION



SOUTH ELEVATION



WEST ELEVATION

A	PRELIMINARY	12.10.16

ALL DIMENSIONS IN MILLIMETERS



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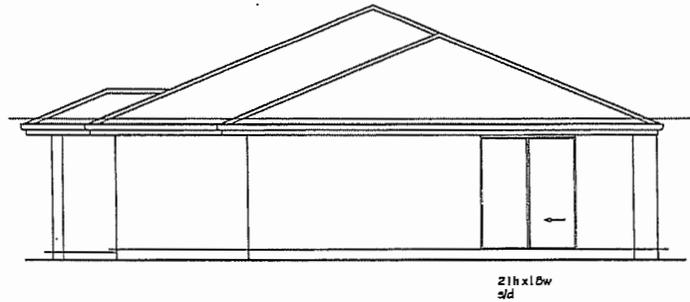
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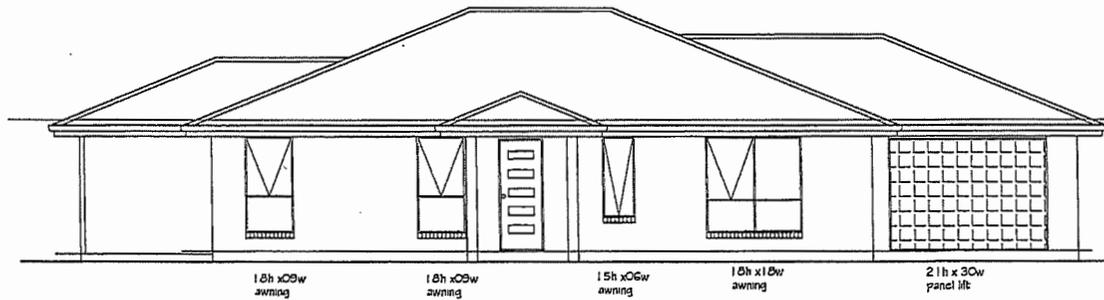
FLOOR PLAN
 SCALE - 1:100 (A3)
 JOB NO. DAVEY
 DRAWING NO. -
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UNIT 4

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NORTH ELEVATION



EAST ELEVATION

A	PRELIMINARY	12.10.16
REV	DESCRIPTION	DATE

ALL DIMENSIONS IN MILLIMETERS



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Local Government

NOTICE OF APPLICATION FOR LAND USE PERMIT
(Section 57(3) Land Use Planning and Approvals Act 1993)

The following application for use and development of land has been received:-

Application No: DA 2017/21
Site: 48 Cascade Road
ROMAINE (CT: 104196/6)
(Outbuilding) Shed
Discretionary Matter: Reliant on performance criteria for grant of permit - Clause 13.4.3 Location and configuration of development (P4)

The application and documentation may be viewed at the Burnie City Council Offices, Ground Floor, 80 Wilson Street, Burnie between 8.30am - 5.00pm Monday to Friday inclusive or on Council's website at www.burnie.net

Any person may make representation relating to an application. Representations regarding the proposal should be in writing addressed to the General Manager, Burnie City Council, PO Box 973, Burnie 7320 or burnie@burnie.net to be received no later than 5.00pm on 28 April 2017.

Dated: 8 April 2017
Andrew Wardlaw
GENERAL MANAGER

www.burnie.net



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Local Government



APPLICATIONS FOR PLANNING PERMITS

S.57 Land Use Planning and Approvals Act 1993

The following applications have been received:

Location: 405 Penguin Road & CT35699/1 Penguin Road, West Ulverstone
Proposal: Subdivision (three lots) - discretionary use and development in the Rural Resource zone
Application No.: DA216107

Location: 8 Tasma Parade, West Ulverstone
Proposal: Visitor Accommodation (four serviced apartments) - variation to rear and side boundary setback; location of car parking and loading and unloading of vehicle; and proximity to a waterway standards
Application No.: DA216132

Location: 6 Davis Street, Leith
Proposal: Residential (dwelling) and outbuilding (shed) - development exposed to a natural hazard (landslide)
Application No.: DA216167

Location: 146A Main Street, Ulverstone
Proposal: Residential (multiple dwellings x three) - variation to rear boundary setback and building envelope
Application No.: DA216171

Location: 22 & 22A Alexandra Road, Ulverstone
Proposal: Residential (multiple dwellings x four) - variation to front and rear boundary setback; open space; proximity to a rail line; and car parking standards
Application No.: DA216180

Location: CT237081/1 McKennas Road, Gawler
Proposal: Subdivision (dwelling excision) - discretionary use and development in a Rural Resource zone
Application No.: DA216189

Location: 188 Stubbs Road, Turners Beach
Proposal: Residential (dwelling) and outbuilding (garage) - variation to standard for setback from the Rural Resource zone
Application No.: DA216191

Location: 24 & 24A King Edward Street, Ulverstone
Proposal: Demolition of a building and General retail and hire (pharmacy) - variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards
Application No.: DA216200

Local Government

KENTISH COUNCIL

APPLICATION FOR PLANNING PERMIT S.57 LAND USE PLANNING AND APPROVALS ACT 1993

Applications for the following have been received:

APPLICATION NO: DA 2017/0034
PROPOSAL: Proposed pilot accommodation with reliance on Performance Criteria under the Crale Gateway Specific Area Plan (residential use, pitch of roof & colour of cladding)
SITE: 3815 Cradle Mountain Road, Cradle Mountain
APPLICATION NO: DA 2017/0025

PROPOSAL: Proposed shed extension with reliance on Performance Criteria under the Rural Living zone provisions (reduced setback & site coverage)
SITE: 56 Cornwall Road, Acacia Hills
APPLICATION NO: DA 2017/0026

PROPOSAL: Proposed pontoon with reliance on Performance Criteria under the Water and Waterways Code
SITE: West Kentish Road, West Kentish (CT 242900/2)
The applications and associated materials will be available for inspection at the Council Office during normal office hours or at www.kentish.tas.gov.au for a period of fourteen (14) days (not including the period 14th of April 2017 to 18th of April 2017) from the date of publication of this notice. During this time, any person may make representation in relation to the proposal by letter, addressed to the General Manager, PO Box 63, Sheffield 7306 or by e-mail to council@kentish.tas.gov.au.

WEED SPRAYING PROGRAM
Kentish Council advises that its roadside weed spraying program will commence Monday 10 April 2017 for a period of approximately 6 weeks.
Property owners may request that their property frontage not be included in the spraying program by contacting Paul Vlasich on 0428 519 086 before 10 April 2017.
Further information regarding registration on the No Spray List and the property owner's responsibilities can be found at www.kentish.tas.gov.au
Dated at Sheffield this 8th day of April 2017.

Gerald Monson
GENERAL MANAGER

19 King Edward Street
Ulverstone Tasmania 7315
Tel. 03 6429 8800
Fax 03 6425 1224
www.centralcoast.tas.gov.au

Location: 34 Jermyrn Street, Ulverstone
Proposal: Residential (outbuilding - garage and verandah) - variation to side boundary setback standard
Application No.: DA216181

The applications may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during office hours (Monday to Friday 8.00am to 4.30pm) and on the Council's website. Any person may make representation in relation to the applications (in accordance with s.57(5) of the Act) by writing to the General Manager, Central Coast Council, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the Local Government (Meeting Procedures) Regulations 2015. Representations must be made on or before 26 April 2017.

EASTER WASTE ARRANGEMENTS
Notice is given of the following arrangements for Council Waste Management and Recycling services during the 2017 Easter period.

Operating times are as normal outside of the changes specified below:

Domestic Refuse Collection
Collection scheduled for Friday, 14 April (Good Friday) in the Penguin area will occur on Thursday, 13 April

Resource Recovery Centre
Closed on:
- Friday, 14 April (Good Friday)
- Sunday, 16 April (Easter Sunday)
- Monday, 18 April (Public Holiday)

Castra Transfer Station
Closed on Friday, 14 April (Good Friday)
Preston Transfer Station
Closed on Friday, 14 April (Good Friday)
South Riana Transfer Station
Closed on Sunday, 16 April (Easter Sunday)

INTERRUPTIONS TO TRAFFIC - GUNNS PLAINS ROAD, GUNNS PLAINS
Notice is given to all motorists that rehabilitation works on Gunns Plains Road, Gunns Plains will commence on Monday, 10 April 2017 for approximately four months. Some minor delays may be experienced.

For further information please contact the Council on tel. (03) 6429 8900.

The Council regrets any inconvenience caused by the work.
Dated at Ulverstone this 6th day of April, 2017.
SANDRA AYTON
General Manager

Local Government



EASTER GARBAGE/RECYCLING COLLECTION

Residents are advised that there will be no interruption to the normal household refuse wheeler bin collection or kerbside recycling collection schedule over the Easter period for 2017.

WASTE TRANSFER STATION CLOSURE NOTICE

The Wynyard Waste Transfer Station will be closed on Good Friday, Friday 14th April 2017 and will reopen at 10am Saturday 15th April 2017

APPLICATIONS FOR PLANNING PERMITS

Notice is given that applications have been made for the following discretionary permits:-

No: DA 40/2017
Location: 106 Inglis Street Wynyard
Applicant: Abel Drafting Services
Zoning: General Residential
Use Class: Residential
Proposal: Carport
Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P3)

No: DA 44/2017
Location: 5 Inghildale Drive Wynyard
Applicant: Luke Jones, Motondo Homes North West Tas
Zoning: General Residential
Use Class: Residential
Proposal: Dwelling
Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P1, P3) & Sunlight and overshadowing for all dwellings (10.4.4 P1)

No: SD 2016
Location: 130 Reservoir Drive Wynyard (CT 234487/1)
Applicant: Michael Wells, EnviroPlan
Zoning: Rural Living
Use Class: Residential & Resource Development
Proposal: Subdivision (1 into 2 lots)
Discretionary Matter: Subdivision (13.4.7 P1, P2), Reticulation of an electricity supply to new lots on a plan of subdivision (13.4.8 P1) & Use likely to be exposed to a natural hazard (E6.5.2 P1)

The application and associated plans and documents will be available for inspection during normal office hours for the exhibition period at the Council Office, Saunders Street, Wynyard or viewed on Council website www.wynyard.tas.gov.au. Any person who wishes to make representations in accordance with the Land Use Planning and Approvals Act 1993, must do so during the exhibition period. Representations in writing will be received by the General Manager, P.O. Box 168, Wynyard, 7325, email council@wynyard.tas.gov.au by Wednesday 26 April 2017.
Dated at Wynyard this 8th day of April 2017

Michael Stretton
General Manager
PO Box 168
Wynyard 7325



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Local Government



INVITATION FOR EXPRESSIONS OF INTEREST

EDUCATION & TRAINING ADVISORY COMMITTEE

West Coast Council is seeking Expressions of Interest from suitably qualified and experienced individuals with West Coast interests for appointment to Council's Education & Training Advisory Committee.

The primary objective of this advisory committee is to drive forward and enhance education and training initiatives for the region, and to make recommendations to Council on critical issues and education and training opportunities generally. The committee will meet approximately six times per year, reporting to Council formally each quarter.

Members will be expected to focus on (and represent) the broad interests of the West Coast community, rather than those of any particular individual or organisation(s).

Members will be formally appointed by Council and membership is entirely voluntary.

Expressions of interest must address the Selection Criteria and provide details of the applicant's experience, skills, knowledge and qualifications and how they would apply these to assist in the Committee's functions as outlined in the Education & Training Advisory Committee Charter.

The charter, as well as further information, can be obtained by contacting the committee Secretariat, Simon Lee on 0419 390 912 or via email ecodev@westcoast.tas.gov.au

Expressions of interest should be forwarded to: Education & Training Advisory Committee Selection Panel, PO Box 63 Queenstown Tas 7467.

Expressions of Interest close 5pm Friday 28 April 2017.

Public Notices

TEMPORARY ROAD CLOSURE ANZAC DAY - APRIL 25

In accordance with the Local Government (Highways) Act 1982, the public is advised that for the purpose of activities connected with the preparation and staging of the Latrobe ANZAC Day Dawn Service and Citizens Commemorative Service on April 25, the said event being declared to be a public function for the purpose of the section, the following roads will be closed to through traffic -

• JAMES STREET between Gilbert Street and George Street, Latrobe at 5:30am until 5:55am and 9:30am until 9:55am

• GILBERT STREET between James Street and Hamilton Street from 5:40am until 6:00am and from 9:45am until 10:00am.

• GILBERT STREET from Hamilton Street to Barclay Street including the junction of Weld Street and access to the Station Square car park from 5:40am until 6:45am and again from 9:45am until 11 am.

Through traffic during the road closures will be detoured via Colton Street, Latrobe.

In the event of wet weather, the Services will be held at the Latrobe Memorial Hall.

Dated at Latrobe this 8th day of April, 2017.

P Freshney, Mayor
Latrobe Council, 170 Gilbert Street, Latrobe, 7307

EASTER HOLIDAY 2017 OPENING HOURS

The Advocate's offices at 39-41 Alexander Street, Burnie and 45 Best St, Devonport will be closed from 5pm, Thursday, April 13 and reopen on Tuesday, April 18 at 9am.

The Advocate will not be published on Good Friday.

The Advocate Classifieds Phone Lines will be open from 1.30 till 5.30pm on:

Saturday, April 15
Easter Sunday, April 16
Monday, April 17

Phone 1300 363 789

Email: classifieds@theadvocate.com.au



Representation re: Development Application DA216180 for Nos 22 and 22A Alexandra Road.

This representation is submitted by David Owen Kirkham and Roslyn Margaret Kirkham, owners of the adjoining vacant lot at 6 Walker Street, Ulverstone (please refer to Page 1 of the Development Application to see the relative positioning of the properties).

We refer to our previous representation with regard to this matter. We note that in the current application the developer has now provided shading diagrams for the rear units and that the rear setback of Unit 3 has been revised from 2.5m to 3m to our boundary.

Even with the above revision, the discretionary change sought by the developer to vary the planning requirement of a 4m rear setback to a 3m setback for Unit 3 will still create more shading than would occur if the 4m setback were adhered to. Our property is relatively narrow, at just 12m width, so shading will be more significant than on a wider lot. We therefore object to this reduction in rear setback from 4m to 3m. Our objection to the above discretionary change relates to the Central Coast Interim Planning Scheme 2013 - Part D Zones - 10.0 General Residential Zone - 10.4 Development Standards - 10.4.2 Setbacks and building envelope for all dwellings.

To achieve the objectives of sub clause 10.4.2 above, Acceptable Solution A3 (a) part (ii) refers to the requirement of a rear setback of 4m to contain the dwelling within the required building envelope. The Performance Criteria P3 that relates to A3 states (at (a) part (iii)), that the siting and scale of a dwelling must not cause unreasonable loss of amenity by overshadowing of an adjoining vacant lot.

The site plan shows the setback of Unit 1 to the dividing fence between Units 1 and 3 to be greater than the setback of Unit 3 to our boundary. More significance has been given to separation of these units rather than the required setback to our property.

David Kirkham
Roslyn Kirkham.

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 19 APR 2017

Application No: DA216180

Doc. ID: 266893

Annexure 4



Aerial View – 22 & 22A Alexandra Road, Ulverstone (also showing adjoining land to the south at 6 Walker Street, Ulverstone)



22 Alexandra Road, Ulverstone



Existing dwelling to be demolished – 22A Alexandra Road, Ulverstone

Annexure 5



Submission to Planning Authority Notice

Council Planning Permit No.	DA216180	Council notice date	20/04/2017
TasWater details			
TasWater Reference No.	TWDA 2017/00545-CC	Date of response	09/05/2017
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
Response issued to			
Council name	CENTRAL COAST COUNCIL		
Contact details	planning.cmw@centralcoast.tas.gov.au		
Development details			
Address	22 ALEXANDER RD, ULVERSTONE	Property ID (PID)	6936977
Description of development	Multiple dwellings x 4 (includes no.22a)		
Schedule of drawings/documents			
	Prepared by	Drawing/document No.	Revision No.
	RFS Projects	Davey Sheets 1 & 5	A
	CSE Tasmania	Preliminary Long Section / 1206-63 Sheet C23	A
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. A suitably sized metered water connection must be provided in accordance with TasWater standards.			
2. A single shared sewer property connection must be provided in accordance with TasWater standards.			
3. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified water service connections must be carried out by TasWater at the developer's cost.			
ASSET CREATION & INFRASTRUCTURE WORKS			
4. The existing DN150 sewer main located within 22A Alexander Rd must be realigned to comply with TasWater's 56W consent requirements contained herein.			
5. Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) / Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.			
6. Prior to applying for a Permit to Construct new infrastructure the developer must obtain TasWater Engineering Design Approval. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.			
7. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.			
8. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.			
9. Prior to the issue of a Certificate of Water and sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure			

- required to service the development are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
10. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
 11. At practical completion of the water and sewerage works and prior to applying to TasWater for a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
 - b. A request for a joint on-site inspection with TasWater's authorised representative must be made;
 - c. At TasWater's discretion security for the twelve (12) month defects liability period to the value of 10% of the works may be required to be lodged with TasWater. This security must be in the form of a bank guarantee;
 - d. As constructed drawings must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.
 12. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
 13. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
 14. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.
 15. Plans submitted with the application for TasWater Engineering Design Approval must include construction management plan notes which detail how the new TasWater infrastructure will be constructed while maintaining current levels of service provided by TasWater to the upstream customers. The notes must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.

EASEMENTS & ENDORSEMENTS

16. Prior to TasWater issuing a Certificate of Water and Sewerage Compliance and/or Consent to Register a Legal Document, Pipeline and Services easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.
17. Prior to the issue of a Certificate of Water and Sewerage Compliance and/or Consent to Register a Legal Document from TasWater, the applicant must submit a copy of the completed Transfer of Easement(s), to be completed in accordance with Section 58 Land Titles Act 1980, for the provision of a minimum 2.50 wide Pipeline and Services Easement(s) to cover existing and proposed TasWater infrastructure.

56W CONSENT

18. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of

- the development which is built within two metres of TasWater infrastructure.
19. The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) must show footings/piers of proposed buildings located within 2.0m from TasWater pipes and must be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans must also include a cross sectional view through the footings/piers which clearly shows;
- Sewer pipe depth and location dimensioned relative to the footings/piers and the adjacent boundary;
 - Eaves and gutters must be located outside of the TasWater easement;
 - The footings/piers must be located outside of the TasWater easement and be no closer than 1.0m from the sewerage infrastructure;
 - The line of influence from the base of the footing/piers must pass below the invert of the pipe and be clear of the pipe trench and;
 - A note on the plan indicating how the pipe location and depth were ascertained.

DEVELOPMENT ASSESSMENT FEES

20. The applicant or landowner as the case may be, must pay a development assessment fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:
- \$335.18 for development assessment; and
 - \$133.25 for Consent to Register a Legal Document

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by



Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Annexure 6

26 April 2017

Our ref.: DA216180, paa:kaa
Doc ID: 267520

Mr R Smith
RFS Developments (Tas) Pty Ltd
70 Tugrah Road
TUGRAH TAS 7310

Dear Roger

LOCAL GOVERNMENT (HIGHWAYS) ACT 1982 AND URBAN DRAINAGE ACT 2013
STATEMENT OF COMPLIANCE FOR VEHICULAR ACCESS AND DRAINAGE ACCESS
MULTIPLE DWELLING DEVELOPMENT - 22 & 22A ALEXANDRA ROAD, ULVERSTONE

I refer to your application DA216180 for a multiple dwelling development at 22 and 22A Alexandra Road, Ulverstone, and based on the information supplied with the application make the following determination in respect to vehicular access and the disposal of stormwater.

Access can be provided to the road network at 22 and 22A Alexandra Road, Ulverstone subject to the following:

- R1 The existing access located on the eastern side of the Alexandra Road frontage shall be maintained and used as the access to Unit 1, having been considered acceptable in the Traffic Impact Statement prepared by Milan Prodanovic Traffic Engineering & Road Safety dated 8 March 2017;
- R2 The existing access located on the western side of the Alexandra Road frontage shall be maintained and used as the access to Unit 2, having been considered acceptable in the Traffic Impact Statement prepared by Milan Prodanovic Traffic Engineering & Road Safety dated 8 March 2017;
- R3 A new 3.6m wide access shall be located on the Alexandra Road frontage as the access to Units 3 and 4, generally as shown on the RFS Projects Pty Ltd Site Plan, Drawing No. 1 Rev A of Job No. DAVEY dated 15 March 2017 (copy enclosed), and as assessed in the Traffic Impact Statement prepared by Milan Prodanovic Traffic Engineering & Road Safety dated 8 March 2017;
- R4 The new 3.6m wide access on the Alexandra Road frontage must be constructed in accordance with Standard Drawing TSD-R09-v1 Urban Roads - Driveways (copy enclosed);

- R5 Prior to the issuing of the Building Permit, a Roadworks Authority (RWA) must be signed by the developer/property owner for the Council to undertake the work relating to the installation of the kerb crossover;
- R6 The access between the back of the kerb crossover and the front property boundary must be constructed in asphalt unless otherwise approved by the Council's Director Infrastructure Services or his representative;
- R7 The set-out of the access between the back of the kerb crossover and the front property boundary must be inspected at least 24 hours prior to the proposed asphalt placement and be approved for construction by the Council's Director Infrastructure Services or his representative. Please contact the Council's Public Safety Coordinator on 0419 103 887;
- R8 Sight triangle areas adjacent to all accesses/driveways must be kept clear of obstructions to visibility, as per Figure 3.3 Minimum Sight Lines for Pedestrian Safety of AS/NZS 2890.1 (copy enclosed);
- R9 Prior to the issuing of the Building Permit, drawings/details of the methods proposed to satisfy R8 must be submitted to the Council and be approved by the Council's Director Infrastructure Services or his representative;
- R10 The height of any fence, vegetation or other structure along the Alexandra Road frontage must be less than 900mm above the footpath level, with a preference of no fence or one that does not significantly obstruct visibility;
- R11 A separate conditioned approval from the Council acting in its capacity as the Road Authority will be required for any works or activity in the road reservation, and must be arranged prior to any work associated with the development being undertaken. Please contact the Council's Public Safety Coordinator on 0419 103 887;
- R12 Any work associated with roads, footpaths, kerb and channel or nature strips will be undertaken by Council, unless alternative arrangements are approved by the Council's Director Infrastructure Services or his representative;
- R13 Any damage or disturbance to roads, footpaths, kerb and channel, nature strips or street trees resulting from activity associated with the development must be rectified;
- R14 All works or activity listed above shall be completed to the satisfaction of the Council's Director Infrastructure Services or his representative;
- R15 All works or activity listed above shall be at the developer's/property owner's cost.

Access can be provided to the Council's stormwater network at 22 & 22A Alexandra Road, Ulverstone to drain stormwater from the proposed development subject to the following:

- S1 A DN100 underground stormwater connection must be provided to the lot for disposal of stormwater from new dwellings and associated hard surfaces;
- S2 Prior to the issuing of the Building Permit an Install Stormwater Connection Point authorisation form must be signed by the developer/property owner for the Council to undertake the work relating to the installation of the new stormwater connection point;
- S3 On-site detention storage must be provided to limit the peak rate of piped stormwater discharge and overland flow from the site, to that generated for the site developed to a level of 40 per cent impervious for a 5% AEP event;
- S4 The on-site detention storage must be designed to accommodate a 1% AEP storm event for the fully developed site, unless it can be demonstrated that either a suitably designed overland flow path or an alternative on-site storage mechanism is available;
- S5 Any on-site detention storage system must be designed by a civil engineer eligible for membership of IE Aust or equivalent;
- S6 Prior to the issuing of the Building Permit, the plans and calculations for any on-site detention storage must be submitted to the Council, and be approved in principle by the Council's Director Infrastructure Services or his representative;
- S7 On completion, an "as constructed" plan complete with levels, must be submitted, complete with a certification that the storage and adjacent floor levels have been constructed in accordance with the approved design;
- S8 Stormwater and associated infrastructure shall be provided in accordance with the Tasmanian Subdivision Guidelines and the Tasmanian Standard Drawings, unless otherwise required or approved by the Council's Director Infrastructure Services;
- S9 Any work associated with existing stormwater infrastructure will be undertaken by the Council, unless alternative arrangements are approved by the Council's Director Infrastructure Services or his representative;
- S10 Any damage or disturbance to existing stormwater infrastructure resulting from activity associated with the development must be rectified;

- S11 All works or activity listed above shall be completed to the satisfaction of the Council's Director Infrastructure Services or his representative;
- S12 All works or activity listed above shall be at the developer's/property owner's cost.

In general the following shall apply in respect to the provision of infrastructure associated with the development and to any existing Council infrastructure.

- I1 The provision, upgrading, re-routing, relocation or extension of Council infrastructure and services, required as a result of the subdivision, shall be done in accordance with the relevant standards and to the satisfaction of the Council's Director Infrastructure Services or his representative;
- I2 The provision, upgrading, re-routing, relocation or extension of Council infrastructure and services, required as a result of the subdivision, shall be at the developer's/property owner's cost;
- I3 Any damage or disturbance to existing services resulting from activity associated with the subdivision must be rectified at the developer's/property owner's cost.

This 'Statement of Compliance' is not an approval to create an access or work in the road reservation, or undertake drainage works nor is it a planning permit for the development. This 'Statement of Compliance' is valid for a period of 2 years from the date shown above.

A copy of this 'Statement of Compliance' has been provided to the Council's Land Use Planning Group for consideration with planning permit application DA216180.

Please contact me on tel. 6429 8977 should you have any further enquires.

Yours sincerely



Philip Adams
ENVIRONMENTAL ENGINEER
Encl.

Administrative Assistant – Planning ✓
Regulatory Services Administration Officer
Plumbing Inspector
Public Safety Coordinator

A COPY FOR YOUR INFORMATION

ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

SITE AREA - UNIT 1
 Land Area = 394M²
 Unit Area = 144 M²
 Porch Area = 1M²
 Alfresco = 13M²
 POS(inc. alfresco) = 60M²
 Free Open Space = 189M²
 (inc. paths, driveway & garden)

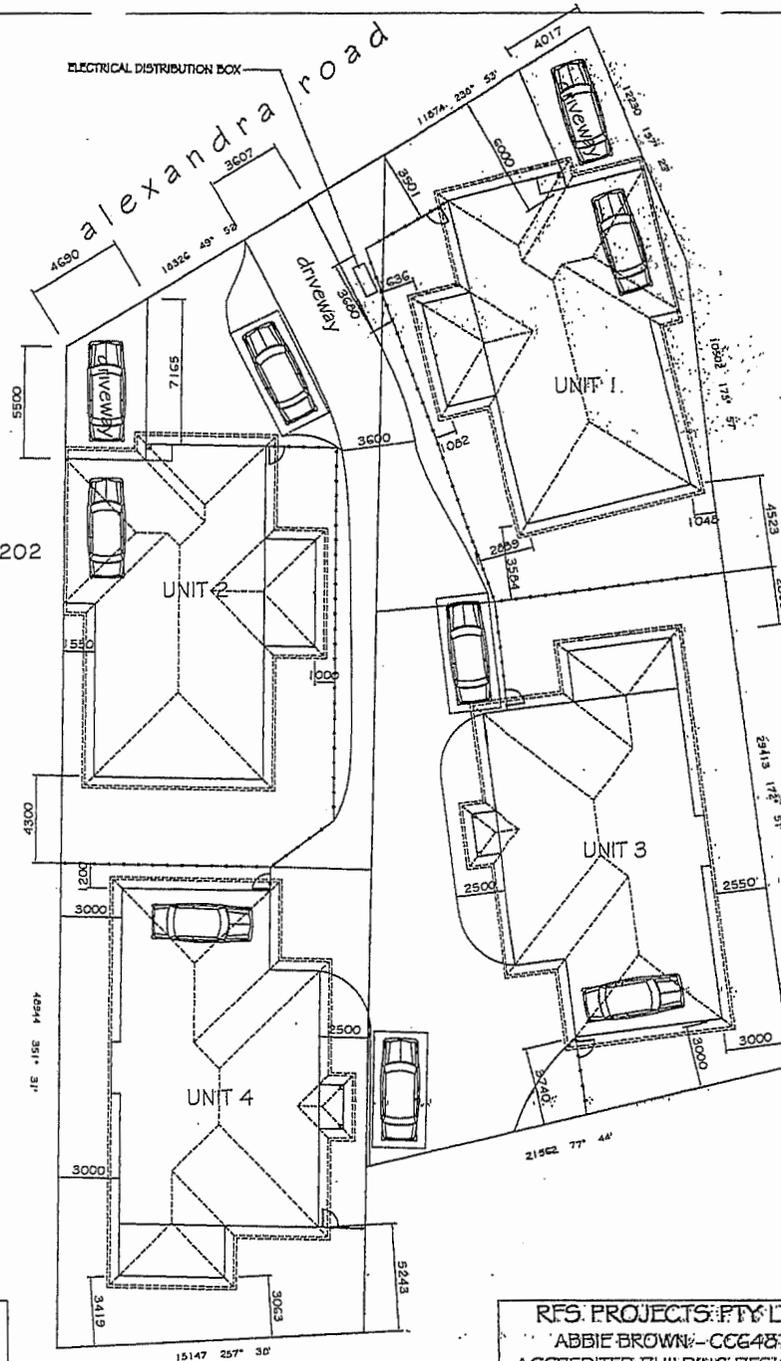
SITE AREA - UNIT 2
 Land Area = 445M²
 Unit Area = 144 M²
 Porch Area = 1M²
 Alfresco = 13M²
 POS(inc. alfresco) = 70M²
 Free Open Space = 230M²
 (inc. paths, driveway & garden)

SITE AREA - UNIT 3
 Land Area = 489M²
 Unit Area = 149 M²
 Porch Area = 2.5M²
 Alfresco = 19M²
 POS(inc. alfresco) = 60M²
 Free Open Space = 276.5M²
 (inc. paths, driveway & garden)

SITE AREA - UNIT 4
 Land Area = 350M²
 Unit Area = 149 M²
 Porch Area = 2.5M²
 Alfresco = 13M²
 POS(inc. alfresco) = 60M²
 Free Open Space = 136.5M²
 (inc. paths, driveway & garden)

LOT 1
 M²
 VOL-63202
 FOL-1

LOT 2
 M²
 VOL-59820
 FOL-2



CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 15 MAR 2017

Application No:

Doc. ID:



ALL DIMENSIONS IN MILLIMETERS



IF IN DOUBT DO NOT SCALE



MEMBER

SITE PLAN

REV	DESCRIPTION	DATE
A	PRELIMINARY	15.03.17

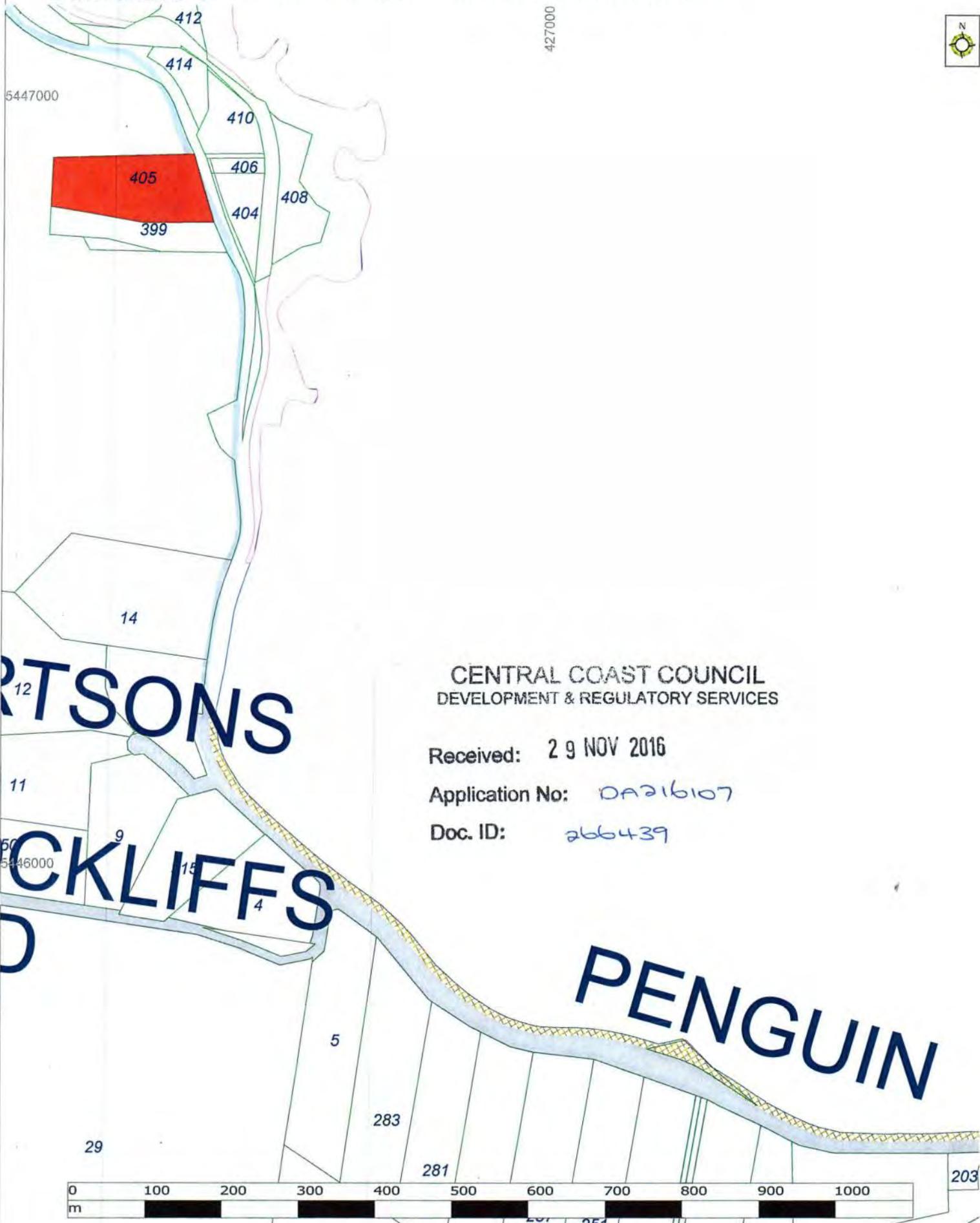
RFS PROJECTS PTY LTD
 ABBIE BROWN - CCG487
 ACCREDITED BUILDING DESIGNER
 70 TUGRAH RD, DEVONPORT
 VIC 3152
 F 64 246325
 E abbie@rfsprojects.com.au

NEW UNIT DEVELOPMENT
 RFS PROJECTS
 PETER DAVEY
 22 & 22A ALEXANDRA RD
 ULVERSTONE

SITE PLAN
 SCALE - 1:250 (A3)
 JOB NO. DAVEY
 DRAWING NO. 1
 DATE - 15/03/17
 REV - A

Annexure 1

405 Penguin Road, West Ulverstone



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 29 NOV 2016

Application No: DA216107

Doc. ID: 266439

WATSONS

WICKLIFFS

PENGUIN

DA216107

Copyright © 2015, Central Coast Council
The information shown on this plan has been generated from digital data.
Central Coast Council accepts no responsibility for the accuracy of the data.
Boundary locations should be checked at the State Titles Office.
GDA94 (Zone 55)

Annexure 2



PO Box 220
 19 King Edward Street
 Ulverstone Tasmania 7315
 Tel (03) 6429 8900
 Fax (03) 6425 1224
 admin@centralcoast.tas.gov.au
 www.centralcoast.tas.gov.au

DEVELOPMENT APPLICATION

Sections 57 & 58

Application Number	DA216107
--------------------	----------

APPLICANT DETAILS

Applicant Name	PDA Surveyors		
Postal Address	Attn: Tom Reilly 63 Don Road DEVONPORT TAS 7310		
Phone(B)	64236875	Phone(H)	Mobile
			Fax 6431 6663

OWNER DETAILS

Owner/Authority Name	Brian Thomas Robertson
Address	PO Box 198 ULVERSTONE TAS 7315

DEVELOPMENT APPLICATION DETAILS

Property Address	405 Penguin Road West Ulverstone 7315
Title Reference	103560/1 and 35699/1
Zone(s)	Rural Living [Central Coast Interim Planning Scheme 2013]

Note: Council requires a survey plan or certificate of title to clarify the property description

Present Use	Dwelling and Resource Production
Proposal (intended use)	Subdivision - 3 Lots
Development Type	Discretionary Permit Area >250m2
Estimated Value of Development	20,000

Building Application	No
Are all Documents Attached? (Refer to Application Checklist)	Yes

Existing Floor Area	Area:	m2	SEE PLANS
New or Additional Floor Area	Area:	m2	

CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: - 8 DEC 2016

Application No: DA216107

Doc. ID: 266438

NON-RESIDENTIAL DEVELOPMENT/USE

Hours of Operation	Monday/Friday	to	
	Saturday	to	
	Sunday	to	

Number of Car Parking (Existing)	<i>SEE APPLICATION INFO</i>	Number of Employees (Existing)	
Number of Car Parking (Additional)		Number of Employees (Additional)	

Type of Machinery Installed	
Details of Trade Waste and Method of Disposal	

APPLICANT DECLARATION

YOUR DECLARATION - To be completed by all applicants.

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

if incomplete, the application may be delayed or rejected.

more information may be requested within 21 days of lodgement.

PUBLIC ACCESS TO DISCRETIONARY PLANNING DOCUMENTS

I, the undersigned understand that during the 14-day public display period, all documentation included with this planning application will be made available for inspection by the public and upon request and following payment of a prescribed fee, copies of submitted documentation, with the exception of plans which will be made available for display only, will be provided to members of the public.

OWNERS NOTIFICATION

I declare that I have notified the owner of the intention to make of this application.

If the land is subject to a mining lease, or is owned by the Crown or Council, the written consent of the Owner must be submitted with the application in accordance with s.52 of the Act.

In the course of inspections and investigations relating to this application, it may be necessary for Council officers to enter upon the land which is subject to this application. Accordingly, permission is hereby granted for entry for that purpose provided reasonable attempts are made on site to inform any resident or occupant on the property at that time.

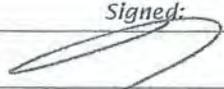
Name (Print):

Signed:

Date:

applicant:

Tom Reilly



08/12/16

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: - 8 DEC 2016

Application No: DA216107

SEARCH OF TORRENS TITLE

VOLUME 103560	FOLIO 1
EDITION 3	DATE OF ISSUE 03-May-2016

SEARCH DATE : 04-Apr-2017

SEARCH TIME : 11.27 AM

DESCRIPTION OF LAND

Parish of ASHWATER, Land District of DEVON
 Lot 1 on Diagram 103560
 Being the land described in Conveyance No. 37/7790
 Derivation : Part of Lot 4810, 50 Acres Gtd. to R. Tait
 Derived from Application No. 11,508 C.T.

SCHEDULE 1

M569628 BRIAN THOMAS ROBERTSON Registered 03-May-2016 at
 noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 31/1750 CONVEYANCE BENEFITING EASEMENT: Right of Carriageway
 over the Right of Way shown marked BC on Diagram No.
 103560
 31/1750 CONVEYANCE BURDENING EASEMENT: Right of Carriageway
 [appurtenant to Lot 1 on Diagram No. 33249] over the
 land shown marked Right of Way AB on Diagram No.
 103560

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No: 09216107

Doc. ID: 266438

APPROVED 22 DEC 1992 <i>Michael Dine</i> RECORDER OF TITLES	CONVERSION PLAN CONVERTED FROM 37/779D	REGISTERED NUMBER D.103560
FILE NUMBER A.11508	GRANTEE: PART OF LOT 4810 50-0-0 GTD. TO ROBERT TAIT	DRAWN M.S.B. 21-12-92

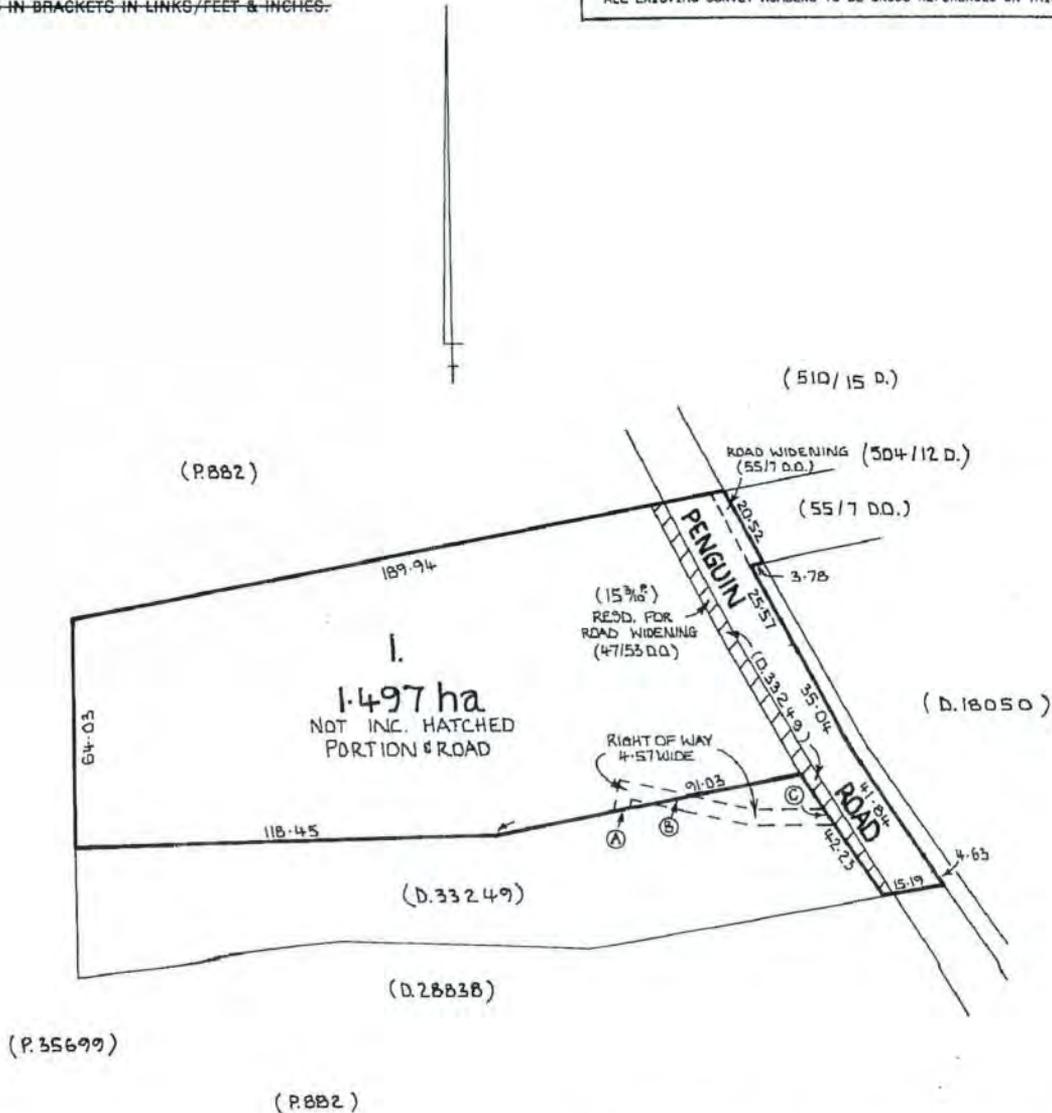
05-4 2002

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF
LAND DISTRICT OF DEVON
PARISH OF ASHWATER

LENGTHS ARE IN METRES. NOT TO SCALE.
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.

TASMAP MUNICIPAL CODE NO. 57	LAST TASMAP UPI NO.	LAST SURVEY PLAN NO.
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No: DA216107

Doc. ID: 266438

SEARCH OF TORRENS TITLE

VOLUME 35699	FOLIO 1
EDITION 4	DATE OF ISSUE 25-Feb-2013

SEARCH DATE : 04-Apr-2017

SEARCH TIME : 11.29 AM

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

DESCRIPTION OF LAND

Received: 04 APR 2017

Parish of ASHWATER, Land District of DEVON
Lot 1 on Plan 35699
Derivation : Part of Lot 327 Gtd. to J. Walker, Part of Lot
4810 Gtd. to R. Tait, Part of Lot 6038 Gtd. to M.W.B.S. Pasley,
Part of Lot 6659 Gtd. to A. Littlejohn and Part of 1A-2R-0Ps.
(d. to W. Rogers
Prior CT 4484/29

Application No: 0A216107

Doc. ID: 266438

SCHEDULE 1

M406360 TRANSFER to BRIAN THOMAS ROBERTSON Registered
25-Feb-2013 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
BURDENING EASEMENT: A Right of Carriageway (appurtenant to the
land comprised in Certificate of Title Volume 970
Folio 8) over the strip of land marked "Road
Widening" on Plan No. 35699

(BURDENING EASEMENT (appurtenant to 1A-1R-32.6/10Ps. of land on
Diagram No. 510/15 (herein called "the said Lot") the
right to construct a dam or weir or reservoir for the
purposes of supplying a tank not to exceed one
thousand gallons capacity upon the above land within
the area thereof described 0.04 metres in Plan No.
35699 as "Water Catchment Easement 10.06 wide"

BURDENING EASEMENT: the right to lay repair and maintain a
pipeline not exceeding in bore within that strip of
land 1.22 metres wide described in the Plan No. 35699
as "Pipeline Easement 1.23 metres wide" such pipeline
to be laid not less than 0.23 metres under the
surface of the land

BURDENING EASEMENT: full right and authority to draw pump and
receive from such catchment area and convey through
the said pipe to the said lot such supply of water as
shall be required for any purpose in connection with
the said lot

BURDENING EASEMENT: full right power authority and liberty for the owner of the said lot from time to time and at all times to come go pass and repass along such pipeline easement and on to and from such water catchment area to inspect take up cleanse repair remove and replace the said pipeline and to inspect clean up repair remove and replace the said dam or weir or reservoir and to keep clear the said water catchment area or any part thereof doing as little damage as possible to the said land and making compensation for all damage that may be done

BURDENING EASEMENT: full right and liberty from time to time and at all times hereafter at the sole expense of the owner of the said lot to fence off the said water catchment area

BURDENING EASEMENT: a right of carriageway (appurtenant to Lot 1 on Sealed Plan No. 9250) over the Right of Way shown on Plan No. 35699

A243221 COVENANTS in Agreement

SP109343 BENEFITTING EASEMENT: right of carriageway over the land marked Right of Way Variable Width on P35699

NOTICE: This Folio is affected as to amended easements/covenants pursuant to Request to Amend No B653207 made under Section 481 of the Local Government Act 1962. Search Sealed Plan No 9250 .

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

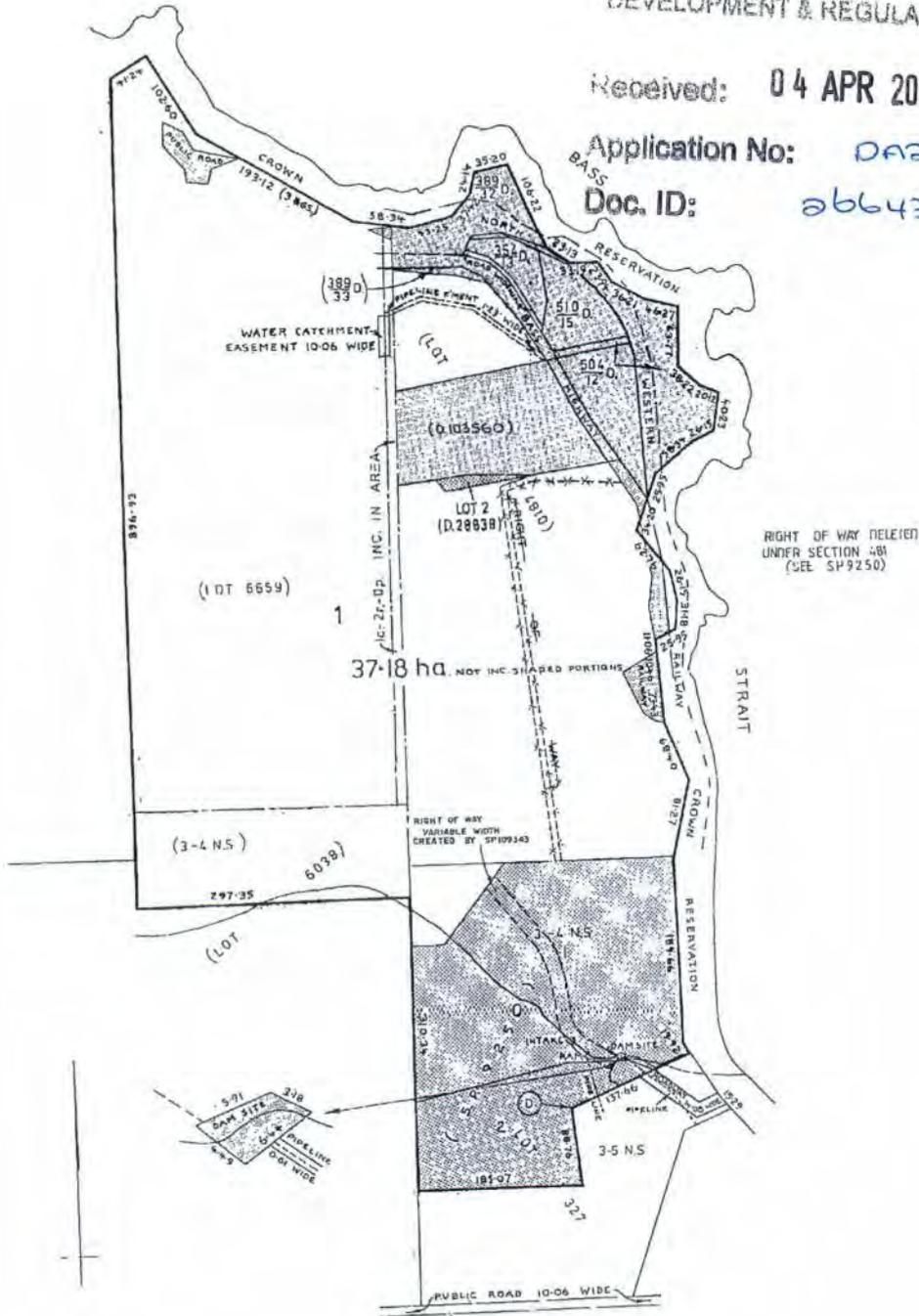
Owner	PLAN OF TITLE of land situated in the DEVON ASHWATER COMPILED FROM... 1/4 N.S. SCALE 1: 4 000 MEASUREMENTS IN METRES	Registered Number. P.35699
Title Reference: C.T. 3612-55		Approved: 20 JUN 1999 Effective from:
Grantee:		

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 04 APR 2017

Application No: DA216107

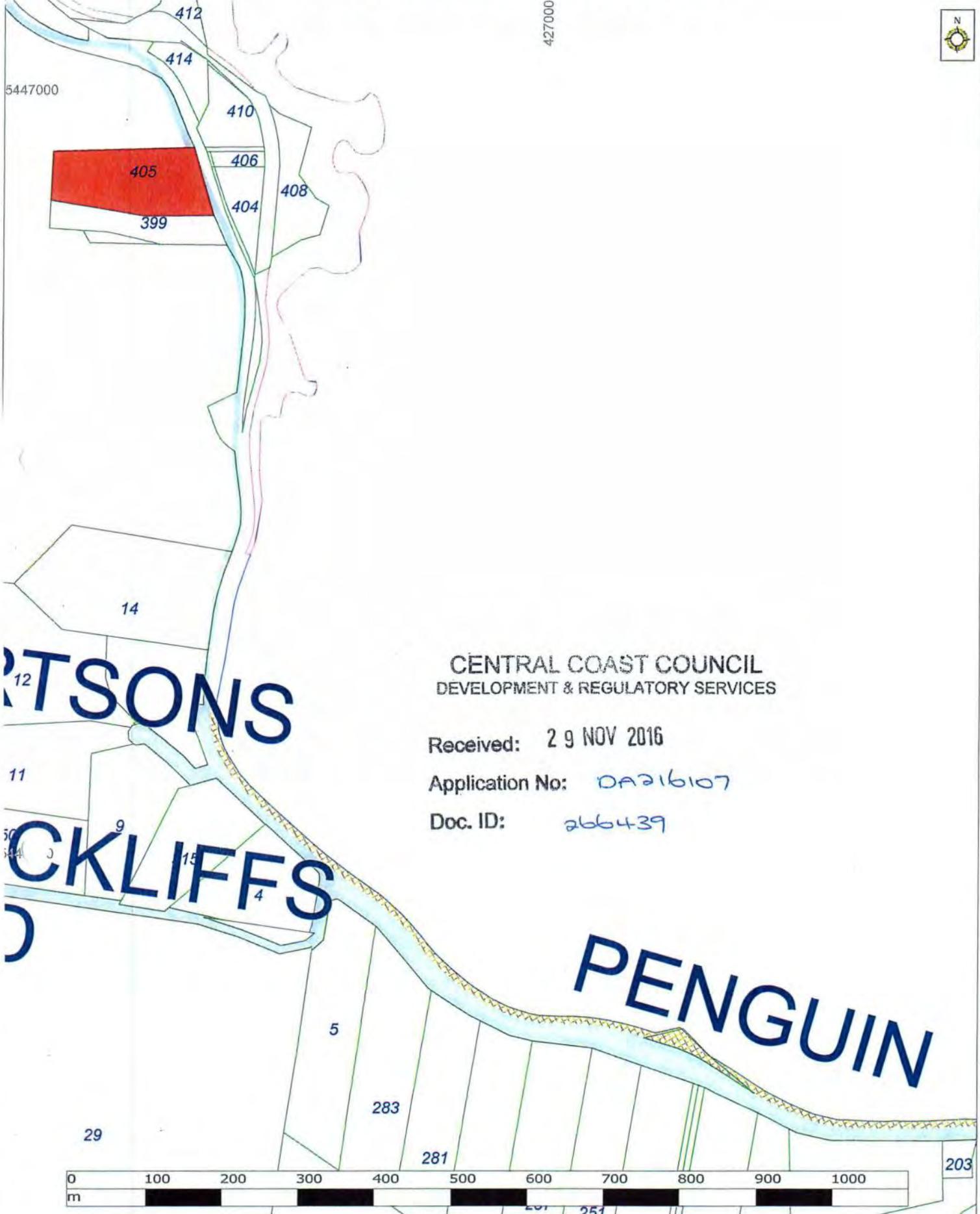
Doc. ID: 266438



8.

405 Penguin Road, West Ulverstone

427000



WATSONS

CKLIFFS

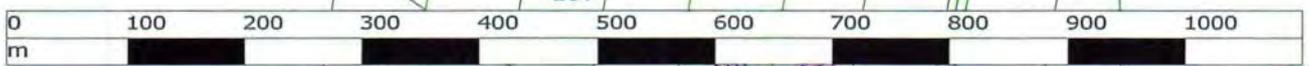
PENGUIN

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 29 NOV 2016

Application No: DA216107

Doc. ID: 266439

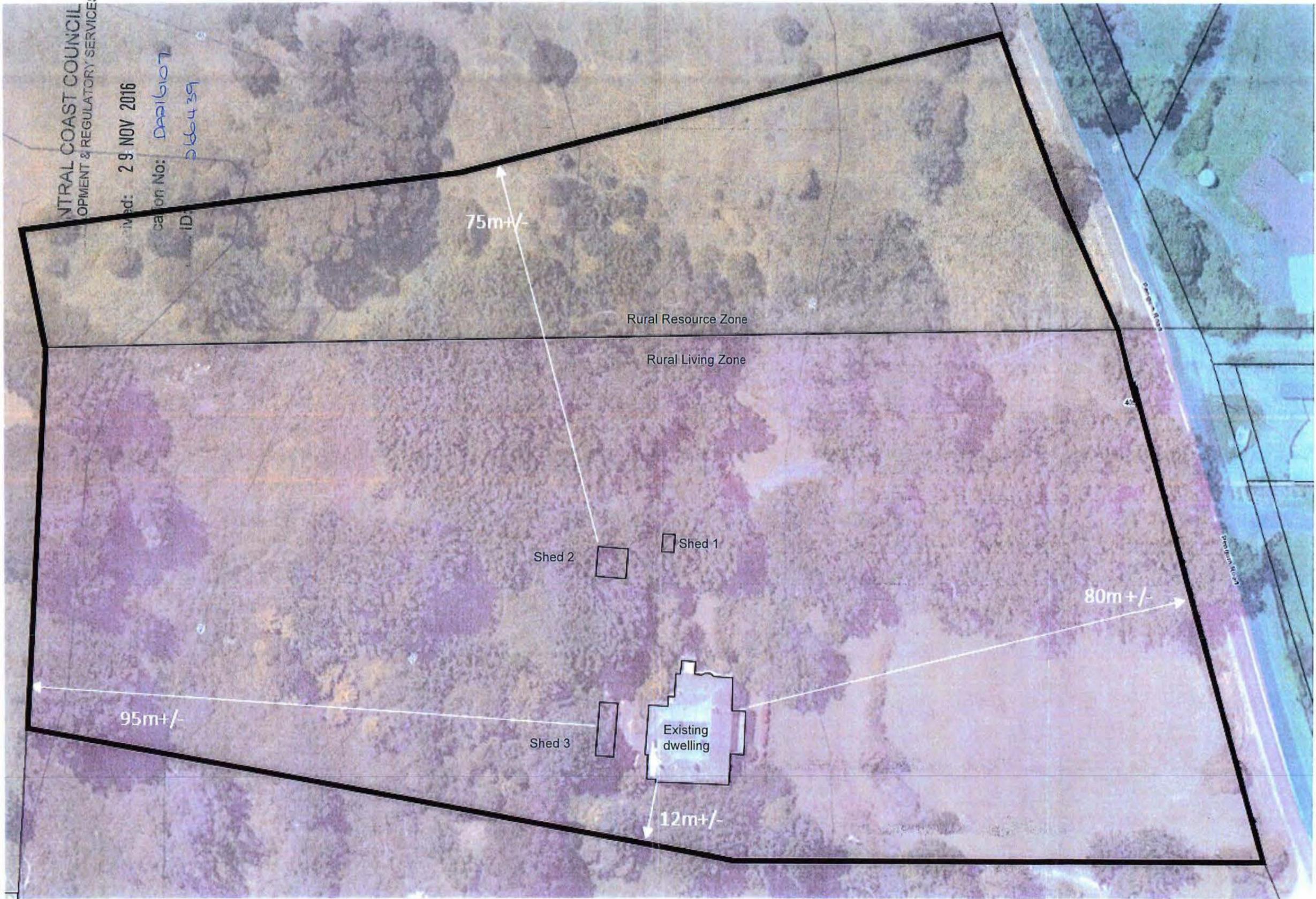


DA216107

Approved: 29 NOV 2016

Application No: DA216107

ID: 5166439



E				
D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.

Note: Measurements taken from existing buildings to existing and proposed boundaries based on on-site measurements and aerial photography. Locations of sheds calculated by on-site observation and aerial photography.

SURVEYOR	N/A	GEOCIVIL	N/A
DRAWN	TR	CHECKED	AE
DATE	28 November 2016		

SITE PLAN WITH SETBACKS TO EXISTING AND PROPOSED LOT BOUNDARIES
405 PENGUIN RD WEST, ULVERSTONE
BRIAN & CAVELL ROBERTSON

PDA Surveyors
Surveying, Engineering & Planning

63 Dŕn Road
Devonport, Tasmania, 7310
www.pda.com.au Also at: Hobart,
Launceston & Burnie

PHONE: +61 03 6423 6675
EMAIL: pda@pda.com.au

SCALE	PAPER
NOT TO SCALE	
JOB NUMBER	DRAWING
B16385-2	

PLAN OF SUBDIVISION



PDA Surveyors

Surveying, Engineering & Planning

6 Queen Street
Burnie, Tasmania, 7320
www.pda.com.au
Also at: Hobart, Launceston & Kingston

PHONE: +61 03 6431 4400
FAX: +61 03 6431 6663
EMAIL: pda.bne@pda.com.au

Owner **BRIAN THOMAS ROBERTSON & CAVELL NOELENE ROBERTSON**
Title Ref. CT35699/1
CT103560/1

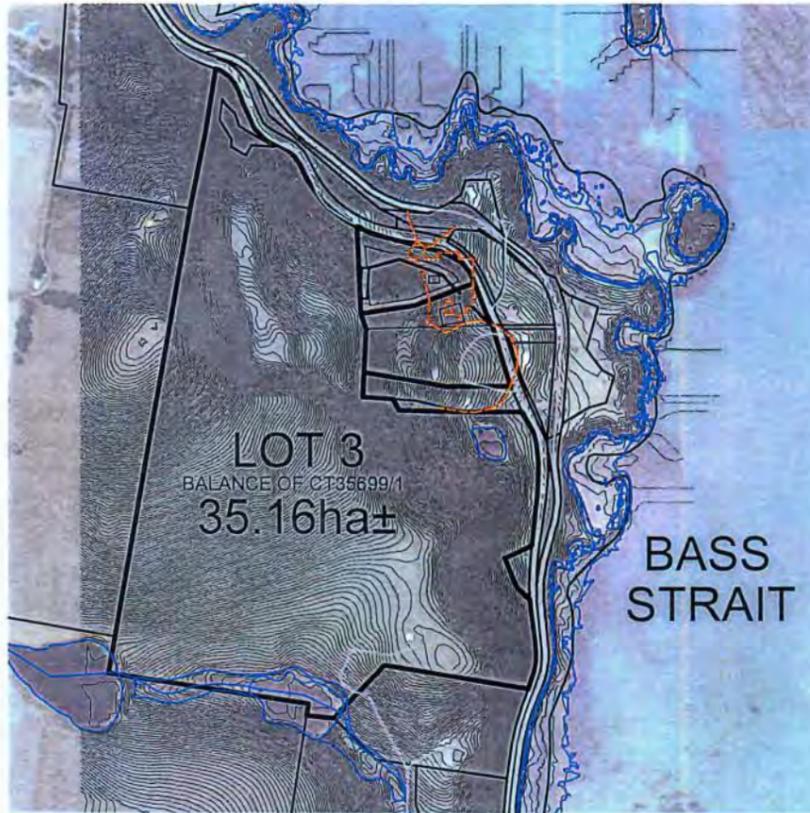
Location **405 PENGUIN RD WEST, ULVERSTONE**
Council **Central Coast Council**
Planning Scheme: **Central Coast Council Interim Planning Scheme 2013**

This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown hereon should be used for no other purpose. All measurements and areas are subject to final survey.

Schedule Of Easements **EXISTING EASEMENTS TO BE RETAINED**

Scale 1:1500 (A3) | Date 12/09/2016 | Our Ref. B16385-1 | GDA94 Centroid: E

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES



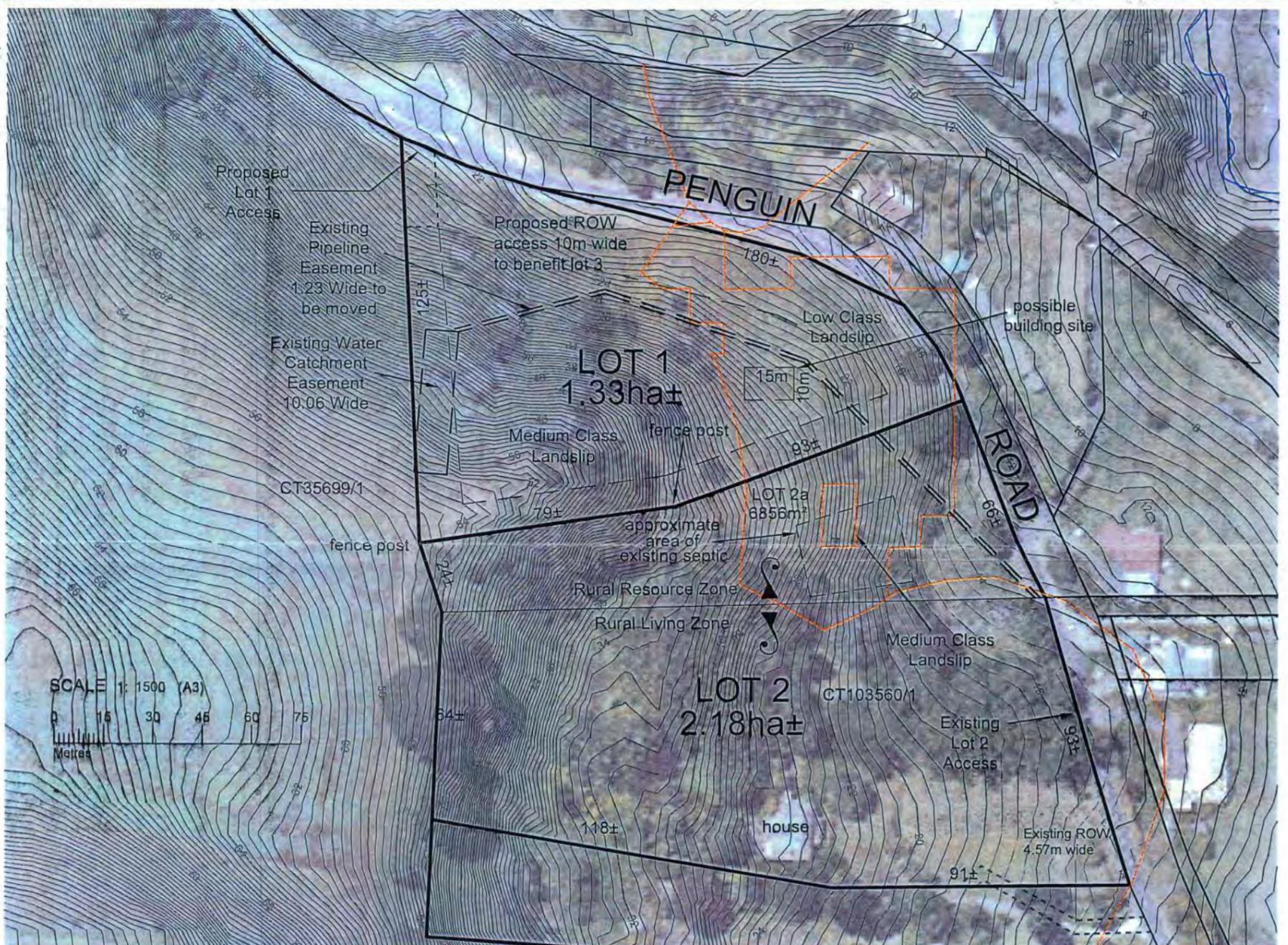
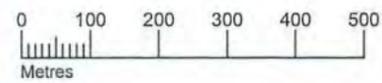
Received: 29 NOV 2016

Application No: DF016107

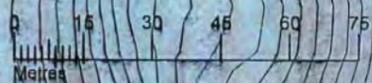
Doc. ID: 266439



SCALE 1: 10,000(A3)



SCALE 1: 1500 (A3)



Tasmanian Heritage Council
GPO Box 618 Hobart Tasmania 7000
134 Macquarie St, Hobart Tasmania 7000
Tel: 1300 850 332
Fax: [03] 6233 3186
enquiries@heritage.tas.gov.au
www.heritage.tas.gov.au

PLANNING REF: No Ref.
EXEMPTION NO: #1263
REGISTERED PLACE NO: #723
FILE NO: 15-04-51THC
APPLICANT: Tom Reilly (PDA Surveyors)
DATE: 23 November 2016

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 29 NOV 2016

Application No: 09216107

Doc. ID: 266439

CERTIFICATE OF EXEMPTION

(Historic Cultural Heritage Act 1995)

The Place: 'Lonah', 405 Penguin Road, West Ulverstone.

Thank you for your application for a Certificate of Exemption for works to the above place.

Your application has been approved by the Heritage Council under section 42(3)(a) of the *Historic Cultural Heritage Act 1995* for the following works:

Works: Consolidate (adhere) property titles.

Documents: Email request to Heritage Tasmania, dated 23/11/2016 from Tom Reilly (PDA Surveyors), with attached: (i) Plan of Subdivision B16385-1, dated 12/09/2016 by PDA Surveyors, and; (ii) LIST Folio Plan & Text D.103560.

Comments: The Certificate of Exemption is issued to adhere a parcel of subdivided land (Lot 2a, 6856m²) to the northern side of the Registered title of 'Lonah' (CT103560/1).

The adhesion will increase the title area of the property 'Lonah' from 1.497ha to 2.18ha.

The adhesion of title complies with the criteria for exemption under Part 5.1 of the Works Guidelines.

A copy of this certificate will be forwarded to the local planning authority for their information. A planning, building or plumbing permit from the local planning authority may be required for the works. Further advice regarding these requirements should be obtained from the local council or planning authority.

Further information on the types of work that may be eligible for a certificate of exemption is available in the Tasmanian Heritage Council's *Works Guidelines*. The *Guidelines* can be downloaded from www.heritage.tas.gov.au

Please contact Chris Bonner on 1300 850 332 if you require further information.



Chris Bonner
Regional Heritage Advisor – Heritage Tasmania
Under delegation of the Tasmanian Heritage Council

BURNIE & DEVONPORT

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 A.W. Eberhardt, B. GEOM. (Tas.), M.SSSI (Director)

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CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

28 November 2016

Planning Department
 Central Coast Council
 19 King Edward Street
 ULVERSTONE TAS 7320

Received: 29 NOV 2016

Application No: DA216107

Doc. ID: 266439

Dear Sir or Madam,

SUBDIVISION AT PENGUIN ROAD, ULVERSTONE

PDA Surveyors act on behalf of Brian Robertson in the preparation and submission of this application for a two lot subdivision of the abovementioned property. Please find enclosed the following documentation in support of their application:

- Plan of Subdivision numbered B16385-1 by PDA Surveyors,
- Site plan of the proposed lot 2 numbered B16385-1 by PDA Surveyors,
- Compliance submission from PDA Surveyors dated 28 November 2016,
- Folio text and plan for CT35699/1 & CT103560/1,
- Bushfire Report by Environmental Service and Design dated 21 November 2016,
- Landslide Risk Assessment report by Tasman Geotechnics dated 10 November 2016,
- Agricultural Assessment by Macquarie Franklin dated June 2016,
- Access assessment by CSE Tasmania dated 7 September 2016,
- Exemption from Heritage Tasmania dated 23 November 2016.

The subdivision involves two existing parcels of land both of which are located west of the Ulverstone township along Penguin Road. The first is 405 Penguin Road (Rural Living Zone) and is hereinafter referred to as Lonah. The second has no street address but is hereinafter referred to as CT35699/1 (Rural Resource Zone).

Lonah is permanently listed on the Tasmanian Heritage Register. It is 1.497ha and contains a residence located among mature and well established gardens comprising native and introduced species. Whilst Lonah may have been connected with agricultural activity in its past, it has been used as a stand-alone Residential use for a number of years. It has frontage and vehicle access from Penguin Road.

CT35699/1 surrounds 405 Penguin Road. It has vehicle access at the south-eastern corner of the property from Robertsons Road via a right of way over 12 and 14 Robertsons Road. The ground on the property that is above the 50m contour is primarily used for cropping. Below the 50m contour, the land is steep and irregular in both shape and topography and is impractical for typical cropping practices. It is periodically grazed with cattle for grass maintenance purposes.

OFFICES ALSO AT:

- 127 Bathurst Street, Hobart, 7000
- 6 Freeman Street, Kingston, 7050
- 6 Queen Street, Burnie, 7320

- (03) 6234 3217
- (03) 62229 2131
- (03) 6431 4400

- 8/16 Main Road, Huonville, 7109 (03) 6264 1277
- 3/23 Brisbane Street, Launceston, 7250 (03) 6331 4099
- 16 Emu Bay Road, Deloraine, 7304 (03) 6362 2993

The proposal involves the creation of a new 1.33ha residential allotment fronting Penguin Road at the north-eastern corner of CT35699/1, hereinafter referred to as Lot 1. Lot 1 would have undulating and somewhat steep slopes running downwards to the north and the north-east. A suitable building area is proposed towards the eastern side of Lot 1. Access to the lot would be in the northern corner of the lot and in accordance with the access assessment by CSE Tasmania dated 7 September 2016.

The proposal also involves the creation of lot 2, which would comprise Lonah and 6856m² of land from CT35699/1 such that Lot 2 would contain land in both the Rural Resource Zone and the Rural Living Zone. The purpose of this is so that the existing waste water dispersion field for the existing dwelling on Lonah is contained within the proposed lot 2 boundary.

The significant agricultural land on Lot 3 would continue to be used for agricultural purposes.

A submission regarding compliance with each of the applicable standards of the Central Coast Interim Planning Scheme 2013 and the Local Government (Building and Miscellaneous Provisions) Act 1993 is included with the application documentation.

Thank you for your consideration of this application. Please contact me on 6423 6875 or 0410 831 242 if you have any questions.

Yours sincerely
PDA Surveyors

per:



Tom Reilly

BURNIE & DEVONPORT

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6 March 2017

Mary-Ann Edwards
 Central Coast Council
 19 King Edward Street
 ULVERSTONE TAS 7320

CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES

Received: 6 MAR 2017

Application No: DA216107

Doc. ID: 266439

Dear Mary-Ann,

SUBDIVISION AT PENGUIN ROAD, ULVERSTONE

Further to your letter of 15 December 2016, strategic reasoning and evidence of why a residential allotment should be created in the Rural Resource Zone is requested. Whilst the process is statutory more than strategic, it is acknowledged that application of the requirements of the Zone should further the community's economic, social and environmental strategic land use objectives and each are discussed below in relation to this site.

Economic

Given the limitations on the site identified in the Macquarie Franklin, Tasman Geotechnics and CSE Tasmania reports, an appropriate long term land use outcome on the land that is proposed to be lot 1 is likely to be one that involves little development, retention of vegetation and minimal traffic. This is likely to exclude most of the economically significant industrial and commercial activities that are categorised in the Table of Use as either permitted or discretionary.

The other uses in the Table have limited potential for wider economic benefits. Visitor accommodation is an exception but a residential use is unlikely to impede future visitor accommodation use. Indeed, residential use may be a catalyst for future visitor accommodation use of the site.

The likelihood that the land could be used in another manner that would economically contribute in a significant way is minimal and lack of use over time has demonstrated this to a degree. In a small way, the development of the site and the flow on effects of this would increase economic activity and thereby assist in meeting the community's economic objectives.

Environmental

Like many other properties along this part of the coastal escarpment, the site is prominent in the field of view from public locations and so there is some strategic merit in retaining the high value extrinsic visual landscape qualities and the intrinsic natural values. Natural and cultural values management would be an appropriate land use in this sense.

OFFICES ALSO AT:

- 127 Bathurst Street, Hobart, 7000
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- 6 Queen Street, Burnie, 7320

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- (03) 62229 2131
- (03) 6431 4400

- 8/16 Main Road, Huonville, 7109
- 3/23 Brisbane Street, Launceston, 7250
- 16 Emu Bay Road, Deloraine, 7304

- (03) 6264 1277
- (03) 6331 4099
- (03) 6362 2993

From most public locations, residential use of the site would be largely obscured from view by trees and so the visual impact would be minimal. If built in accordance with the Tasman Geotechnics report, it would also involve minimal excavation and minimal removal of vegetation. Accordingly, it is considered that residential use could happily co-exist with an appropriate plan for retention of these visual landscape and natural landscape values.

It is more likely that the visual landscape qualities of the site would be retained by a residential or visitor accommodation use than most of the other permissible uses in the Rural Resource Zone. Accordingly, the appropriate residential use of the site would be consistent with the community's environmental objectives.

Social

The views of the ocean and the dramatic scenery from this site has potential to provide high levels of natural and visual amenity for uses including residential and visitor accommodation. The community stands to benefit from a diverse range of housing options to accommodate the needs and preferences of residents. Residential use of this site would contribute to the availability of residential options at the upper end of the natural and visual amenity spectrum.

It is considered that the liveability and distinctiveness platforms of the Central Coast Council's Strategic Plan would be supported by a residential use of the site and in a small way it would help to promote Ulverstone as an attractive place to live. In this sense, it is considered that the community's social objectives can at least be partly met by the residential use of the site.

Conclusion

The potential of the land to be utilised for a primary industry purpose or a related purpose is minimal enough that it could be said that the communities various social, environmental and economic objectives would be better met with a residential use of the site. Indeed, a dwelling may activate the use of the land in a way that would not otherwise have occurred. It may also encourage use of the site in a manner that is more environmentally appropriate. On this basis, it is considered that there is a reasonably sound strategic argument for a residential use of this the Rural Resource Zoned land.

Thank you for your consideration of this matter. Please contact me on 6423 6875 if you have any questions.

Yours sincerely
PDA Surveyors

per:



Tom Reilly

Brian Robertson

**Assessment of Proposed
Development at Property Title
35699/1 & 405 Penguin Road, West
Ulverstone**

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 29 NOV 2016

Application No: DA216107

Doc. ID: 266439

June 2016





Macquarie Franklin was formed in April 2011 by the merger of two Tasmanian based consulting firms - Agricultural Resource Management (ARM) and Davey & Maynard.

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An appropriate citation for this report is: Macquarie Franklin, May 2016, Brian Robertson- *Assessment of Proposed Subdivision and Boundary Adjustment at Penguin Road, West Ulverstone, TAS.*

Date	Issue number	Document Status	Authorised by
14/6/2016	1	Draft	J Lynch

This report has been prepared in accordance with the scope of services described in the contract or agreement between Macquarie Franklin and the Client. Any findings, conclusions or recommendations only apply to the aforementioned circumstances and no greater reliance should be assumed or drawn by the Client. Furthermore, the report has been prepared solely for use by the Client and Macquarie Franklin accepts no responsibility for its use by other parties.

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1 Purpose

This report has been undertaken on behalf of Brian Robertson (the proponent) and will accompany an application to the Central Coast Council seeking approval to subdivide land and undertake a boundary adjustment on the property at Penguin Road, West Ulverstone.

This document reports on the land capability of the subject lot and an assessment of how the proposal complies with provisions of the Central Coast Council Interim Planning Scheme 2013.

1.1 Land Capability

The currently recognised reference for identifying land capability is based on the class definitions and methodology described in the Land Classification Handbook, Second Edition, C.J Grose, 1999, Department of Primary Industries, Water and Environment, Tasmania.

Most agricultural land in Tasmania has been classified by the Department of Primary Industries and Water at a scale of 1:100,000, according to its ability to withstand degradation. A scale of 1 to 7 has been developed with Class 1 being the most resilient to degradation processes and Class 7 the least. Class 1, 2 and 3 is collectively termed "prime agricultural land". For planning purposes, a scale of 1:100,000 is often unsuitable and a re-assessment is required at a scale of 1:25,000 or 1:10,000. Factors influencing capability include elevation, slope, climate, soil type, rooting depth, salinity, rockiness and susceptibility to wind, water erosion and flooding.

For the purposes of the assessment;

Agricultural land is defined as *all land that is in agricultural use or has the potential for agricultural use that has not been zoned or developed for another use or would not be unduly restricted for agricultural use by its size, shape and proximity to adjoining non-agricultural uses.*

Agricultural use means *use of the land for propagating, cultivating and harvesting plants or for the keeping and breeding of animals, excluding domestic animals and pets. It includes the handling and packing or storing of produce for dispatch to processors. It includes controlled environment agriculture and plantation forestry.*

In providing my opinion, I wish to advise that I possess a B.App.Sci.(hort) and am a member of the Australian Institute of Agriculture. I have over 18 years experience in the agricultural industry in Tasmania. I am skilled to undertake agricultural and development assessments as well as land capability studies. I have previously been engaged by property owners, independent planners, and surveyors to undertake assessments within the Burnie, Central Coast, Circular Head, Kentish, Latrobe, Launceston, Southern Midlands, Meander Valley and Waratah-Wynyard municipalities. Most of these studies have involved the assessment of land for development purposes for potential conflict with the Protection of Agricultural Land Policy (PAL Policy) and Planning Schemes.

1.2 Central Coast Interim Planning Scheme 2013

The Scheme (operative date 19th October 2013) sets out the requirements for use and development of land in the Central Coast municipality in accordance with the Land Use and Approvals Act 1993.

2 Property location and land use

The subject property, title 35699/1 has a surveyed area of 37.18 hectares, is located on Penguin Road, West Ulverstone and is zoned Rural Resource according to the Central Coast Council Interim Planning Scheme. (See Figure 1)

The subject property is predominantly surrounded land zoned Rural Resource to the west and south, with areas of land zoned for Environmental Management to the north and east and Rural Living to the south east as also property title 103560/1 and the title adjacent to it's immediate south. (See Figure 2)

The agricultural land use activities on rural resource zoned land on the coastal margin of the wider Ulverstone/Penguin area are based on seasonal mixed cropping (vegetable and broad acre crops) and pastoral use.

A number of residential dwellings are located adjacent to and within the near vicinity the property in question, particularly to the north east on Lodders Point and to south.

PID	Owner	No. Titles	Hectares (Approx)
6764335	B Robertson	1	37.18



Figure 1; property location and configuration

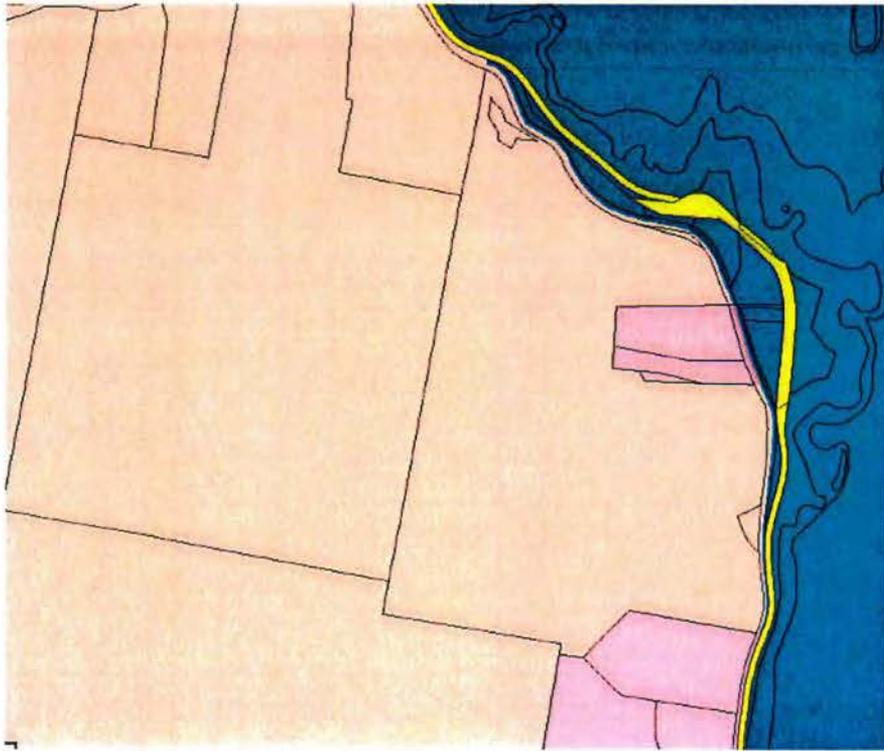


Figure 2; rural resource zone (apricot colour), rural living zone (pink colour), environmental management zone (green colour)

3 Land capability

The original land capability assessment of the area was undertaken by DPIF at a scale of 1:100,000 and reported in their Forth Report in 1997. The land within the subject property was classified as Class 3 and 4+5.

A more detailed assessment of the subject lot by Macquarie Franklin has determined that DPIF's assessment is reasonable, with the exception of a band of Class 6 land located on the very steep land on the far northern and eastern areas of the property. See Figure 3 for the land capability areas present on the property, and Figure 4 and 5 for examples of Class 3, 4, 5 and 6 land.

The land capability sub categories identified includes;

- "e" (erosion); principally due to surface water movement causing damage rill and sheet erosion on exposed soils.
- "m" (mass movement), landslip, slumping, soil creep and other forms of mass movement

The soils present on the property are dominated by red ferrosol clay loams, as per the Burnie soil association derived from Tertiary basalt, with a small section of brown/red clay soil (dermosol soil type) derived from Cambrian basalt found on the far northern area of the property adjacent to Penguin Road.



Figure 3: property land capability



Figure 4; easterly view over the property from the high ground on the western boundary of the property showing the Class 4 land on the left (to the north) and the Class 3 land on the right (to the south)



Figure 5; easterly view over the Class 5 and 6 sloping land leading down to Penguin Road

4 Proposed development

The proposed development involves;

1. A subdivision of the property title 35699/1, with the excision of a 1 ha parcel of land, labelled as the Lot 1
 - a. This includes Class 5 and 6 land, see Figure 6 for an example of the land involved
2. A boundary adjustment of property title 103560/1, with the inclusion of a parcel of land, labelled as Lot 2a from property title 35699/1, to be adhered to property title 103560/1 and labelled as Lot 2
 - a. This includes Class 5 and 6 land, see Figure 7 for an example of the land involved
3. The balance of the property title 35699/1, labelled as Lot 3 (approximately 36 hectares) retained for agricultural production.

Please see Appendix-1 for the layout of the proposed development and associated subdivision and boundary adjustment.



Figure 6; northerly view over the proposed Lot 1 across the Class 5 land



Figure 7; easterly view over the proposed Lot 2a across Class 6 land leading down to Class 5 land

4.1 Agricultural activities conducted

The agricultural activities conducted on the property are consistent with that of the coastal margin area of the wider Penguin/Ulverstone district, that being mixed cropping for various vegetable crops, broad acre crops (cereals, poppies and pyrethrum) and pastoral use.

The property in question has 16 ha of land suitable for cropping and pastoral activities (Class 3 and 4 land), 13 ha of dedicated pastoral land (Class 5 land) and 8 ha of marginal pastoral land (Class 6 land).

The land associated with the subdivision and boundary adjustment of property 35699/1 is suitable only for very low intensity pastoral based land use activities, albeit due to the size of the land involved, low land capability (being Class 5 and 6) and therefore is only capable of providing negligible gross margin returns.

The property in question has minimal irrigation water resources, and relies on obtaining water from a shared dam (dam ID 3797, nominal capacity of 22 ML) on the far south boundary of the property. There is a limited amount of additional irrigation water available that could be accessed, with only approximately 5.5 ML of surety 6 available (WAT, May 2016) from the unnamed water course present along the southern boundary of the property.



Figure 8; easterly view from the western boundary of the property over the Class 3 cropping land with the property's water storage dam visible

4.2 Proposed subdivision

The proposed area of land associated with the excision of land from property title 35699/1, as Lot 1, is covered by Class 5 and 6 land, has minimal agricultural value, that being for low intensity grazing purposes and is considered unsuitable for any forms of cropping activities and/or perennial horticulture.

The proposed Lot 1, is topographically separate from the balance of the property, with the presence of the high steep ground to the west providing ample buffering against the agricultural land use activities carried out on the balance of the property, as Lot 3.

4.3 Proposed boundary adjustment

The proposed area of land associated with the boundary adjustment, as Lot 2a, is covered by is covered by Class 5 and 6 land, has minimal agricultural value, that being for low intensity grazing purposes and is not considered suitable for any forms of cropping activities and/or perennial horticulture.

The proposed Lot 1, is topographically separate from the balance of the property, with the presence of the high steep ground to the west providing ample buffering against the agricultural land use activities on the balance of the property, as Lot 3.

4.4 Impact on agricultural activities and residential amenity

The proposed areas associated with the subdivision and boundary adjustment are topographically separate from the balance of the property, with the presence of the high steep ground to the west providing ample buffering against the agricultural land use activities on the balance of the property, as Lot 3.

The risk area is located to the west where agricultural activities are closest (although the boundaries have been deliberately located to maximise the area of agricultural land on the balance lot).

After inspecting the site, I have concluded that the proposed buffer distances are sufficient to prevent unreasonable impact of agricultural activities on residential amenity and vice versa. To strengthen the protection of the dwelling from noise, dust and the possibility of spray drift, I propose that the existing vegetation cover on the western area of the proposed Lot1 and 2a be maintained.

The area actually lost to agriculture under this proposal is negligible and is present as 2 separate areas with a combined total area of approximately 1.5 ha, is covered by Class 5 and 6 land which represents particularly low value agricultural land only suitable for marginal pastoral land use activities.

4.5 Impact of agricultural activity on neighbouring land on proposed development

Agricultural activity is conducted on land surrounding the proposed development to the west. However, normal agricultural activities are not expected to have any unreasonable impact on the proposed development.

An assessment of the key risks are summarised below. This has been compiled on the basis that the neighbouring farm activities could possibly include irrigated and dryland crops as well as pasture for livestock grazing purposes.

Potential Risk from Neighbouring Agricultural Land/Activity	Extent of Risk & Possible Mitigation Strategy
1. Spray drift and dust	Risk = low. Existing trees and the proposed new vegetative barrier will mitigate the impact of sprays and dust if applied under normal recommended conditions. Aerial spraying is not practiced in the vicinity of the dwelling; ground or spot spraying is a practical and mostly used alternative. Spraying events should be communicated in a timely manner to the inhabitants of the dwelling.
2. Noise from machinery and irrigation pump operation, livestock and dogs.	Risk = low although some occasional machinery traffic will occur when working adjacent land and accessing the balance land.
3. Irrigation water over boundary	Risk = low-medium, however as the prevailing wind direction is westerly, this is not expected to be an issue. Irrigation systems are not normally operated in high winds due to excessive evaporative losses and uneven application rates on the ground.
4. Stock escaping and causing damage.	Risk = low provided that boundary fences are maintained in sound condition.
5. Electric fences	Risk = low. Mitigated by the proponent attaching appropriate warning signs on boundary fencing.

4.6 Impact of proposed development on agricultural activity on neighbouring land

These impacts are usually manifested as complaints that could be made by residents of the dwelling against issues identified in Section 4.5. These have been generally assessed as low risk.

Other risks to neighbouring agricultural activity are outlined in the following table. Some of these risks rely on an element of criminal intent and it could well be argued that this is very much lower with inhabitants of the dwelling than with other members of the public.

Potential Risk to Neighbouring Agricultural Activity	Extent of Risk & Possible Mitigation Strategy
1. Trespass	Risk = low. Mitigation measures include maintenance of sound boundary fencing, lockable gates and appropriate signage to warn inhabitants and visitors about entry onto private land; report unauthorised entry to police.
2. Theft	Risk = low. Ensure there is good quality boundary fencing on neighbouring properties and appropriate signage to deter inadvertent entry to property; limit vehicle movements, report thefts to police.
3. Damage to property	Risk = low. As for theft.
4. Weed infestation	Risk = low. Risks are expected to be negligible as the dwelling already has an established garden that seems to be well maintained. Some of the yard consists of hard stand material (gravel).
5. Fire outbreak	Risk = low. Fire risk can be mitigated by careful operation of outside barbeques and disposal of rubbish.
6. Dog menace to neighbouring livestock	Risk = low. Mitigated by ensuring that good communication is maintained between the proponent and residents of the

4.7 Impact of proposed development on amenity of dwellings on nearby land

The nearest dwelling to the subject dwelling is at least 60m away. The proposed development is not likely to impose any impact upon them.

These nearest residential dwellings are separated by Penguin Road, are topographically separated by sloping ground over a height difference of approximately 5-15m and all have well established gardens and trees that provide visual screening and privacy.

The Ladders Point area, opposite the proposed Lot 1 and 2, has a 5 residential dwellings present over a frontage of 200m on the northern side of Penguin Road.

4.8 Storm water disposal on excised house lot

The storm water generated on the excised Lot 1, as produced from hard surfaces and the roof surfaces off a residential dwelling and out buildings, would be disposed of by in-ground absorption which is a sufficient means to handle the quantity and flow rates of run-off generated.

It is not anticipated that the excision of the Lot 1 and/or Lot 2a will increase the amount of storm water generated, and as such it reasonable to suggested that all storm water will be able to be retained within the confines of this proposed lot.

5 Central Coast Interim Planning Scheme 2013

5.1 Purpose of the rural resource zone

Zone Purpose Statements	Response
<p>26.1.1.1 To provide for the sustainable use and development for resources for agriculture, aquaculture, forestry, mining and other primary industries including opportunities for resource processing.</p>	<p>The proposed development will enable the business to excise a surplus and unproductive asset whilst preserving the balance of the property and maintaining the agricultural productivity performance.</p> <p>The proposed development would not be expected to constrain and/or conflict with resource development uses due to the location, size and nature of the development relative to the balance of the property.</p>
<p>26.1.1.2 To provide for other use or development that does not constrain or conflict with resource development uses.</p>	

5.2 Local Area Objectives

Local Area Objectives	Response
<p>(a) The priority purpose for rural land is primary industry dependent upon access to a naturally occurring resource;</p>	<p>The proposed development would not be expected to constrain and/or conflict with resource development uses due to the location, size and nature of the development relative to the balance of the property, and will have a negligible impact on the area of land available for agricultural use on the balance of the property.</p>
<p>(b) Air, land and water resources are of importance for current and potential primary industry and other permitted use;</p>	<p>The proposed development can be achieved with no unreasonable impacts on the use and availability of air, land, water resources due to the development's size, nature and location, for current and potential primary industry and other permitted uses.</p>
<p>(c) Air, land and water resources are protected against -</p>	

Local Area Objectives	Response
<p>i. Permanent loss to a use or development that has no need or reason to locate on land containing such a resource, and</p>	<p>The proposed development will occur on a 1.5ha area of Class 5 and 6 agricultural land which is highly constrained and limited in its agricultural value, and this represents land limited to marginal pastoral use and realistically has minimal to nil agricultural value.</p>
<p>ii. Use or development that has the potential to exclude or unduly conflict, constrain or interfere with the practice of primary industry or any other use dependent on access to a naturally occurring resource;</p>	<p>The area of land associated with the proposed excised as Lot 1 and boundary adjustment as Lot 2a is topographically distinct and separate from the balance of the property in question, as Lot 3, and as such is not expected to exclude and/or create any undue of constraint or conflict with any agricultural land use activities conducted on Lot 3.</p>
<p>(d) Primary industry is a diverse, dynamic, and innovative; and may occur on a range of lot sizes and at different levels of intensity;</p>	<p>If the proposal is approved, the remaining farming area as Lot 3 will continue to be farmed as per its current range of agricultural land use activities. The land associated with the proposed Lot 1 and 2a is covered by Class 5 and 6 land which is highly constrained and restricted in its agricultural value and land use options are in reality limited to marginal pastoral use</p>
<p>(e) All agricultural land is a valuable resource to be protected for sustainable agricultural production;</p>	<p>The proposed development would maintain the balance of the property, as Lot 3, for agricultural land use activities as per its current land use options, management intensity and scale of operations.</p>
<p>(f) Rural land may be used and developed for economic, community, and utility activity that cannot reasonably be accommodated on land within a settlement or nature conservation area;</p>	<p>This is not applicable in this case.</p>
<p>(g) Rural land may be used and developed for tourism and recreation use dependent upon a rural location or undertaken in association with primary industry</p>	<p>This is not applicable in this case.</p>
<p>(h) Residential use and development on rural land is appropriate only if - i. Required by primary industry or a resource based activity; or</p>	<p>This is not applicable in this case.</p>
<p>ii. Without permanent loss of land significance for primary industry use and without constraint or interference to existing and potential use of land for primary industry purposes.</p>	<p>The proposed development will occur on a 1.5 ha area of Class 5 and 6 agricultural land which is highly constrained and limited in its agricultural value, and this represents land limited to marginal pastoral use and realistically has minimal to nil agricultural value.</p>

5.3 Desired Future Character Statements

Desired Future Character Statements	Response
<p>Use or development on rural land -</p> <p>(a) May create a dynamic, extensively cultivated, highly modified and relatively sparsely settled working landscape featuring -</p> <ul style="list-style-type: none"> i. Expansive areas for agriculture and forestry; ii. Mining and extraction sites; iii. Utility and transport sites and extended corridors; and iv. Service and support buildings and work areas of substantial size, utilitarian character and visual prominence that are sited and managed with priority for operational efficiency. 	<p>Whilst the proposal excision creates a residential use on Lot 1 and 2a, it ensures the balance of the property, as Lot 3, is maintained for agricultural land use activities as per its current land use options, management intensity and scale of operations.</p>
<p>(b) May be interspersed with -</p> <ul style="list-style-type: none"> i. Small scale settlement nodes; ii. Places of ecological and scientific, cultural, or aesthetic value; and iii. Pockets of remnant native vegetation. 	<p>The proposed development is consistent with the intent and scope of this statement, and would not contribute to a reduction in the ecological, scientific, cultural and/or aesthetic values, and would lead to a destruction of remnant native vegetation.</p>
<p>(c) Has a high level of likelihood to create disturbance to -</p> <ul style="list-style-type: none"> i. Physical terrain; ii. Natural biodiversity and ecological systems; iii. Scenic attributes; and iv. Expectation for bucolic residential and visitor amenity. 	<p>The property in question is currently used for irrigated and dryland crops and pastoral land use activities, and the proposed development would ensure this is continued as per its current land use options, management intensity and scale of operations.</p> <p>The proposed development will not create a disturbance to the physical terrain, remove/reduce natural biodiversity or ecological systems and/or negatively impact on the bucolic residential and visitor amenity.</p>
<p>(d) May involve sites of varying size -</p> <ul style="list-style-type: none"> i. In accordance with the type, scale and intensity of primary industry; and ii. To reduce loss and constraint on use of land important for sustainable commercial production based on naturally occurring resources; 	<p>The property in question is relatively small, although it does contain Class 3 and 4 land that is well suited to intensive cropping and pastoral land use activities (albeit constrained by available irrigation water resources), and based on this proposed development these activities would continue as per its current land use options, management intensity and scale of operations.</p> <p>The proposed development will occur on a 1.5 ha area of Class 5 and 6 agricultural land which is highly constrained and limited in its agricultural value, and this represents land limited to marginal</p>

Desired Future Character Statements	Response
	<p>pastoral use and realistically has minimal to nil agricultural value.</p>
<p>(e) Is significantly influenced by temporal nature, character, scale, frequency & intensity of external factors, including changes in technology, production techniques and in economic, management & marketing systems.</p>	<p>As stated in 5.3(d) i & ii, under the proposed development the agricultural land use activities would continue as per its current land use options, management intensity and scale of operations. The opportunity to alter, modify and improve the agricultural land use options on the balance of the property, as Lot 3 would not be restricted and/or limited under this development proposal.</p> <p>The land associated with the proposed Lot 1 and 2a is covered by class 5 and 6 land which is highly constrained and restricted in its agricultural value and land use options are in reality limited to low and marginal pastoral use, and offers very little potential for improvement in its agricultural productivity due to the topographic limitations and associated land capability restrictions.</p>

5.4 Clause 26.3.3

Clause 26.3.3 of the Scheme outlines the requirement for a residential use that is not required as part of another use.

It is noted that the proposal does not comply with the Acceptable Solutions, hence the concentration on the Performance Criteria here.

Objective	
<p>Residential use that is not required as part of another use –</p> <p>a) Does not result in the permanent loss of land for resource development or an extractive industry; and</p> <p>b) Does not interfere or constrain the existing or potential use of land for resource development or an extractive industry.</p> <p>Response</p> <p>The proposed boundary of the excised lot has been located to maximise the area of agricultural land on the balance lot. There will be a negligible loss of agricultural land.</p> <p>The proposed development does not unreasonably constrain the existing or potential use of the land for agricultural activities. To provide a higher level of protection, it is proposed that additional vegetation be planted along common boundaries between the new lot and the balance farm.</p>	
Performance Criteria	Response
<p>P1</p> <p>Residential use that is not required as part of other use must -</p> <p>(a) Be consistent with local area objectives;</p>	<p>The proposed development is consistent with the Local Area Objectives.</p>
<p>(b) Be consistent with any applicable desired future character statement;</p>	<p>The proposed development is consistent with the desired future character of the zone.</p>
<p>(c) Be on a site that -</p> <p>i. Has been assessed by a land capability assessment to have no potential for primary industry use;</p>	<p>As the subject lot is within a rural resource zone, it has been assessed for land capability and has been found to be composed of Class 5 and 6 land. Lot 1 and 2a is covered by land that is impractical for use as agricultural land beyond its use for marginal pastoral use, and realistically has minimal to nil agricultural value.</p>
<p>ii. Is unduly restricted in potential for primary industry by its size and shape and is not capable of inclusion with any rural resource land regardless of ownership, for resource development or extractive industry use; or</p>	<p>See point (C) above.</p> <p>The opportunity to retain Lot 1 and 2a as per the current property title does not improve and/or increase its agricultural value and/or productivity potential due to the size of land involved, topographic limitations and other associated land capability restrictions.</p>

<p>ii. Is unduly restricted in potential for primary industry by its size and shape and is not capable of inclusion with any rural resource land regardless of ownership, for resource development or extractive industry use; or</p>	
<p>iii. Cannot be redeemed or returned to primary industry use by reason of an existing use or development or by proximity to an adjoining non-rural resource use; and</p>	<p>This is not applicable in this case.</p>
<p>iv. Is not land with a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i> or land that may benefit for the application of broad-scale irrigation development;</p>	<p>In this case, the subject land is not located within a proclaimed Irrigation Scheme.</p>
<p>v. Does not constrain or interfere with existing or potential resource development or extractive industry use of land; and</p>	<p>The proposed development will have minimal or no unreasonable impact on the agricultural activities on the neighbouring farmland.</p>
<p>(d) Not be likely to impose an immediate of contribute to a cumulative requirement for public provision or improvement in reticulated or alternative arrangements for utilities, road access, or community services.</p>	<p>This is not applicable in this case.</p>

5.5 Clause 26.4.4

Clause 26.4.4 of the Scheme outlines the requirement for a subdivision.

It is noted that there is no Acceptable Solution, hence the concentration on the Performance Criteria here.

Objective	
<p>The division and consolidation of estates and interests in rural resource land is to create lots that are consistent with the purpose of the Rural Resource zone.</p> <p>It is noted that the purpose of the Rural Resource zone is to:</p> <ol style="list-style-type: none"> 1. To provide for the sustainable use and development for resources for agriculture, aquaculture, forestry, mining and other primary industries, including opportunities for resource processing. 2. To provide for other use or development that does not constrain or conflict with resource development uses. <p>Response</p> <p>The purpose of the proposed development is to remove a source of over-capitalisation of the farming business, to improve its financial performance and to maximise prospects for longer term sustainability. The proposal creates a residential use within the rural resource zone which is a discretionary use according to the Scheme.</p>	
Performance Criteria	Response
P1	
(a) A plan of subdivision to reconfigure land must -	
I. Be required to restructure, resize or reconfigure land for primary industry use; and primary industry use; and	The proposed development is consistent with this clause.
II. Not create a new lot.	The proposal is non-compliant with this clause.
(b) A plan of subdivision to create a lot required for public use by the State government, a Council, a statutory authority or a corporation all the shares of which are held by or on behalf of the state, a Council or by a statutory authority must retain the balance area for primary industry use;	This is not applicable in this case.
(c) A plan of subdivision to create a new lot must -	
I. Be required for a purpose permissible in the zone;	The proposal is compliant with this clause.
II. Be of a size and configuration that is not more than is required to accommodate the nominated use in accordance with the applicable standards of this planning scheme for such use;	The proposal is compliant with this clause.
III. Retain the balance area for primary industry use;	The proposal is compliant with this clause.
IV. Minimise unnecessary and permanent loss of rural resource land for existing and potential primary industry use;	The proposal is compliant with this clause.

V.	Minimise constraint or interference to existing and potential primary industry use on the site and of adjacent land in the zone; and	The proposal is compliant with this clause.
VI.	Minimise unnecessary and permanent loss of land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i> or land that may benefit for the application of broad scale irrigation development; or	In this case, the subject land is not located within a proclaimed Irrigation Scheme. The land associated with the proposed subdivision and boundary adjustment is too small in size to be commercially farmed in its own right and would not benefit from broad scale irrigation development.
(d)	A plan of subdivision to reduce the area of an existing lot on a sealed plan containing a lawful use, including a residential use, must -	
I.	Not be land containing a residential use approved by a permit granted under the <i>Land Use Planning and Approvals Act 1993</i> as a required part of a permitted use;	I am informed that is not applicable in this case.
II.	Incorporate the excised area into an existing primary industry lot by amalgamation in a manner acceptable to the Recorder of Titles;	I am informed that is not applicable in this case.
III.	Minimise likelihood for the existing use on the reduced area to further constrain or interfere with use of the balance area or adjacent land for an existing or potential primary industry use; and	The proposed development with have no unreasonable impact on the agricultural activities on the balance farmland.
IV.	Retain the lot with a size and shape that -	
a)	Can accommodate the lawful and existing use or development in accordance with the applicable standards for that use; and	I have been informed that the excised lot is capable of containing all water runoff and effluent within its boundaries.
b)	Does not further increase any non-compliance for use or development on the existing lot.	The proposal is compliant with this clause.

6 Hazard issues

The northern area of the property in question has a number of identified land slip issues, see Figure 9.

The land associated with the proposed Lot 1 has an area of medium land slip hazard rating land on the far western area, with an area of low hazard rating land covering much of

The land associated with the proposed Lot 2a has an area of medium land slip hazard on the western and middle area, with an area of low land slip hazard to the east.



Figure 9; low land slip hazard (yellow colour), medium land slip hazard (brown colour), medium to active land slip hazard (purple colour) (the LIST)

Clause E6.2.1 – landslide if shown on the map marked Landslide Hazard Map. A permit is required if this Clause applies.

Some development is exempt from this code, including;

- Clause E6.4.4(d) – a habitable building on land within an area shown on a natural hazard map forming part of this planning scheme to have a low level of risk for that hazard.

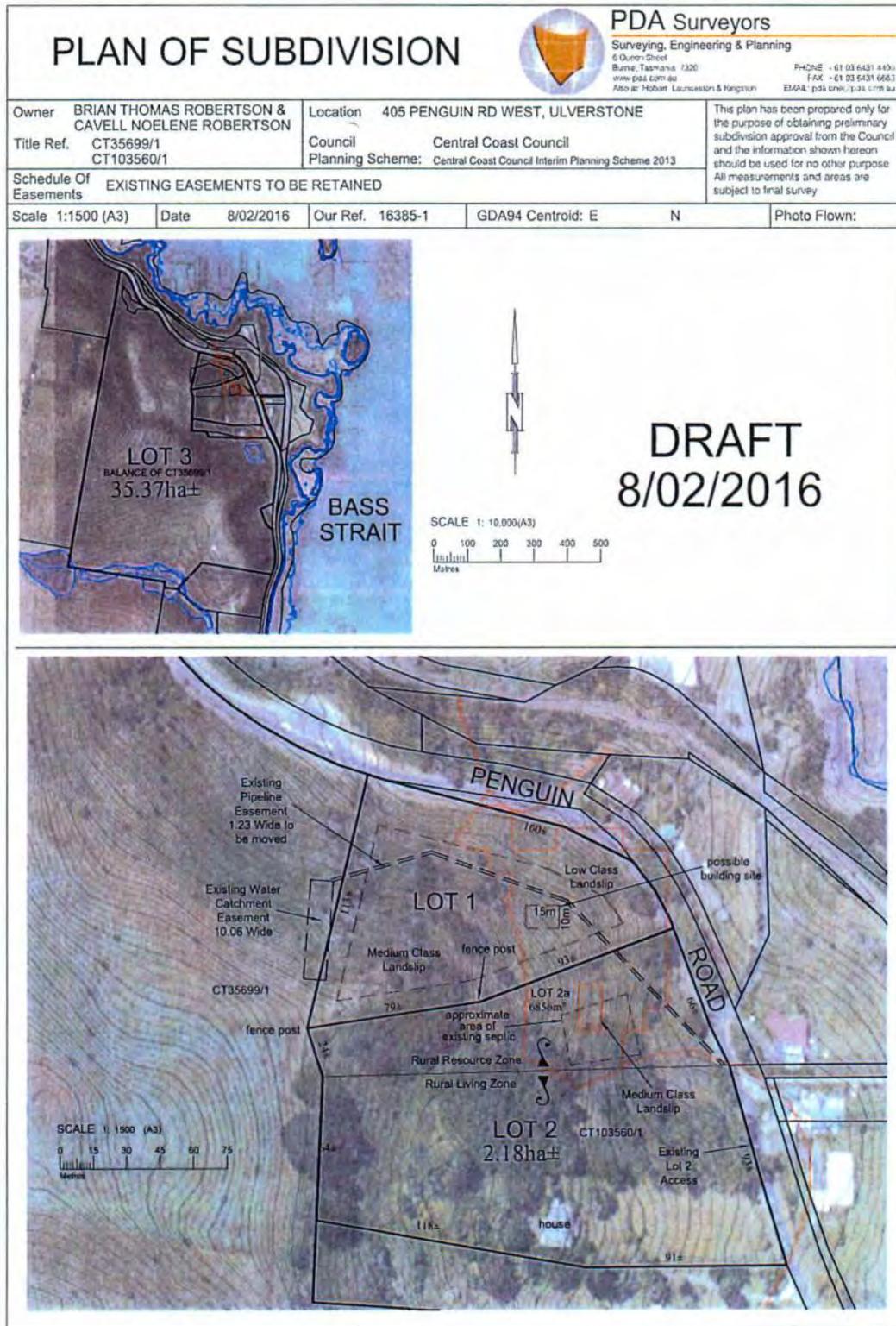
As shown in Appendix-1, the proposed Lot 1 contains only a low landslip risk hazard rating in the areas considered where a residential dwelling may be developed.

7 Conclusions

1. The overall objective of the proposal is to;
 - a. A subdivision of the property title 35699/1, with the excision of a 1 ha parcel of land, labelled as the Lot 1
 - b. A boundary adjustment of property title 103560/1, with the inclusion of a parcel of land, labelled as Lot 2a from property title 35699/1, to be adhered to property title 103560/1 and labelled as Lot 2
 - c. The balance of the property title 35699/1, labelled as Lot 3 (approximately 36 hectares) retained for agricultural production.
2. The proposal is designed to maximise the area of balance land that will continue to be used for agricultural activities. There will be a negligible loss of agricultural land.
3. The excision would potentially create a residential use in a rural resource zone. However the configuration of the excised lot and the proposed buffers will alleviate any unreasonable interference of neighbouring farming activities and vice versa.
4. The proposal is consistent with the purpose, the local area objectives and the desired future character statements of the rural resource zone.
5. The proposal complies with the performance criteria of Clause 26.3.3 of the Central Coast Interim Planning Scheme 2013.
6. The proposal also complies with the performance criteria of Clause 26.4.4.



8 Appendix-1 Proposed Development layout



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geotechnics

**LANDSLIDE RISK ASSESSMENT
405 PENGUIN ROAD, WEST ULVERSTONE**

Prepared for: **PDA Surveyors**

Date: 1 February 2017

Document Reference: TG16179/1 - 03report

CENTRAL COAST COUNCIL
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Important information about your report

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- Figure 1 MRT Geology Mapping
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- Figure 4 Site Layout and Test Pit Locations

Appendices

- Appendix A Engineering Test Pit Logs
- Appendix B Landslide Risk Matrix
- Appendix C Guidelines to Hillside Construction

Version	Date	Prepared by	Reviewed by	Distribution
Original	1 February 2017	Dr Alan Chester	Dr Wayne Griffioen	Electronic

1 INTRODUCTION

Tasman Geotechnics was commissioned by PDA Surveyors to carry out a Landslide Risk Assessment for a proposed development at 405 Penguin Road, West Ulverstone (title reference 35699/1 and 103560/1).

The development involves the subdivision of allotment 35699/1, adjustment to boundaries of allotment 10356/1 and proposed construction of a new house on the subdivided allotment. A new driveway and access to Penguin Road will be part of the development.

The assessment is required as part of the Planning Application process as the development is mapped within a "Low" hazard band on the Landslide Planning Map V2 – Hazard Bands overlay on The LIST.

Our scope of work consisted of:

- Carrying out a site walkover to note geomorphological features associated with landslide activity;
- Excavating of three test pits (TP1, TP2 and TP3) to determine subsurface conditions;
- Performing a Landslide Risk Assessment.

The assessment is consistent with the Landslide Risk Assessment guidelines published by the Australian Geomechanics Society (2007) and addresses the requirements of Code E6 of the Central Coast Planning Scheme.

This is a revised report, as a review by Mineral Resources Tasmania identified shortcomings in the original report (TG16179/1 – 02report, dated 10 November 2016).

2 BACKGROUND INFORMATION

2.1 Regional Setting

The site is near the base of the coastal escarpment above the rocky coastline of Ladders Point. A lookout to the Three Sisters is located near the western boundary of the site.

Slopes on the escarpment can be up to 25° with flatter slopes (less than 12°) near the base. Landslides are known to occur in the Tertiary basalt clays of the escarpment.

2.2 Geology

The Mineral Resources Tasmania (MRT) 1:25,000 Series Digital Geological map, Ulverstone Sheet, shows the site to be mapped on a Cambrian aged allochthonous sequence of tholeiitic basalt lava. To the east of the site and stratigraphically underlying the Cambrian lava sequence lies pale to dark grey, faintly bedded to massive or brecciated chert. Overlying the Cambrian sequences is Tertiary aged basalt and this is evident as red/brown soil occurring on the hill above the site. A Quaternary aged landslide deposit predominantly derived from Tertiary aged rocks occurs in the southwest corner of the site.

An extract of the MRT geology map is presented on Figure 1.

2.3 Landslide Mapping

For the Tertiary basalt soils of North-West coast of Tasmania, MRT have identified two scales of landslides:

- Deep-seated rotational landslides; and
- Shallow slides or debris flows.

Landslide susceptibility maps for both scales of landsliding have been developed by MRT. Extracts of the landslide maps are presented in Figure 2.

Susceptibility zones for first time deep-seated failures were developed by MRT by statistical analysis of slope geometry and geological material of known landslides, and are mapped as possible source, regression and runout areas associated with potential landslide movement. For the Tertiary basalt deposits, threshold values of source, regression and runout areas are 14°, 20° and 16° respectively. The older geological units were not modeled and the proposed house site is located over this older unit. No evidence of landslide activity has been mapped on this older unit.

For shallow slides and debris flows, the susceptibility for source area is based on slope angle:

- High: greater than 20°
- Moderate: between 10° and 20°
- Low: between 6° and 10°
- Very Low: less than 6°

Extracts of the MRT Slide Susceptibility maps are presented on Figure 2. The Deep-seated Landslide Susceptibility Map shows that in the steep slopes in the south-west corner of the proposed new allotment are possible source areas. This includes the Quaternary aged landslide deposits. Runout zones are mapped from the base of the steep slopes to Penguin Road.

A very large possible landslide, about 350m wide, is mapped from the site to the west. The crest of the landslide is at the basalt plateau, while the toe is near Penguin Road. The possible landslide is masked by several landslides of unknown activity. These landslides are about 100m to 150m wide, and extend uphill about 150m to 200m. Two of the landslides are mapped along the southern and western boundaries of the site. The direction of movement interpreted for the landslides is shown in Figure 2.

Several springs are shown on the Deep-seated Landslide Susceptibility Map. The springs appear to be located near the head scarps of the landslides, and are interpreted to be caused by permeable layers (aquifers) in the Tertiary basalt.

The MRT Shallow Slide and Debris Flow Susceptibility map shows that the steep slopes in the south-west corner of the proposed allotment are mapped as 'high susceptibility', while the flatter parts of the site are "moderate" or "low" susceptibility. The proposed house site is located on "moderate" susceptibility.

2.4 Geomorphology Mapping

An extract of the MRT Ulverstone Geomorphology Map is shown in Figure 3. The proposed house site is located on an abandoned coastal cliff. Areas below the cliff are mapped as alluvial fans and marine terraces. The western part of the site is mapped as an erosional scarp associated with a landslide toe of the very large possible landslide.

2.5 Proposed Development

It is proposed to subdivide off a portion of the current title 35699/1 for a housing allotment. A driveway is to be constructed to allow access from Penguin Road to the house site.

The proposed site for the new dwelling and also the proposed location of the driveway were indicated on site by the owner and shown in Figure 4. No details of the proposed house construction (such as footprint, need for excavation and materials) were provided prior to the preparation of this report.

3 FIELD INVESTIGATION

The fieldwork was carried out by an Engineering Geologist from Tasman Geotechnics on 4 October 2016. The fieldwork involved a site walkover to determine geomorphological features that may be of interest to the investigation, as well as excavation of three test pits (TP1 to PT3).

Slope measurements were taken using a hand held inclinometer.

The test pits were excavated using a small excavator:

- TP1 near the proposed house site
- TP2 at the base of the steep slope
- TP3 in the wet area near the driveway entrance

Disturbed samples were taken from the test pits for possible laboratory testing. Three soil samples were tested by Tasman Geotechnics for Atterberg Limits. The results are presented in Section 4.3.

The test pit logs are presented in Appendix A and the test pit locations are shown on Figure 3.

4 RESULTS

4.1 Surface Conditions

The proposed new lot is located near the base of the coastal escarpment. The escarpment was measured to have slopes of about 20° to the north east, while the proposed house location is on flatter ground (slope around 12°).

The surface was covered with grass and some scattered hawthorn bushes. Some scattered trees were growing on the steeper slopes above the proposed house site.

Rock outcrop of the Cambrian aged basalt lava occurred in places across the site. The cliff exposure on site is approximately 2m high and the top of the cliff is relatively flat.

The area to the west appears to be a large bowl shaped depression with a midslope bench. The bench has been subject to agricultural use. A creek flows down from the escarpment below the midslope bench and appears to be dammed to some degree by the road embankment, creating a water logged area. The proposed driveway crosses this water logged area.

The existing house to the south appears to be located on a midslope bench of another landslide. The landslide scarp is located about 200m uphill from Penguin Road, and is densely vegetated with large trees. The midslope scarp and toe below the house are covered with grass.

The proposed house is to be located on the crest of the ridge running to the north east. The ridge appears to divide the two areas with landslide features, one which appears to have been directed to the northwest and another to the east. The lower slopes towards Penguin Road were wet on the surface.

4.2 Subsurface Conditions

The sub-surface conditions varied significantly across the site.

At the house site, test pits TP1 and TP2 encountered a surface layer of topsoil consisting of brown silt with organic matter to a depth of 0.2m. This material was very wet at the time of the investigation.

Underlying the silt was hard, high plasticity silty clay with some fine to medium grained gravel. The gravel/cobble content of the silty clay increased with depth in TP1 and at about 0.8m depth could be termed broken rock. TP1 was terminated at 1.5m in broken Cambrian aged basalt rock. The broken rock represented the weathered surface layer as nearby outcrop exposures were of competent rock.

Water was noted seeping into TP1 and TP2 at the base of the top soil. The field work was conducted after a prolonged period of above average rainfall. Therefore, it is likely that seepage is due to winter rain and not indicative of the actual groundwater table. The wet zones below the house site are probably due to water running over a rock surface at shallow depth.

Test pit TP3 was located near a water logged-zone along the driveway. The sub-surface profile at this location consisted of 0.2m of dark brown silty topsoil overlying high plasticity, very stiff, yellow/grey silty clay, becoming yellow/brown from 0.7m depth.

4.3 Laboratory Results

Three soil samples were testing by Tasman Geotechnics for Atterberg Limits. Table 1 summarises the laboratory test results.

Table 1. Laboratory test results

Test Pit	Depth (m)	Liquid Limit	Plastic Limit	Plasticity Index	Linear Shrinkage
TP2	0.7-1.0	62	32	30	13
TP3	0.3	90	34	56	18
TP3	1.0	79	37	42	19

Thus, the soils encountered in the test pits are high plasticity (Liquid Limit > 50%) and described as clays.

5 LANDSLIDE RISK ASSESSMENT

5.1 General

Risk assessment and management principles applied to slopes can be interpreted as answering the following questions;

- What might happen? (HAZARD IDENTIFICATION).
- How likely is it? (LIKELIHOOD).
- What damage or injury might result? (CONSEQUENCE).
- How important is it? (RISK EVALUATION).
- What can be done about it? (RISK TREATMENT).

The risk is a combination of the likelihood and the consequences for the hazard in question. Thus both likelihood and consequences are taken into account when evaluating a risk and deciding whether treatment is required.

The qualitative likelihood, consequence and risk terms used in this report for risk to property are given in Appendix B and are based on the Landslide Risk Management Guidelines, published by Australian Geomechanics Society (AGS, 2007). The risk terms are defined by a matrix that brings together different combinations of likelihood and consequence. Risk matrices help to communicate the results of risk assessment, rank risks, set priorities and develop transparent approaches to decision making.

5.2 Potential Hazards

Based on the site observations, borehole data and available information discussed in the sections above, we conclude that the ridge is underlain by Cambrian aged basalt rock which has not been subject to landslide movement.

Therefore, the following landslide hazards are identified for the site:

Reactivation of existing (regional) landslide. Based on the MRT mapping, the proposed development is located adjacent to two large landslides of unknown activity. The failure mechanism of these slides is unknown. Re-activation of these landslides could occur due to elevated groundwater levels at a regional scale (eg impeded groundwater drainage or increased surface infiltration) possibly combined with extensive excavation/erosion at the toe to disturb the existing equilibrium.

The proposed house location is on a ridge which appears to have withstood the previous landslide. Large landslides are mapped on either side of the ridge. If these landslides

were to be reactivated, they would follow the slopes to the northwest and east rather than onto the site of the proposed house.

The likelihood for reactivation of the existing landslide under current climatic conditions is assessed to be Rare.

Medium scale translational landslide close to house site (up to about 3m deep). Such landslides can occur where slopes are locally steep, or have been steepened by earthworks (cut or fill) and would involve up to 1,000 m³ of soil. Medium scale landslides may also occur due to localized soil erosion (eg from poor control of surface runoff) and locally elevated groundwater levels (eg, seepage water collected in fill embankment).

The Cambrian basalt underlying the proposed house site does not have a substantial layer of clay overlying it as does the Tertiary basalt. In the case of the Tertiary basalt it is the thick clay layer which is prone to slippage. Without a substantial clay layer there is little potential for land slide activity over the Cambrian basalt.

There is presently no evidence of soil erosion or high groundwater levels at the site. Therefore, by minimising the depth and extent of excavations on the property, the likelihood of a medium scale slide under current climatic conditions at the proposed house site, is assessed to be Unlikely. A medium scale landslide on the steep slopes above the proposed house site is assessed to be Possible.

Small to medium scale translational landslide across driveway (up to about 3m deep). The driveway crosses a section mapped as medium to active risk for landslides and this zone corresponds to the path of a creek draining the slopes above. The soil in this zone is saturated with water and the plants growing in this zone indicate a permanently wet site. The likelihood of small to medium scale landslides in this zone is Almost Certain.

The identification of the potential hazards considers both the site and nearby properties, and is necessary to address stability issues that may negatively impact upon the site and influence the risk to property.

5.3 Risk to Property

The following table summarizes the risk to property of the landslide events in relation to the proposed development as described in Section 2.5, assuming limitations in Section 6 are incorporated.

Table 2. Landslide risk profiles

Scenario	Likelihood	Consequence	Risk Profile
Reactivation of existing regional landslide	Rare: unless major change in climate occurs	Minor: proposed house location is outside of mapped landslide footprints	Very Low
Medium scale landslide close to house	Unlikely: if depth and extent of excavation are controlled	Medium: may cause limited damage to part of structure or require reinstatement or stabilization works	Low
Medium scale landslide on steep slopes above proposed house site	Possible	Insignificant: debris from landslide might reach proposed house	Very Low
Small to medium scale translational landslide across driveway	Almost certain: due to very wet and steep conditions	Insignificant: limited damage to driveway, requiring some reinstatement or stabilization works	Low

The assessment shows that the proposed development presents a Low to Very Low level of risk, provided the limitations listed in Section 6 are incorporated in the design.

6 DISCUSSION & RECOMMENDATIONS

6.1 Limitations on Development

In order to ensure the proposed development does not change the risk profile above Low for the site and proposed house location, it is recommended that the following limitations be enforced:

- Footings for the proposed dwelling should be designed as per AS2870 as discussed in Section 6.2. The house should be of lightweight construction, articulated and flexible.
- The proposed house location is shown in Figure 4.
- Permanent cut slopes (i.e. along the driveway) should be designed at 26° (1V:2H) or flatter, and be no more than 1m deep. Excavations for the house and landscaping purposes should be no more than 1m deep.
- Shallow cut-off drains (less than 0.4m deep) should be excavated above the proposed house location to divert shallow seepage from winter rain away from the house.
- Stormwater from roofs may be collected in tanks for irrigation purposes. Overflow from the tanks and runoff from roofs or paved areas should be diverted to existing drainage lines, or distributed along the contour on the slope below the house.
- The steep slope above the proposed house should be kept vegetated to prevent erosion of the embankment and to maintain the stability. As a minimum, vegetation should comprise grass. If trees are planted on the slope, then the site should be managed such that when the trees reach maturity and are removed, they are replaced with new (young) trees.
- Maintenance of surface runoff, vegetation, retaining structures and other measures described above are the responsibility of the site owner.
- Disposal of wastewater may be to trenches located downslope of the proposed house location. Further discussion is given in Section 6.4.
- Improved drainage of the wet zone to prevent a buildup of water next to the road embankment will improve stability of this zone. Additional considerations are given in Section 6.5.
- Passing bays may be required along driveway as part of bushfire plan for site. There should be adequate room to incorporate passing bays without requiring cuts more than 0.4m deep.
- Good hillside construction practices should be followed. A copy of Some Guidelines for Hillside Construction are presented in Appendix C.

6.2 Site Classification

After allowing due consideration of the site geology, drainage and soil conditions, the soil classification is as follows:

CLASS M (AS2870 - 2011)

Characteristic surface movement, $y_s = 35\text{mm}$

Foundation designs in accordance with this classification are subject to the conditions of Section 6.3.

This Classification is applicable only for ground conditions encountered at the time of this investigation. If cut or fill earthworks in excess of 0.4m are carried out, then the Site Classification will need to be re-assessed, and possibly changed.

6.3 Footings

An allowable bearing pressure of 100 kPa is available for edge beams, strip and pad footings founded on the natural soil (clay) encountered from 0.2m in TP1.

Alternatively, the house may be supported on bored piers, founded on the broken rock encountered at about 0.8m below ground level in TP1. Bored piers founded on broken rock (Cambrian basalt) may be proportioned for an allowable bearing capacity of 400kPa. The base of bored piers should be inspected to ensure they are dry, clean and free of loose soil prior to pouring concrete.

The site classification presented in Section 6.2 assumes that the current natural drainage and infiltration conditions at the site will not be markedly affected by the proposed site development work. Care should therefore be taken to ensure that surface water is not permitted to collect adjacent to the structure and that significant changes to seasonal soil moisture equilibria do not develop as a result of service trench construction or tree root action.

Attention is drawn to Appendix B of AS 2870 and CSIRO Building Technical File BTF18 "Foundation Maintenance and Footing Performance: A Homeowner's Guide" as a guide to maintenance requirement for the proposed structure.

Variations in soil conditions may occur in areas of the site not specifically covered by the field investigation. The base of all footing or beam excavations should therefore be inspected to ensure that the founding medium meets the requirements discussed above.

6.4 Onsite Wastewater Disposal

The site is considered suitable for onsite disposal of wastewater. Design of such a system should be in accordance with AS1547:2012.

A suitable area for wastewater disposal is located down slope of the house location as shown on Figure 4. In this area it is possible to dispose the wastewater via typical trenches.

Alternative means of on-site wastewater disposal that may be considered include: Wisconsin mound or drip irrigation from a package treatment plant (or aerated wastewater treatment system, AWTS).

A site-specific investigation for onsite wastewater disposal should be carried out once the house size (number of bedrooms) and location are known.

6.5 Driveway Construction

We understand the driveway entrance is to be located in the north-west corner of the proposed allotment. The location of the proposed access to Penguin Road necessitates the driveway crossing a landslide. Ideally it would be better to find an alternative access site to Penguin Road.

If the road access was moved 60m east along Penguin Road the necessity for crossing the landslide zone could be avoided.

Our site observations indicate flow from the creek banks up against the road embankment. The water logging of the soils at the base of the slope increases the likelihood of landslide. We recommend that if the new driveway is to be constructed to the current expected position it should be constructed using box or pipe culverts, so that the driveway does not hinder the creek flow.

An alternative is to place a layer of large rocks (nominally 300mm diam boulders x 600mm thick layer) at the base of the driveway embankment, and build up with finer material (road base). The rock layer should be wrapped in geofabric to prevent fines migrating into the voids.



TASMAN

g e o t e c h n i c s

Important information about your report

These notes are provided to help you understand the limitations of your report.

Project Scope

Your report has been developed on the basis of your unique project specific requirements as understood by Tasman Geotechnics at the time, and applies only to the site investigated. Tasman Geotechnics should be consulted if there are subsequent changes to the proposed project, to assess how the changes impact on the report's recommendations.

Subsurface Conditions

Subsurface conditions are created by natural processes and the activity of man.

A site assessment identifies subsurface conditions at discreet locations. Actual conditions at other locations may differ from those inferred to exist, because no professional, no matter how qualified, can reveal what is hidden by earth, rock and time.

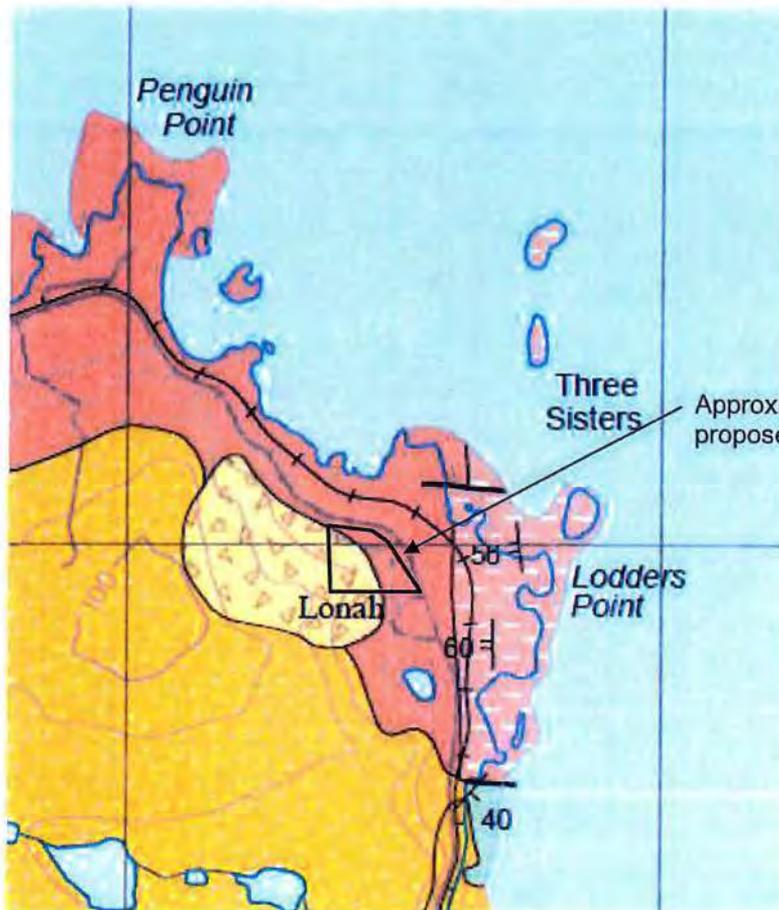
Nothing can be done to change the conditions that exist, but steps can be taken to reduce the impact of unexpected conditions. For this reason, the services of Tasman Geotechnics should be retained throughout the project, to identify variable conditions, conduct additional investigation or tests if required and recommend solutions to problems encountered on site.

Advice and Recommendations

Your report contains advice or recommendations which are based on observations, measurements, calculations and professional interpretation, all of which have a level of uncertainty attached.

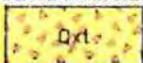
The recommendations are based on the assumption that subsurface conditions encountered at the discreet locations are indicative of an area. This can not be substantiated until implementation of the project has commenced. Tasman Geotechnics is familiar with the background information and should be consulted to assess whether or not the report's recommendations are valid, or whether changes should be considered.

The report as a whole presents the findings of the site assessment, and the report should not be copied in part or altered in any way.



Approximate boundaries of proposed allotment

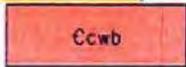
GEOLOGICAL LEGEND



Landslide deposits predominantly derived from weathered Paleogene - Neogene rocks (Qxt).



Predominantly deeply-weathered basalt (Tbw).



Pillowed to massive fine-to medium-grained augite bearing tholeiitic basalt with intercalated volcanoclastic sandstone and conglomerate, mudstone and chert bearing breccia (Motton Spillite) (Ccwb).

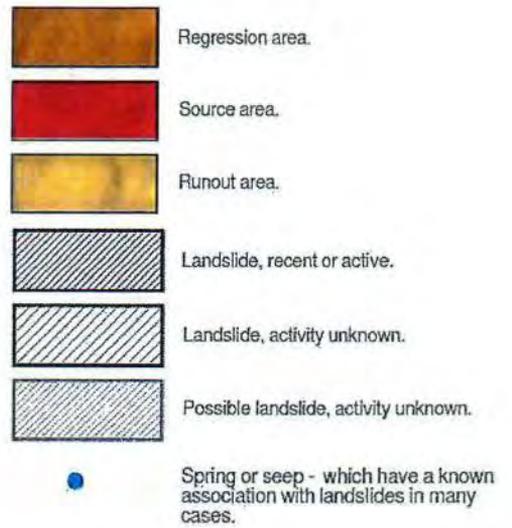
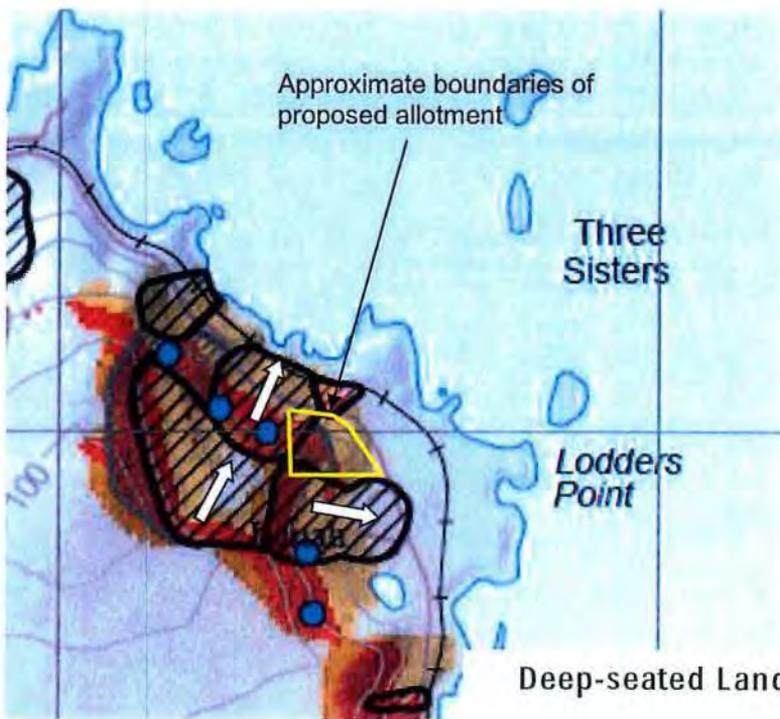


Pale to dark grey or black, distinctly bedded and plane laminated to massive or brecciated chert, with minor red and grey siliceous hematitic mudstone and siltstone (Barrington Chert) (Ccwc).

drawn	AC
approved	WG
date	12/10/2016
scale	NTS
original size	A4

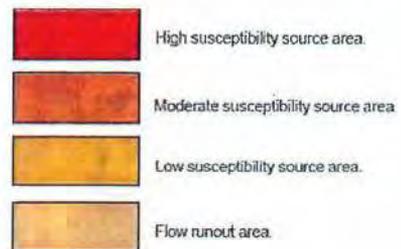
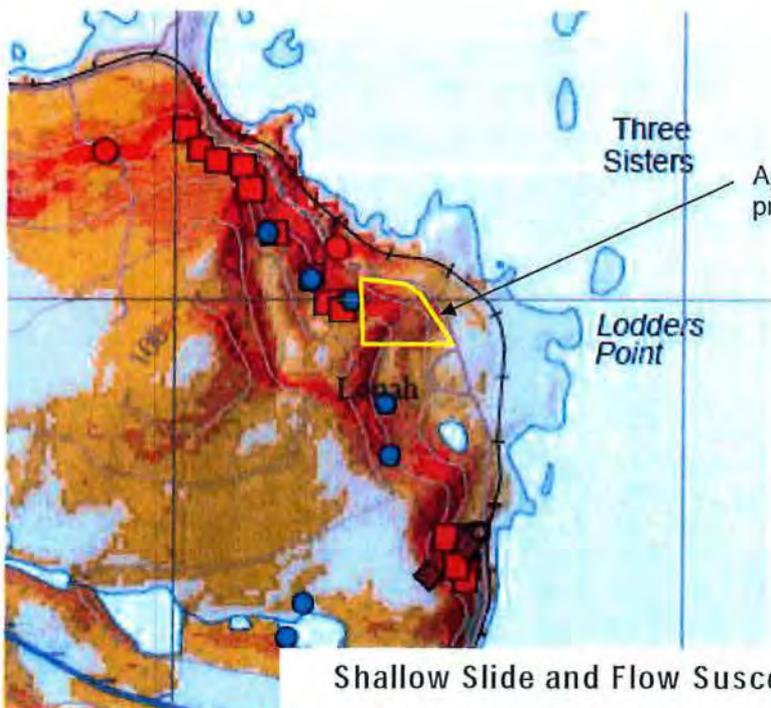


client:	PDA Surveyors	
project:	Landslide Risk Assessment, 405 Penguin Road, West Ulverstone	
title:	MRT Geological Mapping	
project no:	TG16179/1 - 03report	figure no: FIGURE 1



White arrows show interpreted direction of landslide movement

Deep-seated Landslide Susceptibility Map

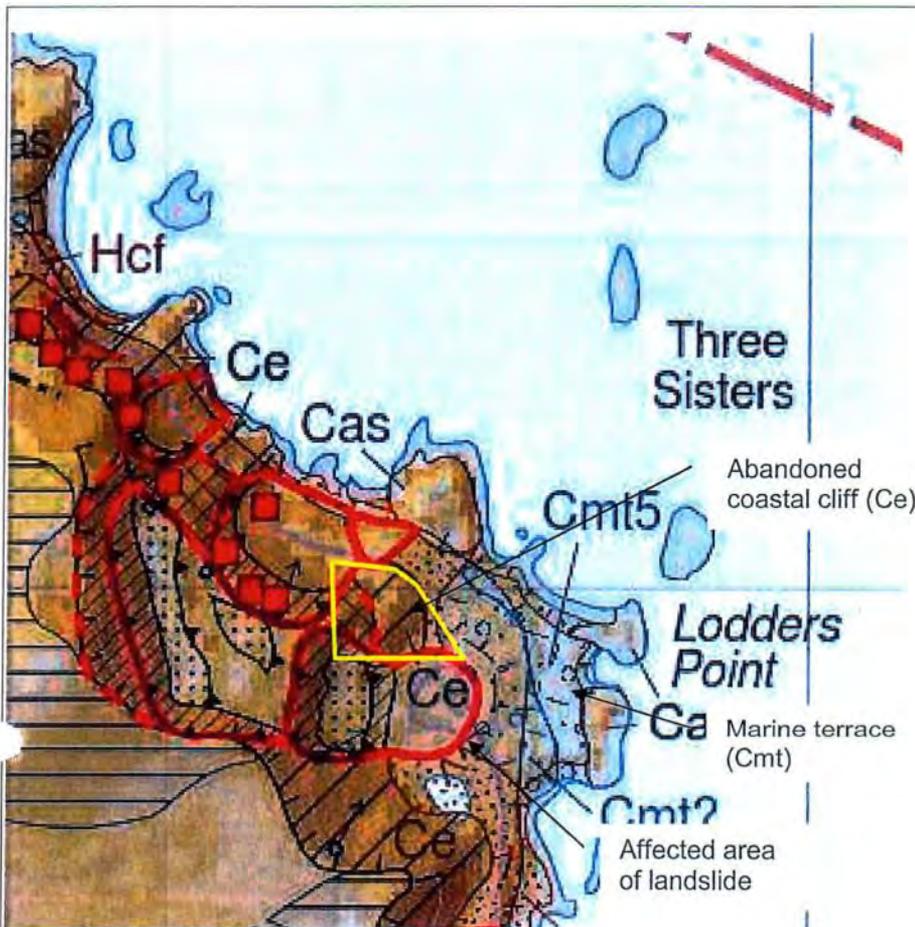


Shallow Slide and Flow Susceptibility Map

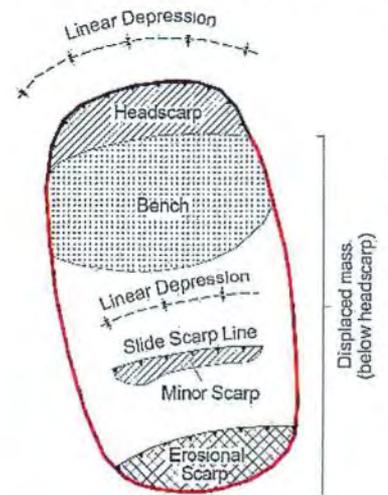
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approved	WG
date	12/10/2016
scale	NTS
original size	A4



client:	PDA Surveyors	
project:	Landslide Risk Assessment, 405 Penguin Road, West Ulverstone	
title:	MRT Landslide Maps	
project no:	TG16179/1 - 03report	figure no: FIGURE 2

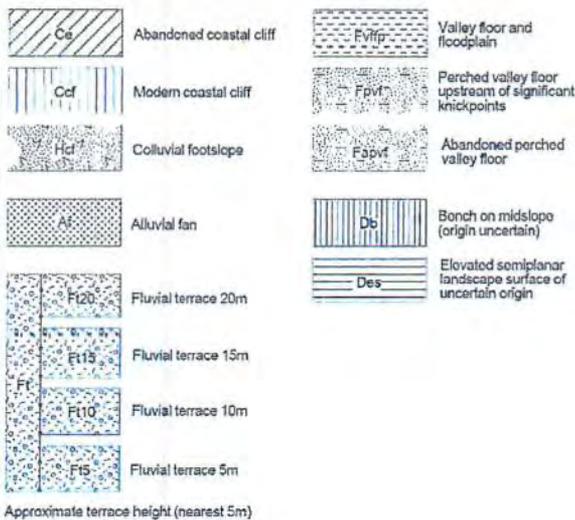


Landslide Components

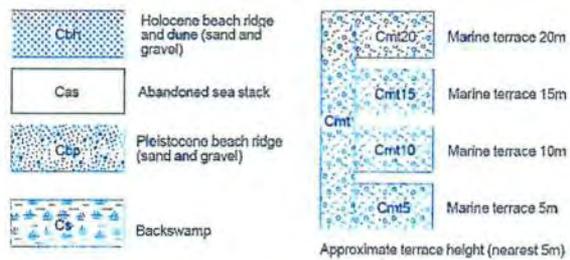


- Affected area of Landslide.
- - - - - Affected area of Possible Landslide.
- Landslide shown as a point where too small for map's scale (eg. small earth and debris flows).

Hill Country Units



Coastal Units

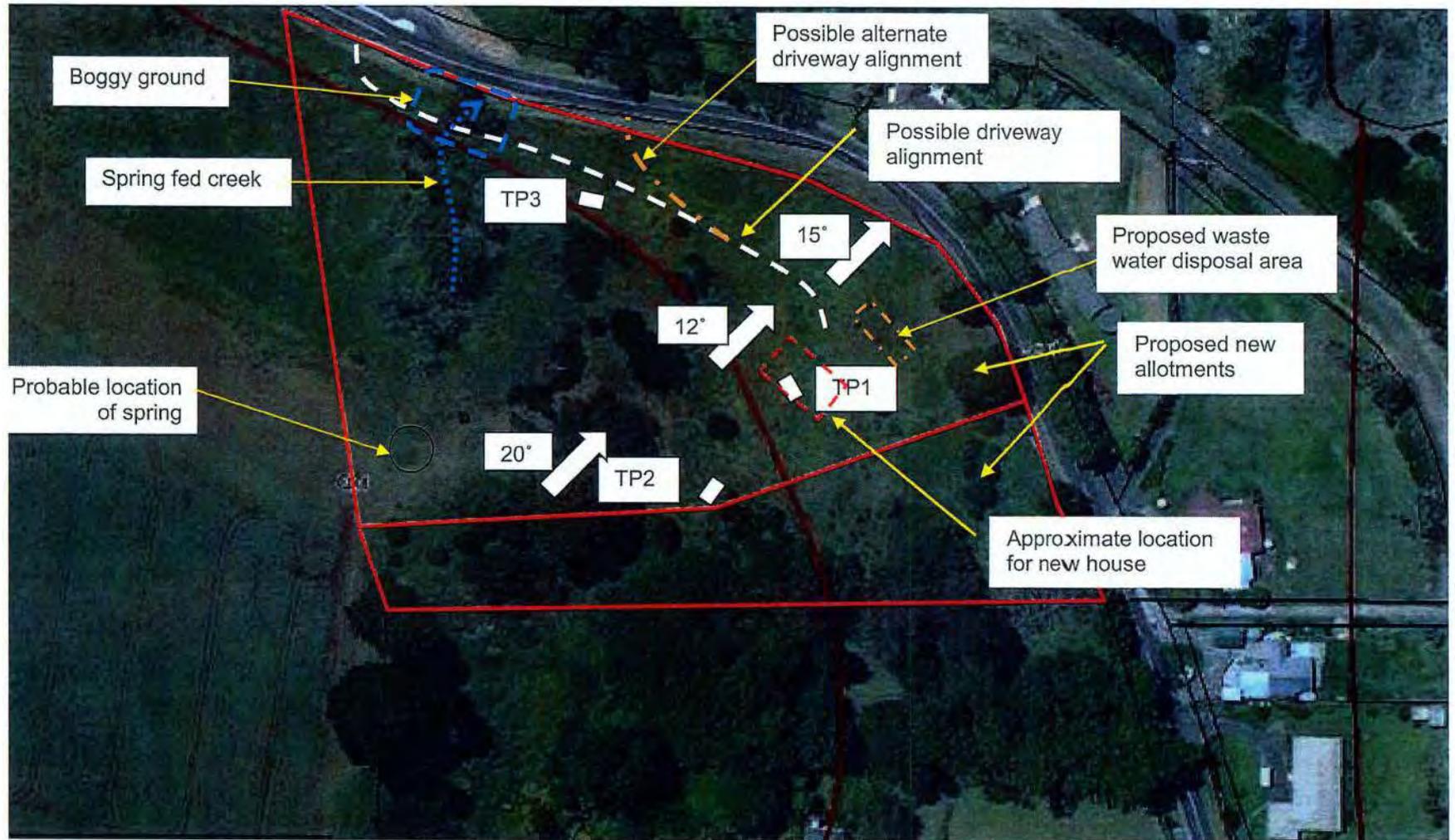


Note:
 - Mapped marine and fluvial terrace units may include both aggradational and erosional surfaces.
 - Units labelled with a question mark (?) indicate uncertainty.

drawn	AC
approved	WG
date	18/1/2017
scale	NTS
original size	A4



client:	PDA Surveyors	
project:	Landslide Risk Assessment 405 Penguin Road, West Ulverstone	
title:	MRT Geomorphology Map Extract	
project no:	TG16179/1 - 03report	figure no: FIGURE 3



drawn	AC
approved	WG
date	12/10/16
scale	NTS
original	A4



client:	PDA Surveyors	
project:	Landslide Risk Assessment 405 Penguin Road, West Ulverstone	
title:	Site Layout and Test Pit Locations	
proj no:	TG16179/1 - 03report	figure no: FIGURE 4

Appendix A

Engineering Test Pit Logs



SOIL DESCRIPTION EXPLANATION SHEET

TASMAN geotechnics

Soils are described in accordance with the Unified Soil Classification System (USCS), as shown in the following table.

FIELD IDENTIFICATION

COARSE GRAINED SOILS more than 50% of material less than 63mm is larger than 0.075mm	GRAVELS	GW	Well graded gravels and gravel-sand mixtures, little or no fines
		GP	Poorly graded gravels and gravel-sand mixtures, little or no fines
	GRAVELL Y SOILS	GM	Silty gravels, gravel-sand-silt mixtures, non-plastic fines
		GC	Clayey gravels, gravel-sand-clay mixtures, plastic fines
	SANDS	SW	Well graded sands and gravelly sands, little or no fines
		SP	Poorly graded sands and gravelly sands, little or no fines
	SANDY SOILS	SM	Silty sand, sand-silt mixtures, non-plastic fines
		SC	Clayey sands, sand-clay mixtures, plastic fines

				DRY STRENGTH	DILATANCY	TOUGHNESS
FINE GRAINED SOILS more than 50% of material less than 63mm is less than 0.075mm	SILT & CLAY, liquid limit less than 50%	ML	Inorganic silts, very fine sands or clayey fine sands	None to low	Quick to slow	None
		CL	Inorganic clays or low to medium plasticity, gravelly clays, sandy clays and silty clays	Medium to high	None to very slow	Medium
		OL	Organic silts and organic silty clays of low plasticity	Low to medium	Slow	Low
	SILT & CLAY, liquid limit greater than 50%	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts	Low to medium	Slow to none	Low to medium
		CH	Inorganic clays of high plasticity, fat clays	High	None	High
		OH	Organic clays of medium to high plasticity	Medium to high	None to very slow	Low to medium
PEAT	Pt	Peat muck and other highly organic soils				

Particle size descriptive terms

Name	Subdivision	Size
Boulders		>200mm
Cobbles		63mm to 200mm
	Coarse	20mm to 63mm
	Medium	6mm to 20mm
Gravel	Coarse	2.36mm to 6mm
	Medium	600µm to 2.36mm
	Fine	200µm to 600µm
Sand	Coarse	75µm to 200µm
	Medium	
	Fine	

Consistency of cohesive soils

Term	Undrained strength	Field guide
Very soft VS	<12kPa	A finger can be pushed well into soil with little effort
Soft S	12 - 25kPa	Easily penetrated several cm by fist
Firm F	25 - 50kPa	Soil can be indented about 5mm by thumb
Stiff St	50-100kPa	Surface can be indented but not penetrated by thumb
Very stiff VSt	100-200kPa	Surface can be marked but not indented by thumb
Hard H	>200kPa	Indented with difficulty by thumb nail
Friable Fb	-	Crumbles or powders when scraped by thumb nail

Moisture Condition

Dry (D)	Looks and feels dry. Cohesive soils are hard, friable or powdery. Granular soils run freely through fingers.
Moist (M)	Soil feels cool, darkened in colour. Cohesive soils are usually weakened by moisture presence, granular soils tend to cohere.
Wet (W)	As for moist soils, but free water forms on hands when sample is handled

Density of granular soils

Term	Density index
Very loose	<35%
Loose	15 to 35%
medium dense	35 to 65%
Dense	65 to 85%
Very dense	>85%

Cohesive soils can also be described relative to their plastic limit, ie: <Wp, =Wp, >Wp

The plastic limit is defined as the minimum water content at which the soil can be rolled into a thread 3mm thick.

Minor Components

Term	Proportions	Observed properties
Trace of	Coarse grained: <5% Fine grained: <15%	Presence just detectable by feel or eye. Soil properties little or no different to general properties of primary component.
With some	Coarse grained: 5-12% Fine grained: 15-30%	Presence easily detected by feel or eye. Soil properties little different to general properties of primary component.

ENGINEERING TEST PIT LOG



Test pit no. TP2

Sheet no. 1 of 1
Job no. TG16179/1

Client : PDA Surveyors
Project : LRA
Location : 405 Penguin Road,
West Ulverstone

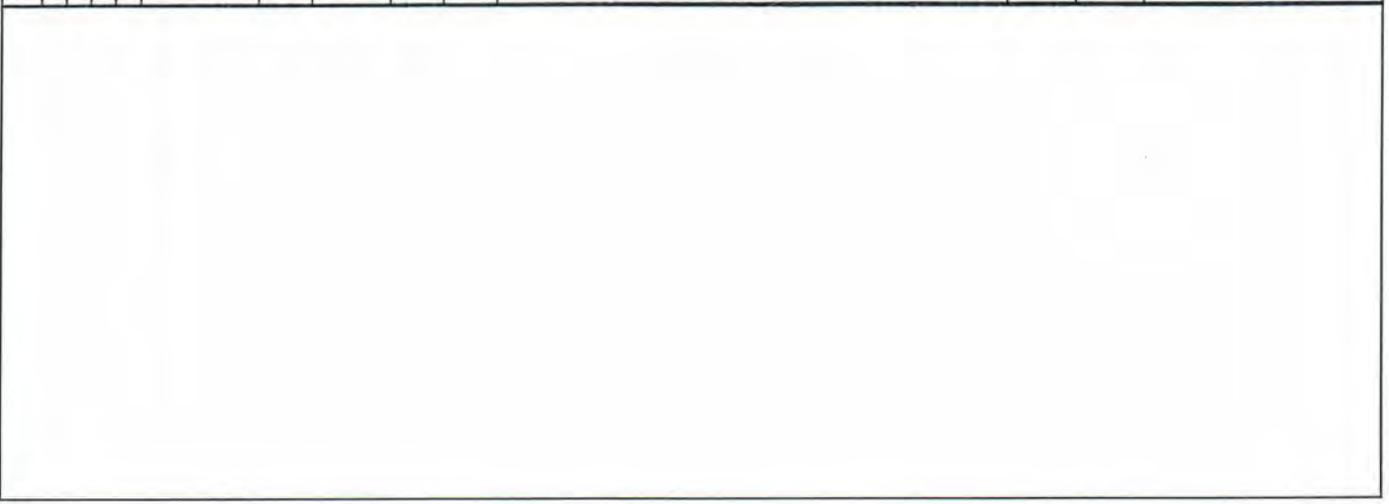
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geotechnics

Date : 4/10/2016
Logged By : AC

Equipment: Kubota U25-3 Excavator
test pit length: 2.0m width: 0.45m

RL Surface :
Datum :

Method	Penetration				Notes Samples Tests	Water	Graphic Log	Classification	Material Description	Moisture Condition	Consistency density, index	Structure, additional observations
	1	2	3	4								
excavator							OL	TOPSOIL, silt with organic matter, brown	M-W	Fb	PP = 150kPa	
						0.50	CH	SILTY CLAY, high plasticity, with trace of medium grained gravel/cobbles	M	V.St.		
					D	1.00		cobble				
						1.50						
						2.00		Terminated @ 1.5m, still going				



ENGINEERING TEST PIT LOG



Test pit no. TP3

Sheet no. 1 of 1
Job no. TG16179/1

Client : PDA Surveyors
Project : LRA
Location : 405 Penguin Road,
West Ulverstone

TASMAN
geotechnics

Date : 4/10/2016
Logged By : AC

Equipment: Kubota U25-3 Excavator
test pit length: 2.0m width: 0.45m

RL Surface :
Datum :

Method	Penetration				Notes Samples Tests	Water	Graphic Log	Classification	Material Description	Moisture Condition	Consistency density, index	Structure, additional observations
	1	2	3	4								
excavator								OL TOPSOIL, silt with organic matter, dark brown	W	S		
								CH SILTY CLAY, high plasticity, yellow/grey	M	V.St.		
					D	0.50		CH SILTY CLAY, high plasticity, yellow/brown	M	V.St.		
					D	1.00		Terminated @ 1.2m, still going				
						1.50						
						2.00						

Appendix B

Landslide Risk Matrix

Terminology for use in Assessing Risk to Property

These notes are provided to help you understand concepts and terms used in **Landslide Risk Assessment** and are based on the “Practice Note Guidelines for Landslide Risk Management 2007” published in *Australian Geomechanics Vol 42, No 1, 2007*.

Likelihood Terms

The qualitative likelihood terms have been related to a nominal design life of 50 years. The assessment of likelihood involves judgment based on the knowledge and experience of the assessor. Different assessors may make different judgments.

Approximate Annual Probability	Implied indicative Recurrence Interval	Description	Descriptor	Level
10^{-1}	10 years	The event is expected to occur over the design life	Almost Certain	A
10^{-2}	100 years	The event will probably occur under adverse conditions over the design life	Likely	B
10^{-3}	1000 years	The event could occur under adverse conditions over the design life	Possible	C
10^{-4}	10,000 years	The event might occur under very adverse conditions over the design life	Unlikely	D
10^{-5}	100,000 years	The event is conceivable but only under exceptional circumstances over the design life	Rare	E
10^{-6}	1,000,000 years	The event is inconceivable or fanciful for the design life	Barely Credible	F

Qualitative Measures of Consequence to Property

Indicative Cost of Damage	Description	Descriptor	Level
200%	Structure(s) completely destroyed and/or large scale damage requiring major engineering works for stabilisation. Could cause at least one adjacent property major consequential damage.	Catastrophic	1
60%	Extensive damage to most of structure, and/or extending beyond site boundaries requiring significant stabilisation works. Could cause at least one adjacent property medium consequential damage	Major	2
20%	Moderate damage to some of structure, and/or significant part of site requiring large stabilisation works. Could cause at least one adjacent property minor consequential damage.	Medium	3
5%	Limited damage to part of structure, and/or part of site requiring some reinstatement stabilisation works	Minor	4
0.5%	Little damage.	Insignificant	5

The assessment of consequences involves judgment based on the knowledge and experience of the assessor. The relative consequence terms are value judgments related to how the potential consequences may be perceived by those affected by the risk. Explicit descriptions of potential consequences will help the stakeholders understand the consequences and arrive at their judgment.

Qualitative Risk Analysis Matrix – Risk to Property

Likelihood		Consequences to Property				
	Approximate annual probability	1: Catastrophic	2: Major	3: Medium	4: Minor	5: Insignificant
A: Almost Certain	10 ⁻¹	VH	VH	VH	H	L
B: Likely	10 ⁻²	VH	VH	H	M	L
C: Possible	10 ⁻³	VH	H	M	M	VL
D: Unlikely	10 ⁻⁴	H	M	L	L	VL
E: Rare	10 ⁻⁵	M	L	L	VL	VL
F: Barely credible	10 ⁻⁶	L	VL	VL	VL	VL

NOTES:

1. The risk associated with Insignificant consequences, however likely, is defined as Low or Very Low
2. The main purpose of a risk matrix is to help rank risks and set priorities and help the decision making process.

Response to Risk

In general, it is the responsibility of the client and/or regulatory and/or others who may be affected to decide whether to accept or treat the risk. The risk assessor and/or other advisers may assist by making risk comparisons, discussing treatment options, explaining the risk management process, advising how others have reacted to risk in similar situations and making recommendations. Attitudes to risk vary widely and risk evaluation often involves considering more than just property damage (eg environmental effects, public reaction, business confidence etc).

The following is a guide to typical responses to assessed risk.

Risk Level		Example Implications
VH	Very High	Unacceptable without treatment. Extensive detailed investigation and research, planning and implementation of treatment options essential to reduce risk to Low; may be too expensive and not practical. Work likely to cost more than the value of the property.
H	High	Unacceptable without treatment. Detailed investigation, planning and implementation of treatment options required to reduce risk to Low. Work would cost a substantial sum in relation to the value of the property.
M	Moderate	May be tolerated in certain circumstances (subject to regulator's approval) but requires investigation, planning and implementation of treatment options to reduce the risk to Low. Treatment options to reduce to Low risk should be implemented as soon as practicable.
L	Low	Usually accepted by regulators. Where treatment has been required to reduce the risk to this level, ongoing maintenance is required.
VL	Very Low	Acceptable. Manage by normal slope maintenance procedures

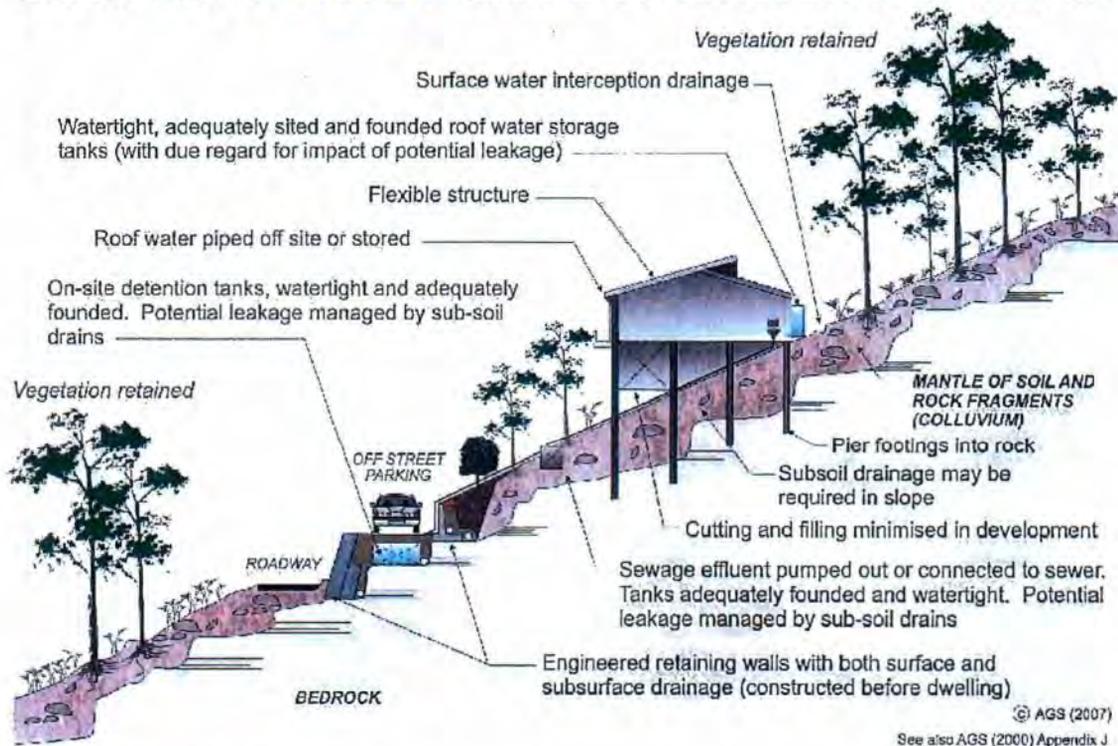
Appendix C

Guidelines to Hillside Construction

HILLSIDE CONSTRUCTION PRACTICE

Sensible development practices are required when building on hillsides, particularly if the hillside has more than a low risk of instability (GeoGuide LR7). Only building techniques intended to maintain, or reduce, the overall level of landslide risk should be considered. Examples of good hillside construction practice are illustrated below.

EXAMPLES OF GOOD HILLSIDE CONSTRUCTION PRACTICE



WHY ARE THESE PRACTICES GOOD?

Roadways and parking areas - are paved and incorporate kerbs which prevent water discharging straight into the hillside (GeoGuide LR5).

Cuttings - are supported by retaining walls (GeoGuide LR6).

Retaining walls - are engineer designed to withstand the lateral earth pressures and surcharges expected, and include drains to prevent water pressures developing in the backfill. Where the ground slopes steeply down towards the high side of a retaining wall, the disturbing force (see GeoGuide LR6) can be two or more times that in level ground. Retaining walls must be designed taking these forces into account.

Sewage - whether treated or not is either taken away in pipes or contained in properly founded tanks so it cannot soak into the ground.

Surface water - from roofs and other hard surfaces is piped away to a suitable discharge point rather than being allowed to infiltrate into the ground. Preferably, the discharge point will be in a natural creek where ground water exits, rather than enters, the ground. Shallow, lined, drains on the surface can fulfil the same purpose (GeoGuide LR5).

Surface loads - are minimised. No fill embankments have been built. The house is a lightweight structure. Foundation loads have been taken down below the level at which a landslide is likely to occur and, preferably, to rock. This sort of construction is probably not applicable to soil slopes (GeoGuide LR3). If you are uncertain whether your site has rock near the surface, or is essentially a soil slope, you should engage a geotechnical practitioner to find out.

Flexible structures - have been used because they can tolerate a certain amount of movement with minimal signs of distress and maintain their functionality.

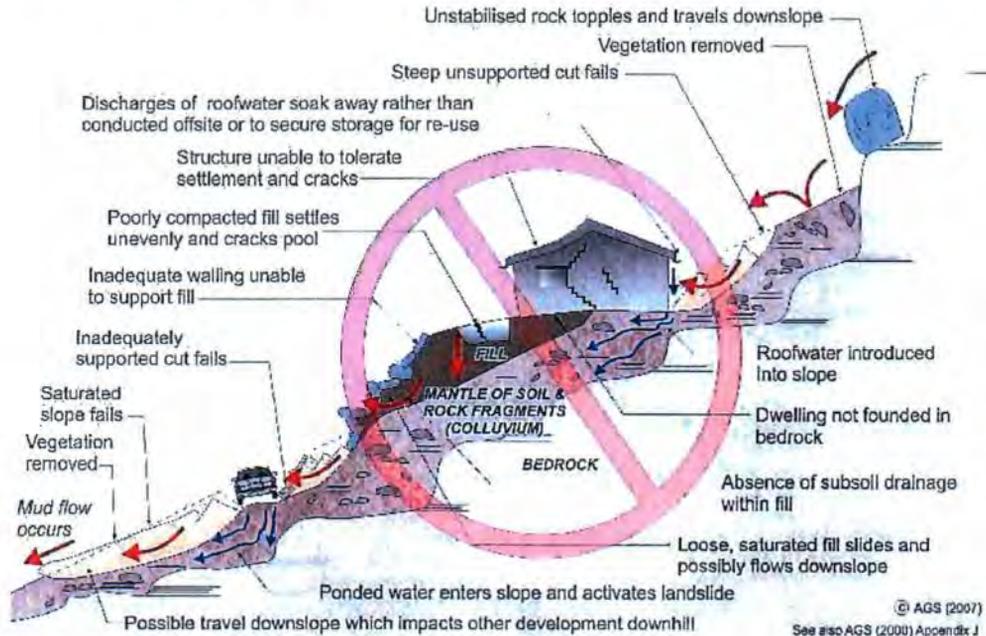
Vegetation clearance - on soil slopes has been kept to a reasonable minimum. Trees, and to a lesser extent smaller vegetation, take large quantities of water out of the ground every day. This lowers the ground water table, which in turn helps to maintain the stability of the slope. Large scale clearing can result in a rise in water table with a consequent increase in the likelihood of a landslide (GeoGuide LR5). An exception may have to be made to this rule on steep rock slopes where trees have little effect on the water table, but their roots pose a landslide hazard by dislodging boulders.

Possible effects of ignoring good construction practices are illustrated on page 2. Unfortunately, these poor construction practices are not as unusual as you might think and are often chosen because, on the face of it, they will save the developer, or owner, money. You should not lose sight of the fact that the cost and anguish associated with any one of the disasters illustrated, is likely to more than wipe out any apparent savings at the outset.

ADOPT GOOD PRACTICE ON HILLSIDE SITES

AUSTRALIAN GEOGUIDE LR8 (CONSTRUCTION PRACTICE)

EXAMPLES OF **POOR** HILLSIDE CONSTRUCTION PRACTICE



WHY ARE THESE PRACTICES POOR?

Roadways and parking areas - are unsurfaced and lack proper table drains (gutters) causing surface water to pond and soak into the ground.

Cut and fill - has been used to balance earthworks quantities and level the site leaving unstable cut faces and added large surface loads to the ground. Failure to compact the fill properly has led to settlement, which will probably continue for several years after completion. The house and pool have been built on the fill and have settled with it and cracked. Leakage from the cracked pool and the applied surface loads from the fill have combined to cause landslides.

Retaining walls - have been avoided, to minimise cost, and hand placed rock walls used instead. Without applying engineering design principles, the walls have failed to provide the required support to the ground and have failed, creating a very dangerous situation.

A heavy, rigid, house - has been built on shallow, conventional, footings. Not only has the brickwork cracked because of the resulting ground movements, but it has also become involved in a man-made landslide.

Soak-away drainage - has been used for sewage and surface water run-off from roofs and pavements. This water soaks into the ground and raises the water table (GeoGuide LR5). Subsoil drains that run along the contours should be avoided for the same reason. If felt necessary, subsoil drains should run steeply downhill in a chevron, or herring bone, pattern. This may conflict with the requirements for effluent and surface water disposal (GeoGuide LR9) and if so, you will need to seek professional advice.

Rock debris - from landslides higher up on the slope seems likely to pass through the site. Such locations are often referred to by geotechnical practitioners as "debris flow paths". Rock is normally even denser than ordinary fill, so even quite modest boulders are likely to weigh many tonnes and do a lot of damage once they start to roll. Boulders have been known to travel hundreds of metres downhill leaving behind a trail of destruction.

Vegetation - has been completely cleared, leading to a possible rise in the water table and increased landslide risk (GeoGuide LR5).

DON'T CUT CORNERS ON HILLSIDE SITES - OBTAIN ADVICE FROM A GEOTECHNICAL PRACTITIONER

More information relevant to your particular situation may be found in other Australian GeoGuides:

- GeoGuide LR1 - Introduction
- GeoGuide LR2 - Landslides
- GeoGuide LR3 - Landslides in Soil
- GeoGuide LR4 - Landslides in Rock
- GeoGuide LR5 - Water & Drainage
- GeoGuide LR6 - Retaining Walls
- GeoGuide LR7 - Landslide Risk
- GeoGuide LR9 - Effluent & Surface Water Disposal
- GeoGuide LR10 - Coastal Landslides
- GeoGuide LR11 - Record Keeping

The Australian GeoGuides (LR series) are a set of publications intended for property owners; local councils; planning authorities; developers; insurers; lawyers and, in fact, anyone who lives with, or has an interest in, a natural or engineered slope, a cutting, or an excavation. They are intended to help you understand why slopes and retaining structures can be a hazard and what can be done with appropriate professional advice and local council approval (if required) to remove, reduce, or minimise the risk they represent. The GeoGuides have been prepared by the [Australian Geomechanics Society](#), a specialist technical society within Engineers Australia, the national peak body for all engineering disciplines in Australia, whose members are professional geotechnical engineers and engineering geologists with a particular interest in ground engineering. The GeoGuides have been funded under the Australian governments' National Disaster Mitigation Program.

CSE TASMANIA PTY LTD

civil & structural engineering



CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

7th of September 2016

Received: 29 NOV 2016

Mr Brian Robertson
405 Penguin Road,
Ulverstone, TAS. 7315

Application No: DA216107

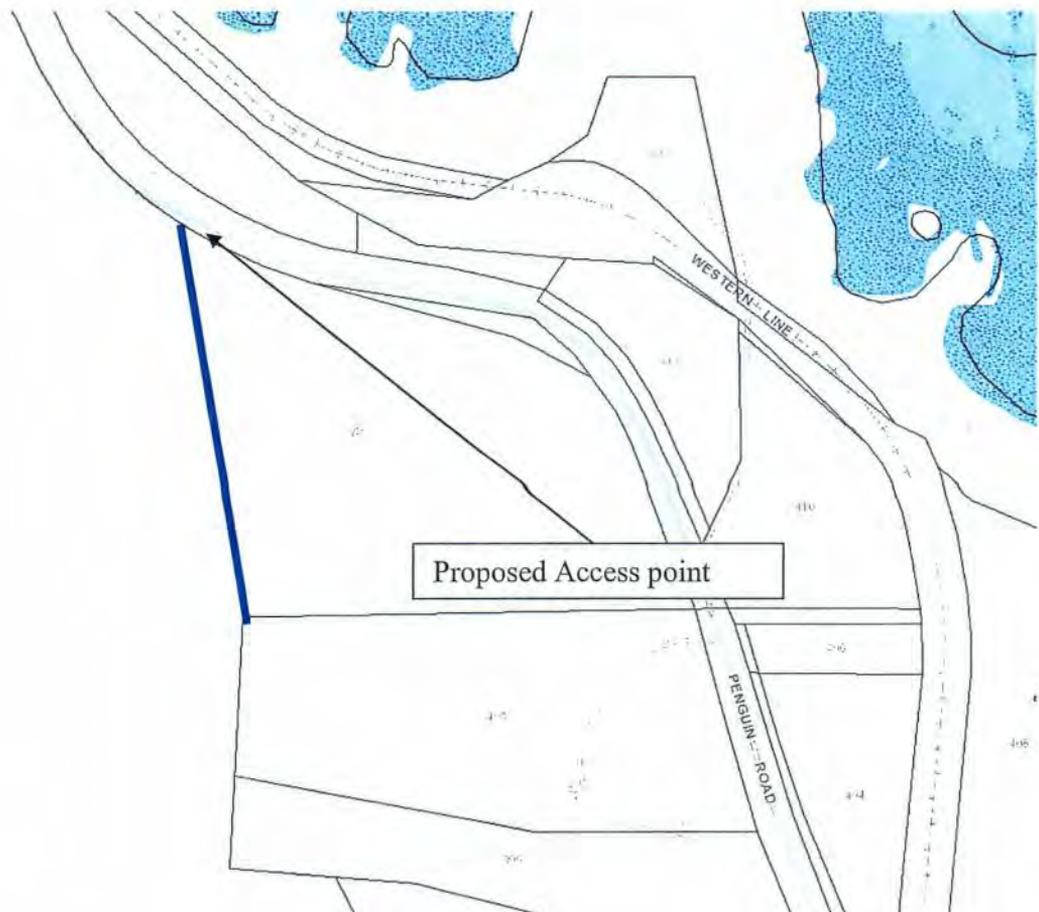
Doc. ID: 266439

Forwarded by email

Access for Proposed Subdivision at 405 Penguin Road

Dear Brian,

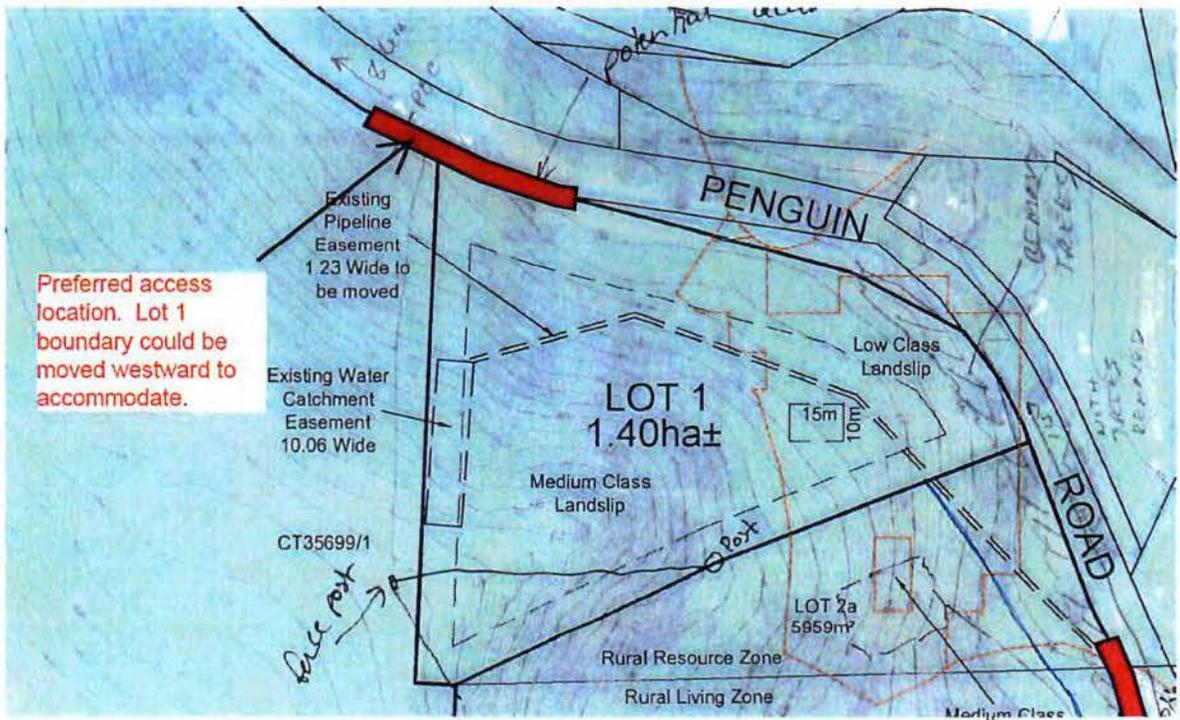
As requested I have reviewed the access for your proposed subdivision in accordance with Councils planning requirements. A number of lots are proposed with one requiring a new access at a location opposite the Three Sisters Nature Reserve lookout. The boundary of the new lot can be shifted to accommodate the best sight distance.



ABN 98 118 678 667

p 03 6428 3994 • f 03 6428 3995 • m 0429 418 739 • chris@csetas.com.au

Office Address – 127 Leith Road, Leith • Mailing Address PO Box 49, Turners Beach 7315



Following are the results of my site assessment and investigation on the 7th of September 2016.



Assessment Requirements

I assessed the site conditions to The Austroads AGRD04A/09 Guide to Road Design Part 4A: Unsignalised and Signalised Intersections. This standard (table 3.2) requires that Safe Intersection Sight Distances (SISD) of 67, 90, 114, 141, 170 and 201m be provided for design speeds of 40, 50, 60, 70, 80 and 90 km/hr, a reaction time of 1.5s and an eye height of 1.1m to the top of a car at 1.25m. A reaction time of 1.5 seconds is permitted in this instance as the road is rural and the alignment contains many horizontal curves.

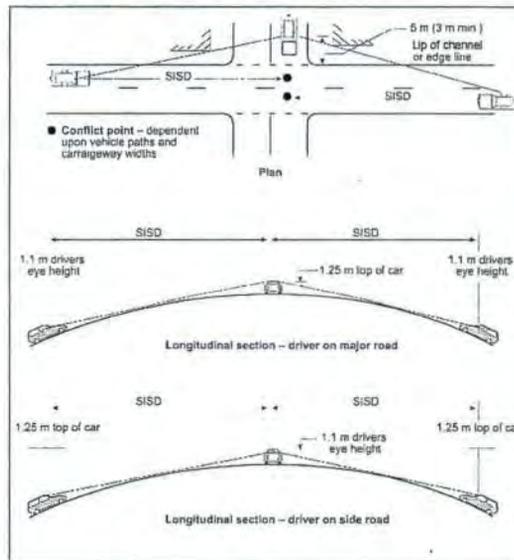


Figure 3.2: Safe intersection sight distance (SISD)

The Guide to Road Design Part 3: Geometric Design section 5.3 discusses the use of Stopping Site Distance (SSD) as the distance to enable a normally alert driver, travelling at the design speed on wet pavement, to perceive, react and brake to a stop before reaching a hazard on the road ahead. The provision of SSD is a mandatory design condition for all roads and intersections in the normal design domain. The Guide nominates SSD for design speeds of 40, 50, 60, 70, 80 and 90km/hr a coefficient of deceleration of 0.36 and a reaction time of 2s as 40, 55, 73, 92, 114 and 139m.

General frontage description and available sight lines

The position of the proposed access maximizes the sight line to the North West by positioning the access sufficiently to the west. This provides for sight lines over the crest vertical curve in that direction. The nominal position of the access is at the guide post south of the road between the Three Sisters Nature Reserve lookout access points.





Image to the north west showing the crest vertical curve.

On both sides of the proposed access the corners are sharp and advisory speed signage is provided recommending 45km/hr. The advised speed is indicative of the speed cars are taking on this road at these corners. The kerb radius to the north west is estimated to be 50m while to the south east the radius is approx. 40m.

The road generally is sealed at 5.5 m wide and has 0.5m gravel shoulder on the south side in the vicinity of the access. On the north side of the road the pull off area is protected from the road with a traffic island and kerb.

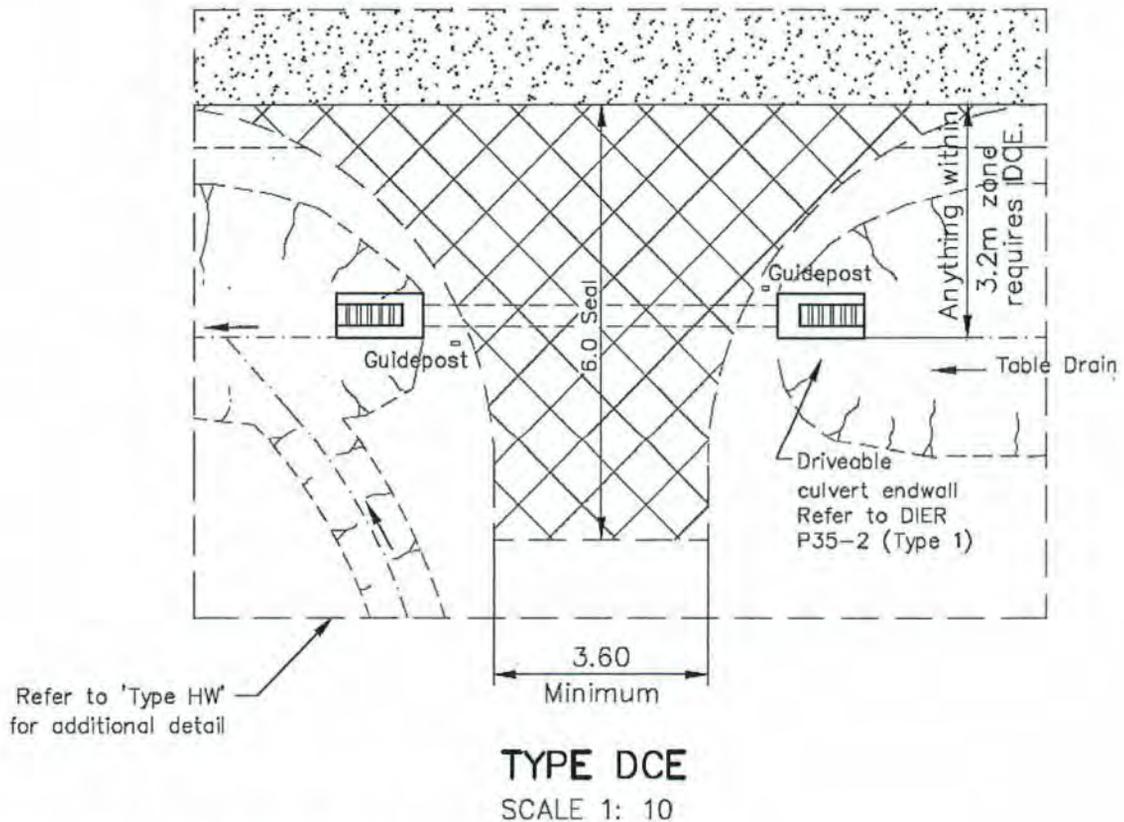
To the south east of the proposed driveway sight lines are obscured by the uphill bank at the approx. 40m radius kerb. The sight distance is in the order of 131m.

To the north east the sight distance is obscured by deciduous trees and partially by a see through pedestrian fence. The current sight line in this direction is about 90m.

Construction of the proposed access in this location will be at the maximum gradient permissible in the Tas Standard Drawings Rural Access off the side of the road to the south up the hill. This will assist in raising driver eye height in the critical sight distance zone of 5m to 3m from the edge of the existing road seal.

A tabled drain captures flow from the hill to the south and directs it to a culvert under Penguin Road approx. 10m east of the proposed access location. To enable gradient on the access to rise a culvert is required at the road intersection in accordance with TSD-R04 Type DCE reproduced below.

There is evidence of past landslide activity to the north west with substantial gabion and driven timber pile retaining walls.



Speed Environment and required SISD

Penguin Road contains numerous sharp corners and concealed entrances.

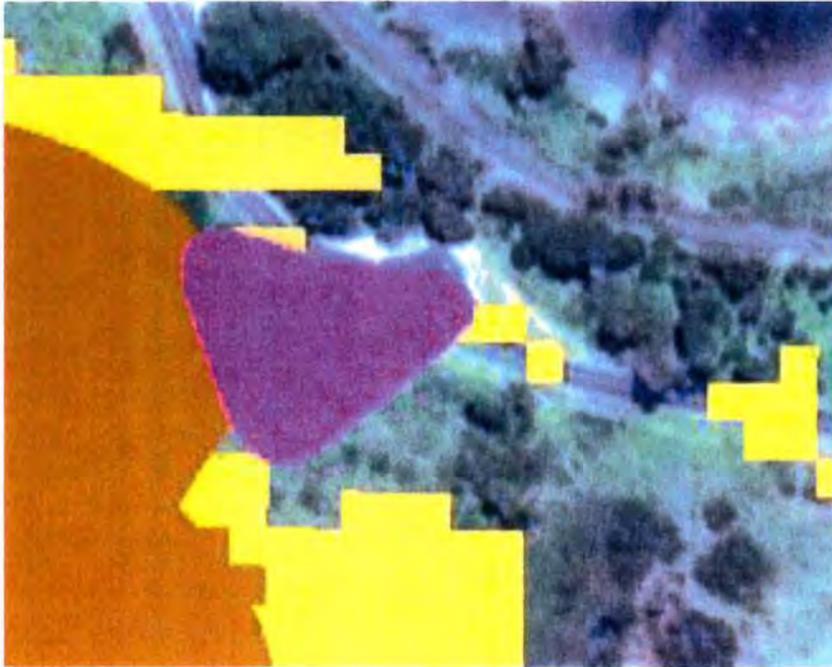
For the purpose of this investigation it is estimated that the 85th percentile speed at the proposed accesses is approx. 45km/hr for vehicles in both directions. Vehicles observed during the inspection were travelling at this speed.

At 50km/hr the SISD requirement is 90m and the SSD is 55m with parameters nominated above respectively.

Discussion

SSD at 55m is satisfied for vehicles approaching from both directions to the proposed accesses as is the desirable SISD requirement of 90m for a 50km per hour design speed.

The access is located just east of the Landslide Medium active hazard band.



Recommendation

The proposed access satisfies accepted sight distance standards.

The TYPE DCE access is required from the Tas Standard Drawing Set - TSD-R04.

Care should be taken when constructing the access to ensure batters are stable with at least 1 vertical in 2.5 horizontal gradient and that water not be permitted to pond anywhere due to the works. Any springs located during the works should be captured and drained via a pipe network. Vegetation should be re-established on batters to assist with stabilization.

Engineering review is recommended during construction to verify that good hillside construction practice is followed.

Should you have any queries please do not hesitate to give me a call.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Chris Martin'.

Chris Martin BE(Hons), MBA (Tech Mgt), MIEAust, CPEng

Senior Civil & Structural Engineer
Director – CSE Tasmania Pty Ltd



Photo 1 Slope in the vicinity of the access.



Photo 2 View South East – approx. 130m sight line.



Photo 3 View North west from proposed access – approx. 90m sight line.



Photo 4 North west sight line – guidepost just visible.



Environmental Service and Design Pty Ltd

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CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 29 NOV 2016

Bushfire Hazard Management Report

Application No: DA216107

405 Penguin Road West Ulverstone

Doc. ID: 266439



Applicant:

Brian Robertson
405 Penguin Road
WEST ULVERSTONE TAS 7315

Prepared by:

Bruce Harpley
Environmental Service and Design Pty Ltd
Version 1: 21 November 2016

Contact Phone Number:

0429 355 259

E- Mail:

bharpley@esandd.com.au

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CODE E1 – BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) *LAND USE PLANNING AND APPROVALS ACT 1993*

1. Land to which certificate applies²

Land that is the Use or Development Site that is relied upon for bushfire hazard management or protection.

Name of planning scheme or instrument:

Central Coast Interim Planning Scheme (2013)

Street address:

405 Penguin Road West Ulverstone

Certificate of Title / PID:

35699/1 and 103560/1

Land that is not the Use or Development Site that is relied upon for bushfire hazard management or protection.

Street address:

N/A

Certificate of Title / PID:

2. Proposed Use or Development

Description of Use or Development:

(Provide a brief description of the proposed use or development; including details of scale, siting and context.)

Subdivision to create 3 lots - Lot 1 of 1.33ha, Lot 2 (existing dwelling) of 2.18ha and balance lot (agricultural use only) 35.16ha.

Code Clauses³:

E1.4 Exempt Development

E1.5.1 Vulnerable Use

E1.5.2 Hazardous Use

E1.6.1 Subdivision

¹ This document is the approved form of certification for this purpose, and must not be altered from its original form.

² If the certificate relates to bushfire management or protection measures that rely on land that is not in the same lot as the site for the use or development described, the details of all of the applicable land must be provided.

³ Indicate by placing X in the corresponding for the relevant clauses of E1.0 Bushfire-prone Areas Code.

3. Documents relied upon⁴

Documents, Plans and/or Specifications

Title: Plan of Subdivision (ref B16385-1)

Author: PDA Surveyors

Date: 12/9/16 **Version:**

Bushfire Report

Title: Bushfire Hazard Management Report

Author: Bruce Harpley

Date: 21 November 2016 **Version:** 1

Bushfire Hazard Management Plan

Title: Bushfire Hazard Management Plan

Author: Bruce Harpley

Date: 21 November 2016 **Version:** 1

Other Documents

Title: N/A

Author:

Date: **Version:**

⁴ List each document that is provided or relied upon to describe the use or development, or to assess and manage risk from bushfire. Each document must be identified by reference to title, author, date and version.

4. Nature of Certificate⁵			
<input type="checkbox"/>	E1.4 – Use or development exempt from this code		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.4 (a)	Insufficient increase in risk	
<input type="checkbox"/>	E1.5.1 – Vulnerable Uses		
	E1.5.1.1 Standards for vulnerable use		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.1.1 P1.	Risk is mitigated	
<input type="checkbox"/>	E1.5.1.1 A2.1	BHMP	
<input type="checkbox"/>	E1.5.1.1 A2.2	Emergency Plan	
<input type="checkbox"/>	E1.5.2 – Hazardous Uses		
	E1.5.2.1 Standards for hazardous use		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.5.2.1 P1.	Risk is mitigated	
<input type="checkbox"/>	E1.5.2.1 A2.1	BHMP	
<input type="checkbox"/>	E1.5.2.1 A2.2	Emergency Plan	
<input checked="" type="checkbox"/>	E1.6.1 – Development standards for subdivision		
	E1.6.1.1 Subdivision: Provision of hazard management areas		
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1.1 P1.	Hazard Management Areas are sufficient to mitigate risk	
<input type="checkbox"/>	E1.6.1.1 A1. (a)	Insufficient increase in risk	

⁵ The certificate must indicate by placing X in the corresponding for each applicable standard and the corresponding compliance test within each standard that is relied upon to demonstrate compliance to Code E1

X	E1.6.1.1 A1. (b)	Provides BAL 19 for all lots	Exceeds minimum BAL 19 - Refer section 3.2 & 3.3 and hazard management plan
---	------------------	------------------------------	-----------------------------------------------------------------------------

E1.6.1.2 Subdivision: Public and fire fighting access			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1.2 P1.	Access is sufficient to mitigate risk	
<input type="checkbox"/>	E1.6.1.2 A1. (a)	Insufficient increase in risk	
X	E1.6.1.2 A1. (b)	Access complies with Tables E3, E4 & E5	Refer section 2.5 and hazard management plan

E1.6.1.3 Subdivision: Provision of water supply for fire fighting purposes			
	Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/>	E1.6.1.3 A1. (a)	Insufficient increase in risk	
<input type="checkbox"/>	E1.6.1.3 A1. (b)	Reticulated water supply is consistent with the objective	
<input type="checkbox"/>	E1.6.1.3 A1. (c)	Reticulated water supply complies with Table E6.	
<input type="checkbox"/>	E1.6.1.3 A2. (a)	Insufficient increase in risk	
<input type="checkbox"/>	E1.6.1.3 A2. (b)	Static water supply is consistent with the objective	
X	E1.6.1.3 A2. (c)	Static water supply complies with Table E7.	Refer section 2.6 and hazard management plan

5. Bushfire Hazard Practitioner⁶

Name:	Bruce Harpley	Phone No:	0429 355 259
Address:	Environmental Service & Design Pty Ltd	Fax No:	6431 2933
	PO Box 651	Email Address:	bharpley@esandd.com.au
	BURNIE		7320
Accreditation No:	BFP – 140	Scope:	1, 2, 3A and 3B

6. Certification⁷

I, certify that in accordance with the authority given under Part 4A of the Fire Service Act 1979 –

<i>The use or development described in this certificate is exempt from application of Code E1 – Bushfire-Prone Areas in accordance with Clause E1.4 (a) because there is an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measure in order to be consistent with the objectives for all the applicable standards identified in Section 4 of this Certificate.</i>	<input type="checkbox"/>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------

or

<i>There is an insufficient increase in risk from bushfire to warrant the provision of specific measures for bushfire hazard management and/or bushfire protection in order for the use or development described to be consistent with the objective for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input type="checkbox"/>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------

and/or

<i>The Bushfire Hazard Management Plan/s identified in Section 4 of this certificate is/are in accordance with the Chief Officer's requirements and can deliver an outcome for the use or development described that is consistent with the objective and the relevant compliance test for each of the applicable standards identified in Section 4 of this Certificate.</i>	<input checked="" type="checkbox"/>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------

Signed:
certifier



Date:

21 Nov 2016

Certificate No:

5617-1

⁶ A Bushfire Hazard Practitioner is a person accredited by the Chief Officer of the Tasmania Fire Service under Part IVA of Fire Service Act 1979. The list of practitioners and scope of work is found at www.fire.tas.gov.au.

⁷ The relevant certification must be indicated by placing X in the corresponding .

Scope of Assessors Accreditation

Bruce Harpley (BFP-140) is accredited by the Chief Officer of the Tasmania Fire Service under Section 60B of the *Fire Service Act 1979* for scope of works:

1. Certify a Bushfire Attack Level Assessment for **Building Work**
2. Certify an **Exemption** from a Bushfire Hazard Management Plan
- 3A. Certify Acceptable Solutions for **Buildings or Extensions**
- 3B. Certify Acceptable Solutions for **Small Subdivisions** (less than 10 Lots or a single stage)

Works performed by **Bruce Harpley (BFP-140)** that require Tasmania Fire Service endorsement:

- 3C. Certify Acceptable Solutions for **Large Subdivisions** (10 lots or more or in multiple stages)

Disclaimer

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Bushfires in Tasmania are an unpredictable natural phenomenon and preparing a Bushfire Hazard Management Plan increases your chances of defending your property and assists in the protection the people whom frequent it. This Fire Hazard Management Plan in no way guarantees immunity from a bushfire in or around your property or the effects thereof.

Any measures implemented based on the advice from *Environmental Services and Design Pty Ltd*, is offered as potential methods of reducing your properties risk of fire damage only and is not to be relied upon as a total solution. It in no way guarantees that any or all buildings on site will survive the effects of a bushfire nor does it guarantee the safety and security of any individuals whom frequent the property.

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Each paragraph of this disclaimer shall be deemed to be separate and severable from each other. If any paragraph is found to be illegal, prohibited or unenforceable, then this shall not invalidate any other paragraphs.

Re-Certification – Ability to Re-Evaluate

If in the event that the land owner requests a re-assessment of this plan due to a reduced or eliminated bushfire risk in the future; an Accredited Bushfire Assessor can over-ride any or all of the requirements or provisions of this plan. This provision serves to formally expunge any Part 5 Agreement with a Council Planning Authority (if placed on a Title as a condition of Permit) or to reduce the construction standards required under *AS3959 Construction of Buildings in Bushfire Prone Areas* (as amended) if the bushfire risk is reduced to **BAL – LOW** or a threat no longer exists.

BAL Assessment: 405 Penguin Road PAF 5617

Section 1

1. Introduction

Environmental Services and Design Pty Ltd has been engaged by PDA Surveyors, on behalf of the property owner, to complete a bushfire hazard management assessment for a proposed 3 lot subdivision.

The proposal seeks to subdivide to create 3 lots. Lot 1 as a vacant lot, lot 2 containing the existing dwelling and lot 3 as the balance lot for agricultural use.

Lot 3 is to be utilized for agriculture/grazing only and there is no intention to include a residence.

The purpose of this report is to document the assessment under Interim Planning Directive No. 1 Bushfire-Prone Areas Code and identify the bushfire attack level and any bushfire hazard management areas in accordance with AS3959-2009.

Section 2

2.1 Property Details

Property Address	405 Penguin Road West Ulverstone
Certificate of Title	35699/1 and 103560/1
Type of Application	Subdivision
Area	Lot 1 – 1.33ha, lot 2 2.18ha and Lot 3 – 35.16ha
Zoning	Rural Resource and Rural Living
Surrounding Zoning	North and east – Environmental Management. South and West – Rural Resource.
Planning Scheme	Circular Head Interim Planning Scheme 2013
Existing land Use	Residential and agricultural

2.2 Surrounding land use

The lots are situated within the rural resource and rural living zones. Surrounding land use to the north and east is environmental management and Bass Strait. To the east is a small amount of residential use within the environmental management zone. South and west is currently grazing land for greater than 100m with some rural living use.

2.3 Vegetation

External to the lot boundaries to the south and west is grazing land, assessed as grassland, with an area >1ha. To the east is Penguin Road, maintained gardens and water. To the north is Penguin Road and low coastal scrub.

Vegetation within the lots consists of the following:

- Lot 1 – Predominantly grasses and low shrub regrowth. There is an area of rushes at the northwestern corner. Adjacent residential gardens and trees less than 1ha to north. Grass to the east.
- Lot 2 – Woodland to the north of the existing dwelling, extending east, less than 1ha containing shrubs. Maintained gardens and lawn. Large trees adjacent to house to the south and west. Maintained land of adjacent residence to south.
 - It was noted during the assessment that a number of single large trees overhand the existing dwelling to the east, west and south.
- Lot 3 – Grassland (agricultural land) >100m.

2.4 Topography

- Lot 1 has a 17⁰ slope to the east, north and northeast.
- Lot 2 has a 12⁰ slope to the east.
- Lot 3 has a varied spreading slope of 17⁰ southeast and 8⁰ northeast.

2.5 Access

Lot 1

Property access is greater than 30m in length and access is required for fire appliances to connect to a water connection point. Access must meet the requirements of Table E4 B of the Bushfire-Prone Areas Code.

Lot 2

The existing access is an approved access from Penguin Road. Access is an all-weather access 4.0m wide and approximately 120m long. Access terminates with a Y turning head greater than 4m wide and 8m long.

Access to lot 2 complies with the requirements of Table E4 B of the Bushfire-Prone Areas Code.

Lot 3

Lot 3, being for agriculture/grazing use only, does not require access for firefighting appliances. Access to the lot, off Penguin Road, is for the agricultural use only.

2.6 Water Supply

Property is not reticulated town water supply. There are no fire hydrants on this section of Penguin Road.

Lot 1

As there are no fire hydrants within 120m of the dwelling, a static stored water supply, that complies with Table E7 of the Bushfire-Prone Areas Code will be required.

Lot 2

As there are no fire hydrants within 120m of the dwelling, a static stored water supply, that complies with Table E7 of the Bushfire-Prone Areas Code is required.

Lot 3

Lot 3 is a 35.16ha agricultural property and is not utilized for residential purposes. Therefore, the lot does not require a static water supply at this stage to achieve a satisfactory outcome.

3.0 Site Assessment

A site assessment was carried out on 17 November 2016 and desktop assessment was conducted on 18 November 2016. The site plan, prepared by PDA Surveyors, is attached. Relevant site photographs are below.



Lot 1 - View North – Grass and scrub



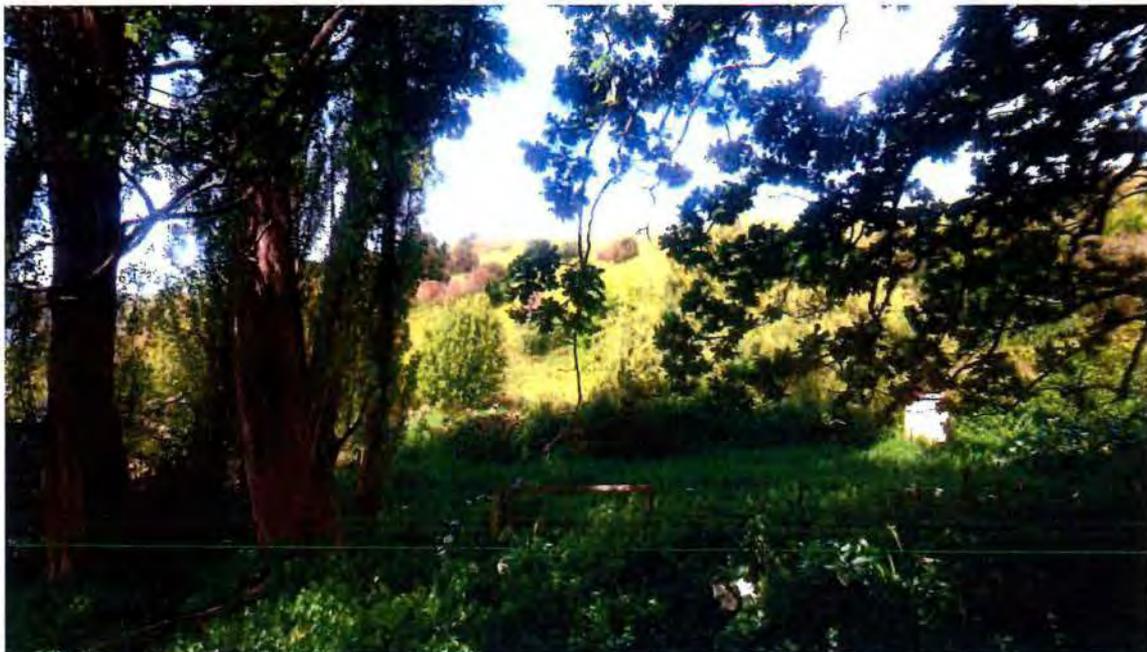
Lot 1 – East – grass and scattered shrub



Lot 2 - East – gardens



Lot 2 – View South toward lot 3



Lot 2 – View to adjacent residence and lot 3

3.1 Fire Danger Index

The fire danger index as per Table 2.1 AS3959-2009 for Tasmania is 50.

3.2 BAL Assessment – Lot 1

Vegetation classification (refer Table 2.3)	North	<input checked="" type="checkbox"/>	South	<input checked="" type="checkbox"/>	East	<input checked="" type="checkbox"/>	West	<input checked="" type="checkbox"/>
	North East	<input type="checkbox"/>	South West	<input type="checkbox"/>	South East	<input type="checkbox"/>	North West	<input type="checkbox"/>
Group A Forest								
Group B Woodland								
Group C Scrub land	X (15m inside boundary)						X (32m inside boundary)	
Group D Scrub								
Group E Mallee/Mulga								
Group F Rainforest								
Group G Grassland					X (16m inside boundary)			
Managed Land	X (road and gardens 35m)		X		X (road and gardens 13m)			
Exclusions	Insert relevant exclusion paragraph descriptor from clause 2.2.3.2							
	e and f		(f)					
Prevailing winds	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input checked="" type="checkbox"/>	
Distance to classified vegetation	Show distance in metres							
	31		42		29		32	
Effective Slope	Upslope							
Slope under the classified vegetation	Upslope/0°	<input type="checkbox"/>	Upslope/0°	<input checked="" type="checkbox"/>	Upslope/0°	<input type="checkbox"/>	Upslope/0°	<input checked="" type="checkbox"/>
	North	<input checked="" type="checkbox"/>	South	<input checked="" type="checkbox"/>	East	<input checked="" type="checkbox"/>	West	<input checked="" type="checkbox"/>
	North East	<input type="checkbox"/>	South West	<input type="checkbox"/>	South East	<input type="checkbox"/>	North West	<input type="checkbox"/>
	Downslope							
	>0 to 5	<input type="checkbox"/>	>0 to 5	<input type="checkbox"/>	>0 to 5	<input type="checkbox"/>	>0 to 5	<input type="checkbox"/>
	>5 to 10	<input type="checkbox"/>	>5 to 10	<input type="checkbox"/>	>5 to 10	<input type="checkbox"/>	>5 to 10	<input type="checkbox"/>
	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>
	>15 to 20	<input checked="" type="checkbox"/>	>15 to 20	<input type="checkbox"/>	>15 to 20	<input checked="" type="checkbox"/>	>15 to 20	<input type="checkbox"/>
BAL Value for each side of site	12.5		Low		12.5		12.5	

3.2 BAL Assessment – Lot 2

Vegetation classification (refer Table 2.3)	North	<input checked="" type="checkbox"/>	South	<input checked="" type="checkbox"/>	East	<input checked="" type="checkbox"/>	West	<input checked="" type="checkbox"/>
	North East	<input type="checkbox"/>	South West	<input type="checkbox"/>	South East	<input type="checkbox"/>	North West	<input type="checkbox"/>
Group A Forest								
Group B Woodland								
Group C Scrub land	X						X	
Group D Scrub								
Group E Mallee/Mulga								
Group F Rainforest								
Group G Grassland			X					
Managed Land			X (2m within existing boundary)		X			
Exclusions	Insert relevant exclusion paragraph descriptor from clause 2.2.3.2							
					(f)			
Prevailing winds	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input checked="" type="checkbox"/>	
Distance to classified vegetation	Show distance in metres							
	35		47 overall		30		35	
Effective Slope	Upslope							
Slope under the classified vegetation	Upslope/0°	<input checked="" type="checkbox"/>	Upslope/0°	<input checked="" type="checkbox"/>	Upslope/0°	<input type="checkbox"/>	Upslope/0°	<input checked="" type="checkbox"/>
	North	<input checked="" type="checkbox"/>	South	<input checked="" type="checkbox"/>	East	<input checked="" type="checkbox"/>	West	<input checked="" type="checkbox"/>
	North East	<input type="checkbox"/>	South West	<input type="checkbox"/>	South East	<input type="checkbox"/>	North West	<input type="checkbox"/>
	Downslope							
	>0 to 5	<input type="checkbox"/>	>0 to 5	<input type="checkbox"/>	>0 to 5	<input type="checkbox"/>	>0 to 5	<input type="checkbox"/>
	>5 to 10	<input type="checkbox"/>	>5 to 10	<input type="checkbox"/>	>5 to 10	<input checked="" type="checkbox"/>	>5 to 10	<input type="checkbox"/>
	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>
	>15 to 20	<input type="checkbox"/>	>15 to 20	<input type="checkbox"/>	>15 to 20	<input type="checkbox"/>	>15 to 20	<input type="checkbox"/>
BAL Value for each side of site	12.5		12.5		Low		12.5	

3.2 BAL Assessment – Lot 3

Vegetation classification (refer Table 2.3)	North	<input checked="" type="checkbox"/>	South	<input checked="" type="checkbox"/>	East	<input checked="" type="checkbox"/>	West	<input checked="" type="checkbox"/>
	North East	<input type="checkbox"/>	South West	<input type="checkbox"/>	South East	<input type="checkbox"/>	North West	<input type="checkbox"/>
Group A Forest								
Group B Woodland								
Group C Scrub land								
Group D Scrub								
Group E Mallee/Mulga								
Group F Rainforest								
Group G Grassland	X		X		X		X	
Managed Land								
Exclusions	Insert relevant exclusion paragraph descriptor from clause 2.2.3.2							
Prevailing winds	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input checked="" type="checkbox"/>	
Distance to classified vegetation	Show distance in metres							
	>100		>100		>100		>100	
Effective Slope	Upslope							
Slope under the classified vegetation	Upslope/0°	<input checked="" type="checkbox"/>	Upslope/0°	<input checked="" type="checkbox"/>	Upslope/0°	<input checked="" type="checkbox"/>	Upslope/0°	<input type="checkbox"/>
	North	<input checked="" type="checkbox"/>	South	<input checked="" type="checkbox"/>	East	<input checked="" type="checkbox"/>	West	<input checked="" type="checkbox"/>
	North East	<input type="checkbox"/>	South West	<input type="checkbox"/>	South East	<input type="checkbox"/>	North West	<input type="checkbox"/>
	Downslope							
	>0 to 5	<input type="checkbox"/>	>0 to 5	<input type="checkbox"/>	>0 to 5	<input type="checkbox"/>	>0 to 5	<input checked="" type="checkbox"/>
	>5 to 10	<input type="checkbox"/>	>5 to 10	<input type="checkbox"/>	>5 to 10	<input type="checkbox"/>	>5 to 10	<input type="checkbox"/>
	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>	>10 to 15	<input type="checkbox"/>
	>15 to 20	<input type="checkbox"/>	>15 to 20	<input type="checkbox"/>	>15 to 20	<input type="checkbox"/>	>15 to 20	<input type="checkbox"/>
BAL Value for each side of site	Low		Low		Low		Low	

3.3 Risk Assessment

Lot 1

The bushfire risk assessment at section 3.2 assesses the risk as low to the south and 12.5 to the north, east and west.

The following factors have been considered:

- Potential building site is shown on the hazard management plan requiring a hazard management area be established and maintained; and
- Access to the dwelling must comply with all requirements of Table E4 B of the Bushfire-Prone Areas Code; and
- A static water supply, with minimum capacity of 10,000L, that meets all the requirements of Table E7 of the Bushfire-Prone Areas Code will be required.

Lot 2

The following factors have been considered:

- Subdivision does not involve residential development closer to bushfire prone vegetation; and
- A hazard management area is shown on the plan which achieves BAL 12.5 where required; and
- Large overhanging trees within 5m of the dwelling to the east, north and south should be pruned to remove overhang and reduce debris to guttering and roof valleys; and
- Access to the lot meets the requirements of Table E4 B of the Bushfire-Prone Areas Code; and
- A static water supply, with minimum capacity of 10,000L, that meets all the requirements of Table E7 of the Bushfire-Prone Areas Code will be required.

Lot 3

The following factors have been considered:

- The lot is 35.16ha to be used for grazing/agriculture with no intention to include a dwelling; and
- Assessment at section 3.2 indicates the lot can achieve a BAL rating of low in the future.

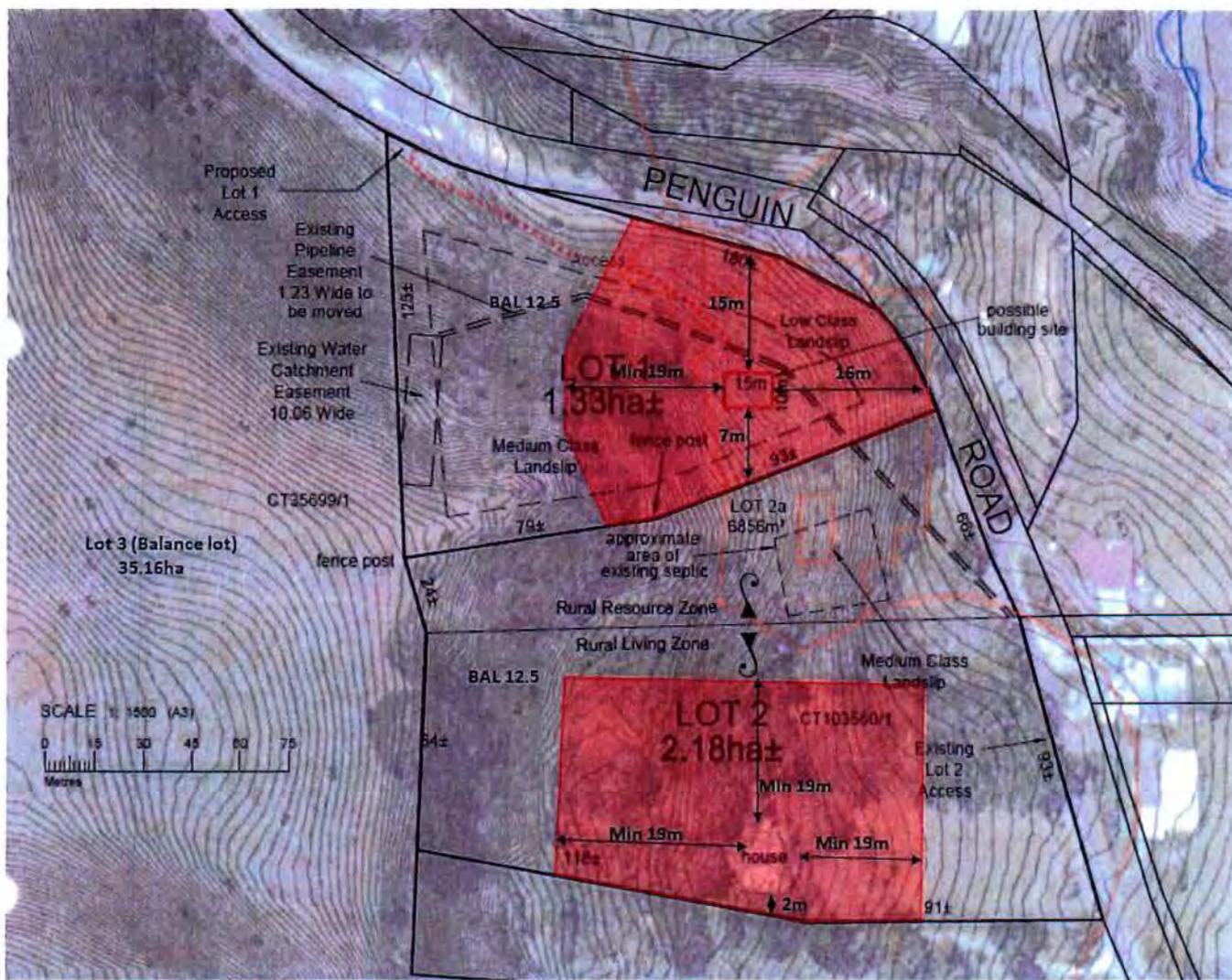
3.4 Conclusion

The proposed subdivision meets the requirements for BAL 12.5 for lot 1 and BAL 12.5 for lot 2. Lot 3 can achieve a BAL of low. These BAL ratings exceed the requirement for a minimum of BAL 19 under section E1.6.1.1 A1 (b) (iii) and (iv) of the Bushfire-Prone Areas Code.

A hazard management plan is required for lots 1 and 2 and is included in section 4 of this report.

Bushfire Hazard Management Plan

Plan and Specifications



Hazard management areas

This plan has been prepared only for the purpose of complying with EI Bushfire-Prone Areas Code and the information shown hereon must not be used for any other purpose. All dimensions and areas are in meters. Drawn: Bruce Harpley/BFP-140	Scale: NTS	Drawing No: 5617-1
	Date: 21 November 2016	Revision No: 0
This Bushfire Hazard Management Plan must be read in conjunction with the requirements detailed in Attachment B of this plan		

<p>Environmental Services and Design Pty Ltd PO Box 651 BURNIE TAS 7320 www.esandd.com.au (03) 6431 2999</p> 	<h2>Bushfire Hazard Management Plan</h2> <h3>Specification</h3>	
		<p>405 Penguin Road WEST ULVERSTONE Title Reference: 35699/1 and 103560/1</p>
<p>1.1 Introduction</p> <p>The Bushfire Attack Level (BAL) assessment is for the proposed subdivision at 405 Penguin Road West Ulverstone.</p> <p>The development will have a Hazard Management Area (HMA) surrounding the features identified on Drawing No: 5617-1.</p> <p>Vegetation greater than 1Ha within 100m (50m grassland) of the proposal site was assessed against the Acceptable Solutions Criteria of the municipal planning scheme. AS3959-2009 was used to assign a BAL level to the development utilising a range of data specific to the subject site.</p> <p>1.2 Water Supply</p> <p>The subject land is connected to municipal water supply. No fire hydrants are located within the subject area. Lot 1 and 2 require minimum 10,000L stored water supply compliant with Table E7 of the Bushfire-Prone Areas Code.</p> <p>1.3 Access</p> <p>Road access to the lots is via Penguin Road which is a Council maintained roadway that complies with municipal standards. Access to the existing dwelling is via a private access from Penguin Road. Access to lot 1 must comply with the requirements of Table E4 of the Bushfire-Prone Areas Code. Access to both lots for fire appliances is accommodated by the compliant private accesses with provision for sufficient room for the suitable manoeuvrability of vehicles to obtain access to minimum 10,000 liter water storage/hard stand area.</p> <p>Egress from the site is via a CLASS 4A road which is constructed to Standards enabling safe passage for a variety of vehicle sizes through to a State road.</p>	<p>1.4 Landscaping</p> <p>It is the responsibility of the land owner to maintain the landscaping in accordance with the Bushfire Hazard Management Plan.</p> <p>All paths and pedestrian areas within 1m of any habitable structure on the subject site must be constructed of non-combustible materials (i.e. stone, paving, concrete, pebbles etc.).</p> <p>Vegetation along pathways should be of a low flammability type and in accordance with the Tasmania Fire Services' brochure - Fire Retardant garden plants. Plants that produce a lot of debris or fine fuels should be avoided. Trees and shrubs that retain dead material in branches, or which shed long strips of bark, or rough fibrous bark, or large quantities of leaves should be avoided.</p> <p>Vines on walls or tree canopies over roofed areas should be avoided. Timber, woodchip and flammable mulches cannot be used and brush and timber fencing should be avoided.</p> <p>1.5 Hazard Management Area (HMA)</p> <p>A bushfire Hazard Management Area (HMA) will be developed within and up to the property boundaries. Refer to the Drawing No 5617-1.</p> <p>The specified width of the HMA is to enable the existing habitable building to comply to BAL 12.5 and lot 1 to comply with BAL 12.5 in the position shown on the site plan.</p> <p>This area is to be regularly maintained and managed and in particular between the months of September and March in each calendar year. Landscaping in the HMA is to be minimised, grass maintained to a maximum height of 50mm with fuel loads not exceeding 2 tonnes per hectare.</p>	<p>Pathways and landscaping material surrounding any habitable structures must be of non-combustible elements for a minimum of 1m from any external walls or decks.</p> <p>This BHMP is achieved by:</p> <ul style="list-style-type: none"> • Pathways located on the subject land to be of non-combustible materials • Fuel loads to be kept to less than 2 tonnes per hectare • Total shrub cover is to be kept to a maximum of 20% of the available area. • Clear space from any habitable structures of at least 4 times the mature height of any shrubs planted • Shrubs must not be planted in cluster forms or clumps • Remove ground level fuels and trim the bottom of tree canopies to at least a height of 2m off ground level • Minimise ground level fuels wherever possible. <p>1.6 Maintenance prior to the onset of each fire season</p> <ul style="list-style-type: none"> • Guttering on all habitable structures must be inspected and cleared of debris annually • Ensure all hoses and brass connections are in good working order • All valley and wall/roof junctions are inspected and debris removed • Roof sheeting inspected for damages or dislodged roofing materials (replace if necessary) • Painted surfaces are in good condition and decaying timbers given particular attention to repair • Screens/shutters on windows and doors are in good working condition and fit well without breaks, holes or tears • Door mats to be of non-combustible materials • Woodpiles, garden sheds and other combustible materials to be kept well away from habitable structures.

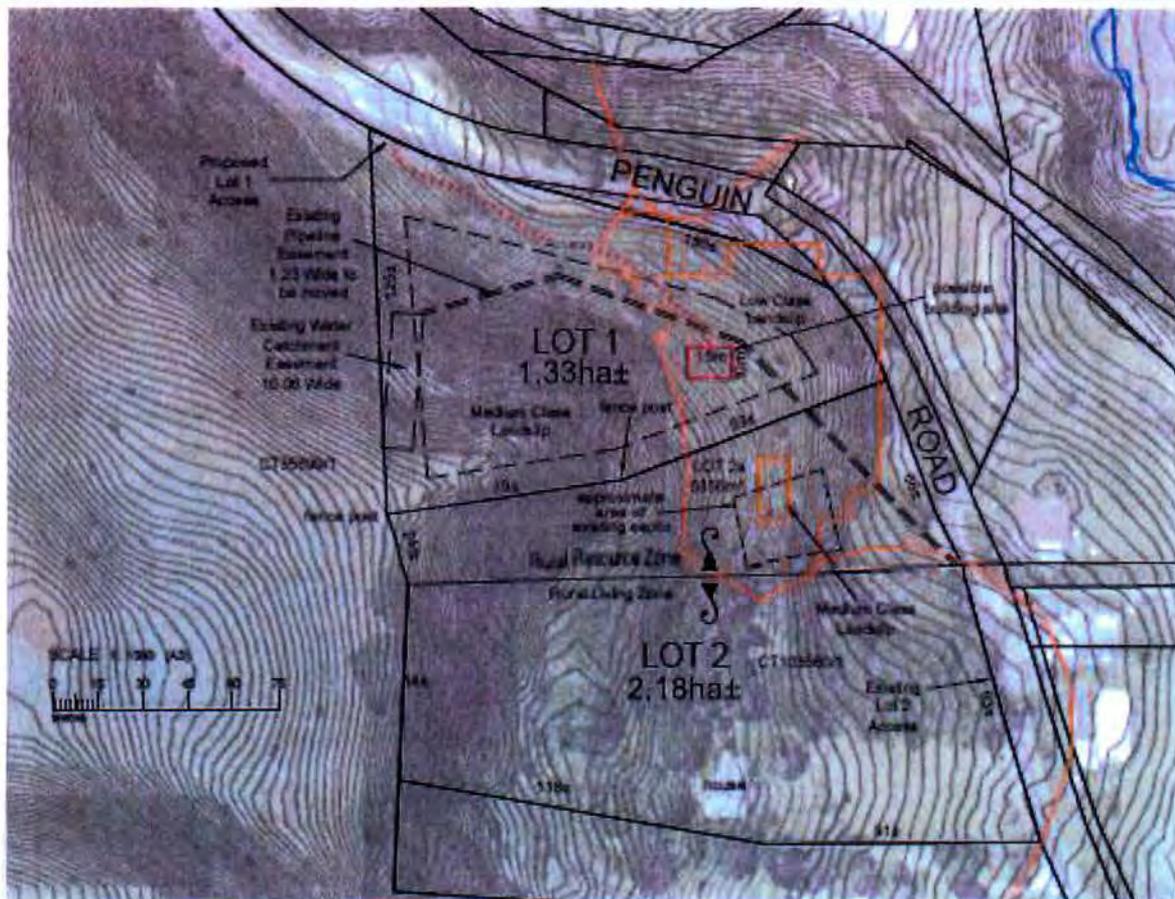
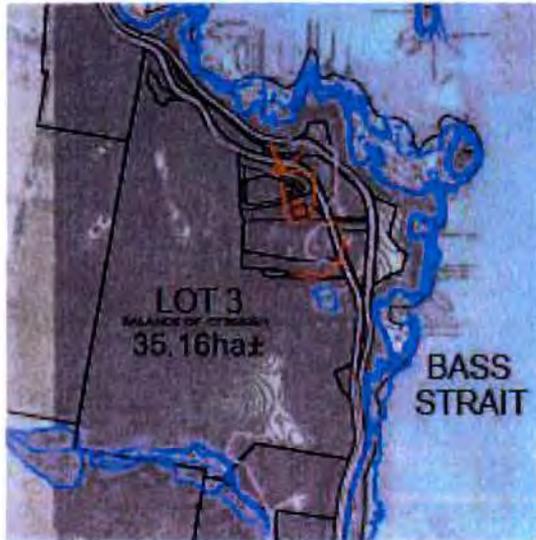
PLAN OF SUBDIVISION



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Owner BRIAN THOMAS ROBERTSON & CAVELL NOELENE ROBERTSON	Location 405 PENGUIN RD WEST, ULVERSTONE	This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown herein should be used for no other purpose. All measurements and areas are subject to final survey.
Title Ref. CT3589/1 CT103560/1	Council Central Coast Council Planning Scheme: Central Coast Council Interim Planning Scheme 2013	
Schedule Of Easements EXISTING EASEMENTS TO BE RETAINED		
Scale 1:1500 (A3)	Date 12/09/2016	Our Ref. B16385-1
GDA94 Centroid: E N		Photo Flow:





PDA Surveyors ABN 71 217 806 325

Surveying, Engineering & Planning

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 29 NOV 2016

Application No: DA216107

Doc. ID: 266439

- Compliance submission -
2 lot subdivision at Penguin Road, West Ulverstone

Prepared by: Thomas Reilly

Date: 28/11/2016

PDA Surveyors reference: D16385

Central Coast Interim Planning Scheme 2013

Provision	Applicable?	Compliant?	Comments
1.0 Identification of the Planning Scheme	No	N/A	Section 1.0 contains no applicable standards.
2.0 Planning Scheme Purpose	No	N/A	Consideration of section 2.0 is specifically excluded by 8.10.3.
3.0 Planning Scheme Objectives	No	N/A	Consideration of section 3.0 is specifically excluded by 8.10.3.
4.0 Interpretation	No	N/A	Section 4 contains no applicable standards.
5.0 General Exemptions	No	N/A	No exemptions apply to the proposed use and development.
6.0 Limited Exemptions	No	N/A	No exemptions apply to the proposed use and development.
7.0 Planning Scheme Operation	Yes	Yes	In accordance with 7.2.1, the land on which the subdivision would occur is in the Rural Living Zone and the Rural Resource Zone and is assessed below accordingly.
8.0 Application requirements	Yes	Yes	In accordance with 8.1.2, the application includes:

- (a) details of the location of the proposed use or development (see the cover letter and plan of subdivision);
- (b) a copy of the certificate of title, title plan and schedule of easements (attached);
- (c) a full description of the proposed use or development (see cover letter and compliance submission); and
- (d) a description of the manner in which the proposed use or development will operate (see cover letter and compliance submission).

9.0 *Special Provisions* No N/A No special provisions apply.

RURAL LIVING ZONE

13.1.1 <i>Zone Purpose Statements</i>	No	N/A	The existing use is Residential and there is no change proposed to that use. Therefore, in accordance with 8.10, there is no cause for consideration of the Zone Purpose Statements.
13.1.2 <i>Local Area Objectives</i>	No	N/A	The existing use is Residential and there is no change proposed to that use. Therefore, in accordance with 8.10, there is no cause for consideration of the Local Area Objectives.
13.1.3 <i>Desired Future Character Statements</i>	No	N/A	The existing use is Residential and there is no change proposed to that use. Therefore, in accordance with 8.10, there is no cause for consideration of the Desired Future Character Statements.
13.2 <i>Use Table</i>	Yes	Yes	Residential uses are permitted.
13.3.1 <i>Discretionary Permit Use</i>	No	N/A	The existing use is Residential, which is permitted.
13.3.2 <i>Impact of Use</i>	No	N/A	A1, A2 and A3 do not apply to Residential uses.
13.4.1 <i>Suitability of a site or lot for use or development</i>	Yes	Yes	<p>A1(a)</p> <p>Lot 2 would have an area of 2.18ha. 1.497ha of which would be in the Rural Living Zone.</p> <p>No changes are proposed to the location and layout of existing buildings and building areas.</p>

A1(b)

The existing use of and development on the land in the Rural Living Zone (including the access, waste and storm water systems and water supply) would not change. The existing building demonstrates that a suitable building area exists that is accessible and clear of setbacks, easements, rights of way and access strips.

There would be no change to the relationship between the existing building and any zone boundary.

A2

Lot 2 would have a frontage to Penguin Road of 159m, 93m of which would be in the Rural Living Zone. The existing access is across the Rural Living Zone frontage would be retained. No other land has a right of access over this frontage.

A3

No reticulated water supply is available. Since its construction, the dwelling has been connected to a spring water supply, gravity fed to the dwelling from the hill behind.

A4

No reticulated sewer system is available. The existing dwelling is connected to an on-site waste water system.

A5

No reticulated stormwater drainage system is available. The existing dwelling is connected to an on-site drainage system.

13.4.2 Dwelling density

Yes

Yes

A1

The site area per dwelling in the Rural Living Zone would be 1.497ha.

13.4.3 Location and configuration of development

Yes

Yes

A1 & A2

No change is proposed to the location of existing buildings. The existing residence on lot 2 is and would be 80m from the front boundary to the east, 12m from the side boundary to the south and 105m from the rear boundary to the west. The setback of the dwelling to the zone boundary is 55m and the setback to the proposed side boundary to the north would be 90m.



Looking south towards the existing dwelling.



Looking west towards the existing dwelling.

It also contains the following outbuildings:

- An existing wood shed (marked Shed 1 on the site plan) that would be at least 75m from the northern boundary and 50m from the southern boundary (see photo below).



- An existing storage shed (marked Shed 2 on the site plan) that would be 75m from the northern boundary and 40m from the southern boundary (see photo below).



- A garage (marked shed 3 on the site plan) that would be 15m from the nearest (southern) boundary (see photo below).



The height of the dwelling on Lot 2 is 8.2m. The three sheds on Lot 2 are each no greater in height than 3m.

A3

Site coverage on the Rural Living Zoned land is 2% and on the proposed lot 2 would be 1.35%.

A4

The nearest ridgeline to the dwelling is 80m above the site, 350m to the west.

The nearest water body to the dwelling is a dam that is 85m to the south-east.

The dwelling is painted sandstone and does not cause excessive reflection of light.

A5

Waste and goods are stored to the west of the dwelling behind the frontage.

A1

The existing residence on lot 2 is and would be 80m from the front boundary to the east, 10m from the side boundary to the south and 105m from the rear boundary to the west. The setback of the dwelling to the zone boundary is 55m and the setback to the proposed side boundary to the north would be 90m.

A2

The access and parking areas of the existing dwelling are no closer than 50m to the dwelling on the adjacent lot to the south.

N/A – No multiple dwellings proposed or involved.

A1

There would be no change to the relationship between the existing residence and any zone boundary. The existing residence on lot 2 is and would be setback from the Zone boundaries as follows:

- 90m from the Environmental Management Zone boundary to the east;
- 60m from the Rural Resource Zone boundary to the south;

13.4.4 Visual and acoustic privacy for residential development

Yes

Yes

13.4.5 Private open space for multiple dwellings

No

N/A

13.4.6 Setback of development for sensitive use

Yes

Yes

- 105m from the Rural Resource Zone boundary to the west, and;
- 55m from the Rural Resource Zone boundary to the north.

A2

The site is not nearby a major road identified in the Table, land designated in the planning scheme for future road or rail purposes or a proclaimed wharf area. The Western Line is over 150m away to the east.

13.4.7 Subdivision

Yes

Yes

A1

Lot 2 is intended for Residential use.

P2

(a) Lot 2 has and would have a frontage to Penguin Road. There would be no change to the location of the existing access.

13.4.8 Reticulation of an electricity supply to new lots on a plan of subdivision

Yes

Yes

Penguin Road is currently serviced by an overhead power network. The existing dwelling is currently connected to that network by an overhead site connection.

No change is proposed to that connection arrangement.

RURAL RESOURCE ZONE

26.1.1 Zone Purpose Statements

Yes

Yes

The Agricultural Report by Macquarie Franklin addresses consistency of the proposed development with the Zone Purpose Statements.

26.1.2 Local Area Objectives

Yes

Yes

The Agricultural Report by Macquarie Franklin addresses compliance with the Local Area Objectives.

26.1.3 Desired Future Character Statements

Yes

Yes

The Agricultural Report by Macquarie Franklin addresses compliance with the Local Area Objectives. It is noted that the report addresses superseded criteria of the Planning Scheme but it is considered that the difference is not significant in terms of compliance.

It is noted that the Desired Future Character Statements acknowledge that use or development on rural land may be interspersed with small-scale residential settlement nodes (26.1.3(b)(i)). The proposed residential use on lot 1 would be part of an existing residential settlement node containing 9 dwellings within reasonable proximity to each other.

26.2 Use Table

Yes

Yes

Resource Development use on lot 3 (Rural Resource Zone) is permitted. Residential use on lot 1 and the 6856m² of land on lot 2 (Rural Resource Zone) is discretionary. Residential use in the Rural Living Zoned land on lot 2 is permitted.



'The top paddock' - Looking west from the existing shed on the proposed lot 3.

26.3.1 Requirement for discretionary non-residential use to locate on rural resource land

No

N/A

No discretionary non-residential use is involved or proposed.

26.3.2 Required residential use

No

N/A

No required residential use is involved or proposed.

26.3.3 Residential use

Yes

Yes

The Agricultural Report by Macquarie Franklin addresses compliance with 26.3.3.

26.4.1 Suitability of a site or lot on a plan of subdivision for use or development

Yes

Yes

A1(a)

Lot 1 would have an area of 1.33ha.

Lot 2 would have an area of 2.18ha, 6856m² of which would be in the Rural Resource Zone.

Lot 3 is intended for agricultural use.

A1(b)

In accordance with A1(b), lot 1 would have a building area with the following characteristics:

- (i) of suitable size;
- (ii) clear of all setbacks;
- (iii) clear of zone boundary setbacks;
- (iv) clear of easements;
- (v) clear of rights of way;
- (vi) clear of utilities;
- (vii) clear of access strips;
- (viii) suitably accessible from the frontage (see access assessment by CSE Tasmania).

The 6856m² of Rural Resource Zoned land on the proposed lot 2 contains an existing on-site waste water management system that is suitably situated and accessible in relation to the access and the remainder of lot 2.

Lot 3 is not intended for a building.

P1

Lot 2 would have an area of 2.18ha, 6856m² of which would be in the Rural Resource Zone. No buildings are proposed for this area of land but in accordance with P2(a), the site would be accessible from the existing access to Lonah and it would be of suitable configuration for the intended use.

A2 (a)-(d)

Lot 1 would have a 180m frontage to Penguin Road, which is not required as a means of access for any other property. The location of the access to the lot 1 would be as shown on the Plan of Subdivision and the access assessment by CSE Tasmania.

Lot 2 would have a 159m frontage to Penguin Road, 66m of which would be in the Rural Resource Zone. The frontage is not required as a means of access for any other property. The location of the existing access and the nature and frequency of use of the access (which is in the Rural Living Zone) would remain unchanged.

Lot 3 would have a 660m frontage to Penguin Road. However, the only access to lot 3 would be at the south eastern corner of the property from Robertsons Road via a right of way over 12 and 14 Robertsons Road. Contrary to A2(c)(i), this right of way is over land that is require as the means of access to both the 12 and 14 Robertsons Road.

It is proposed that lot 3 is benefitted by a right of way over the proposed access to lot 1. This would enable occasional farm related traffic to access this side of the property for emergency purposes and occasional purposes such as fencing and attending to maintenance of the farm operations. Due to the infrequency of use of the access (estimated once every three months) no internal driveway would be proposed. Farm vehicles would be parked on the ROW in a small parking area and from there, access would need to be by foot due to the nature of the terrain.

A2(e)

The proposal has been submitted to the Council's road authority for advice in relation to *Local Government (Highways) Act 1982* or the *Roads and Jetties Act 1935*.

P2

The existing 35699/1 is benefitted by a right of way over 14 and 14 Robertsons Road as per the are the standard definition of right of carriageway under the *Conveyancing and Law of Property Act 1884* below:

Right of carriage way

Full and free right for every person who is at any time entitled to an estate or interest in possession in the land herein indicated as the dominant tenement or any part thereof with which the right shall be capable of enjoyment, and every person authorized by him, to go, pass, and repass at all times and for all purposes with or without animals or vehicles or both to and from the said dominant tenement or any such part thereof.

In accordance with the requirements of the Recorder of Titles, this same right would be transferred to lot 3.

In accordance with P2(a), cooperation and effective long term management of the land subject to the right of way has been facilitated by the existing compacted gravel driveway. No change is proposed to the nature of the use of that driveway. With this infrastructure in place, and provided all affected parties act in a reasonable manner, access to lot 3 would be both reasonable and secure.



Looking north from Robertsons Road to the entrance to the right of way over 12 and 14 Robertsons Road.

A3

A future dwelling on lot 1 would be serviced by a rechargeable drinking water system with a storage capacity of not less than 10,000 (in addition to water required for fire-fighting purposes).

Since its construction, the dwelling has been connected to a spring water supply, gravity fed to the dwelling from the hill behind.

Lot 3 is not required to provide a rechargeable drinking water system because the use is and would be agricultural.

A4

Lot 1 is capable of containing an on-site waste water management system in accordance with AS/NZS1547:2012 On-site domestic-wastewater management (see Tasman Geotechnics report at page 6, paragraph 6.4).

The Rural Resource Zoned land on lot 2 would contain the existing on-site waste water management system for the existing dwelling which would be wholly contained within the lot boundary.

Lot 3 is an agricultural property and therefore is not required to provide a means of sewerage drainage.

A5

Lot 1 is capable of containing an on-site storm water management system (see Tasman Geotechnics report at page 6, paragraph 6.4).

The dwelling in lot 2 is currently serviced by a functioning on-site storm-water management system. The location of the on-site stormwater management system is unknown but is likely to be reasonably proximate to the dwelling and in the Rural Living Zone.

26.4.2 Location and configuration of development

Yes

Yes

Lot 3 is an agricultural property and therefore is not required to provide a means of storm-water drainage.

A1

The Plan of Subdivision submitted herewith is to scale.

Lot 1 - As shown on the Plan of Subdivision, the 10m x 15m building area on lot 1 would be contained within the front, side and rear boundary setbacks (shown by broken black lines).

Lot 2 – No building exists or is proposed for the Rural Resource Zoned section of lot 2. The existing waste water system on the Rural Resource Zoned section of lot 2 would be contained with the boundaries of lot 2.

Lot 3 – Lot 3 contains a farm shed in the south-eastern corner of the lot that is and would be at least 40m from any boundary.



The existing shed on the proposed lot 3.

A2

No above ground building is involved on the Rural Resource Zoned section of lot 2.

The height of the farm shed on lot 3 is 6.5m.

Future buildings on any lot are capable of complying with the height standards.

A3

No new buildings are proposed and hence there would be no change to the location of buildings relative to a ridgeline, a water body or a woodland. There is also no change proposed to the cladding of any existing building.

Future buildings on Rural Resource Zoned land can be clad appropriately to comply with the applicable standards.

26.4.3 Location of
development for sensitive uses

Yes

Yes

P1

The building area on lot 1 would be 100m from agricultural land to the west. The Macquarie Franklin report does not specifically address 26.4.3 but in relation to 26.4.3 P1, it does state as follows:

Lot 1 and 2a is covered by land that is impractical for use as agricultural land beyond its use for marginal pastoral use, and realistically has minimal to nil agricultural value. (pg 18)

The opportunity to retain Lot 1 and 2a as per the current property title does not improve and/or increase its agricultural value and/or productivity potential due to the size of land involved, topographic limitations and other associated land capability restrictions. (pg 18)

Comment:

The agricultural consultants statements indicate that in accordance with P1(a), the permanent loss of land for existing and potential primary industry use is minimal.

The Macquarie Franklin also states as follows:

The proposed development will have minimal or no unreasonable impact on the agricultural activities on the neighbouring farmland (pg 19).

Comment:

The agricultural consultants statements indicate that in accordance with P1(b) the likelihood of constraint or interference to existing and potential primary industry use on the site and on adjacent land is minimal.

P1(c)&(d).

The subdivision is not within a proclaimed irrigation district and not likely to adversely affect the operability and safety of a major road, a railway or a utility.

26.4.4 Subdivision	Yes	Yes	The Agricultural Report by Macquarie Franklin addresses compliance with 26.4.4.
26.4.5 Buildings for Controlled Environment Agriculture	No	N/A	N/A

CODES

E1 Bushfire-Prone Areas Code	Yes	Yes	The Bushfire Report by ES&D addresses compliance with E1.
E2 Airport Impact Management Code	No	N/A	N/A – The site is not within operational airspace.
E3 Clearing and Conversion of Vegetation Code	No	N/A	<p>The only vegetation to be removed from the site would be for the purpose of construction of the future access and dwelling. Therefore, it is unlikely that significant vegetation removal would result from the proposed subdivision.</p> <p>In accordance with the recommendations of the Tasman Geotechnics report all vegetation necessary for maintaining slope stability would be retained.</p>

E4 Change in Ground Level Code	Yes	Yes	Construction of a future dwelling on lot 1 and the internal driveway to that dwelling would involve some excavation. Such excavation and the associated embankments and retaining structures would be conducted and constructed in accordance with the recommendations of the Tasman Geotechnics report.
E5 Local Heritage Code	No	N/A	N/A – No local heritage affected. However, see exemption from Heritage Tasmania.
E6 Hazard Management Code	Yes	Yes	The Tasman Geotechnics report addresses compliance with E6. In accordance with E6.4.3(d), resource development use on lot 3 is exempt from the operation of the Code.
E7 Sign Code	No	N/A	N/A – no signage proposed.
E8 Telecommunication Code	No	N/A	N/A – no telecommunications facilities involved.
E9 Traffic Generating Use and Parking Code	Yes	Yes	E9.5.1 With 1.33ha for Lot 1, 2.18ha for lot 2 and 35.16ha for Lot 3 and with established parking and loading areas on lots 2 and 3, it is reasonably apparent that there would be adequate circumstances for the parking of vehicles associated with each respective use.

E9.5.2

Loading and unloading for lot 3 would occur in the same manner as present with no expected change. It would be loading and unloading of primary produce and performed as needed, where needed.

E9.6.1 A1 – There would be no changes to the existing driveway and parking circumstances of lots 2 and 3 and no changes to the frequency or timing of traffic movements.

The access and driveway to lot 1 would be designed and constructed at the time a dwelling is proposed. Future approvals processes can ensure that it is undertaken in accordance with the requirements of the Tasman Geotechnics report in a matter that appropriately controlled stormwater collection, drainage and disposal. Future approvals processes can ensure that the principles and requirements in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB are followed.

It is proposed that lot 3 is benefitted by a right of way over the proposed access to lot 1. This would enable occasional farm related traffic to access this side of the property for

emergency purposes and purposes such as fencing and attending to maintenance of the farm operations. Due to the infrequency of use of the access by farm vehicles (estimated once every three months) and the ability of farm vehicles to traverse these terrains, no internal driveway is considered to be necessary.

E10 Water and Waterways Code	Yes	Yes	<p>Lot 3 contains one dam entirely within its border and one that is shared among three properties. The subdivision and future residential use would have no impact on the use and environmental qualities of these waterways.</p> <p>No use or development is proposed that would have any impact on a water way.</p>
Specific Area Plans	No	N/A	N/A – No Specific Area Plans involved.

Local Government (Building & Miscellaneous Provisions) Act 1993

Section 85 - Local Government (Building & Miscellaneous Provisions) Act 1993

The council may refuse to approve a plan of subdivision if it is of the opinion –

(a) that the roads will not suit the public convenience, or will not give satisfactory inter-communication to the inhabitants both of the subdivision and the municipal area in which it is; or

(b) that the drainage both of roads and of other land will not be satisfactorily carried off and disposed of; or

(ba) that the land is not suitable for an on-site effluent disposal system for all or specified kinds of effluent from each block; or

This provision only applies to the design of roads. The proposed access to lot 1 and the existing accesses to lots 2 and 3 can support use and development.

Waste and storm water disposal for future use and development can be appropriately managed on-site.

Issue addressed above at 26.4.1 A4 & A5.

(c) that the site or layout will make unduly expensive the arrangements for supply of water and electricity, connection to drains and sewers and the construction or maintenance of streets; or

(d) that the layout should be altered to include or omit –

(i) blind roads; or

(ii) alleys or rights of way to give access to the rear of lots; or

(iii) public open space; or

(iv) littoral or riparian reserves of up to 30 metres in from the shore of the sea or the bank of a river, rivulet or lake; or

(v) private roads, ways or open spaces; or

(vi) where the ground on one side is higher than on the other, wider roads in order to give reasonable access to both sides; or

(vii) licences to embank highways under the Highways Act 1951; or

(viii) provision for widening or deviating ways on or adjoining land comprised in the subdivision; or

(ix) provision for the preservation of trees and shrubs; or

(e) that adjacent land of the owner, including land in which the owner has any estate or interest, ought to be included in the subdivision; or

The site is not currently serviced by water or drainage. The proposed layout is considered to be the most economical means of providing dwellings with electricity and access to a road.

It is considered that providing a fully constructed road with electricity connections to service allotments on this site would make the provision of such services unduly expensive.

N/A

The rear of all relevant lots can be accessed without need for new alleys or rights of way.

The land is not suitable for public open space.

There are no rivers, rivulets or lakes that occur on any lot and therefore no requirement for a littoral or riparian reserve.

No foreseeable benefit.

No roads involved in the subdivision.

Any requirements for embankments would be considered on a case by case basis.

Any provision for widening or deviating ways would be considered on a case by case basis.

Trees and shrubs would be retained in accordance with the Tasman Geotechnics report.

No foreseeable benefit.

(f) that one or more of the lots is by reason of its shape in relation to its size or its contours unsuitable for building on; or

(g) that one or more of the lots ought not to be sold because of –

(i) easements to which it is subject; or

(ii) party-wall easements; or

(iii) the state of a party-wall on its boundary.

Issue addressed above in the assessment of the development standards of each zone and in the applicable codes.

There are no easements on the land that would affect the potential for each lot to support appropriate use and development.

There are no party walls on the land that would affect the potential for each lot to support appropriate use and development.

There are no party walls on the land that would affect the potential for each lot to support appropriate use and development.

Local Government

NOTICE OF APPLICATION FOR LAND USE PERMIT

(Section 57(3) Land Use Planning and Approvals Act 1993)

The following application for use and development of land has been received:-

Application No: DA 2017/21
 Site: 48 Cascade Road
 ROMAINE (CT: 104196/6)
 (Outbuilding) Shed

Proposal: Reliant on performance criteria for grant of permit - Clause 13.4.3 Location and configuration of development (P4)

The application and documentation may be viewed at the Burnie City Council Offices, Ground Floor, 80 Wilson Street, Burnie between 8.30am - 5.00pm Monday to Friday inclusive or on Council's website at www.burnie.net

Any person may make representation relating to an application. Representations regarding the proposal should be in writing addressed to the General Manager, Burnie City Council, PO Box 973, Burnie 7320 or burnie@burnie.net to be received no later than 5.00pm on 28 April 2017.

Dated: 8 April 2017
 Andrew Wardlaw
 GENERAL MANAGER

www.burnie.net



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Local Government



APPLICATIONS FOR PLANNING PERMITS

S.57 Land Use Planning and Approvals Act 1993

The following applications have been received:

- Location: 405 Penguin Road & CT35699/1 Penguin Road, West Ulverstone
 Proposal: Residential (three lots) - discretionary use and development in the Rural Resource zone
 Application No.: DA216107
- Location: 8 Tasma Parade, West Ulverstone
 Proposal: Visitor Accommodation (four serviced apartments) - variation to rear and side boundary setback; location of car parking and loading and unloading of vehicle; and proximity to a waterway standards
 Application No.: DA216132
- Location: 6 Davis Street, Leith
 Proposal: Residential (dwelling) and outbuilding (shed) - development exposed to a natural hazard (landslide)
 Application No.: DA216167
- Location: 146A Main Street, Ulverstone
 Proposal: Residential (multiple dwellings x three) - variation to rear boundary setback and building envelope
 Application No.: DA216171
- Location: 22 & 22A Alexandra Road, Ulverstone
 Proposal: Residential (multiple dwellings x four) - variation to front and rear boundary setback; open space; proximity to a rail line; and car parking standards
 Application No.: DA216180
- Location: CT237081/1 McKennas Road, Gawler
 Proposal: Subdivision (dwelling excision) - discretionary use and development in a Rural Resource zone
 Application No.: DA216189
- Location: 188 Stubbs Road, Turners Beach
 Proposal: Residential (dwelling) and outbuilding (garage) - variation to standard for setback from the Rural Resource zone
 Application No.: DA216191
- Location: 24 & 24A King Edward Street, Ulverstone
 Proposal: Demolition of a building and General retail and hire (pharmacy) - variations to on-site car parking and loading; vehicle manoeuvring; location of main pedestrian entrance; street awning; and length of boundary wall standards
 Application No.: DA216200

Local Government

KENTISH COUNCIL

APPLICATION FOR PLANNING PERMIT

S.57 LAND USE PLANNING AND APPROVALS ACT 1993

Applications for the following have been received:

APPLICATION NO: DA 2017/0024

PROPOSAL: Proposed pilot accommodation with reliance on Performance Criteria under the Rural Living Specific Area Plan (residential use, pitch of roof & colour of cladding)

SITE: 3845 Craffie Mountain Road, Craffie Mountain

APPLICATION NO: DA 2017/0025

PROPOSAL: Proposed shed extension with reliance on Performance Criteria under the Rural Living zone provisions (reduced setback & site coverage)

SITE: 56 Cornwall Road, Acacia Hills

APPLICATION NO: DA 2017/0026

PROPOSAL: Proposed poolroom with reliance on Performance Criteria under the Water and Waterways Code

SITE: West Kentish Road, West Kentish (CT 242900/2)

The applications and associated materials will be available for inspection at the Council Office during normal office hours or at www.kentish.tas.gov.au for a period of fourteen (14) days (not including the period 14th of April 2017 to 18th of April 2017) from the date of publication of this notice. During this time, any person may make representation in relation to the proposal by letter, addressed to the General Manager, PO Box 63, Sheffield 7306 or by e-mail to council@kentish.tas.gov.au.

WEED SPRAYING PROGRAM

Kentish Council advises that its roadside weed spraying program will commence Monday 10 April 2017 for a period of approximately 6 weeks.

Property owners may request that their property frontage not be included in the spraying program by contacting Paul Vlachich on 0428 519 086 before 10 April 2017.

Further information regarding registration on the No Spray List and the property owner's responsibilities can be found at www.kentish.tas.gov.au

Dated at Sheffield this 8th day of April 2017.

Gerald Monson
 GENERAL MANAGER



19 King Edward Street
 Ulverstone, Tasmania 7315

Tel. 03 6429 8900
 Fax 03 6425 1224
www.centralcoast.tas.gov.au

Location: 34 Jermy Street, Ulverstone
 Proposal: Residential (outbuilding - garage and verandah) - variation to side boundary setback standard

Application No.: DA216181

The applications may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during office hours (Monday to Friday 8.00am to 4.30pm) and on the Council's website. Any person may make representation in relation to the applications (in accordance with s.57(5) of the Act) by writing to the General Manager, Central Coast Council, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the Local Government (Meeting Procedures) Regulations 2015. Representations must be made on or before 26 April 2017.

EASTER WASTE ARRANGEMENTS

Notice is given of the following arrangements for Council Waste Management and Recycling services during the 2017 Easter period.

Operating times are as normal outside of the changes specified below:

Domestic Refuse Collection

- Collection scheduled for Friday, 14 April (Good Friday) in the Penguin area will occur on Thursday, 13 April

Resource Recovery Centre

- Closed on:
 - Friday, 14 April (Good Friday)
 - Sunday, 16 April (Easter Sunday)
 - Monday, 18 April (Public Holiday)

Castra Transfer Station

- Closed on Friday, 14 April (Good Friday)

Preston Transfer Station

- Closed on Friday, 14 April (Good Friday)

South Riana Transfer Station

- Closed on Sunday, 16 April (Easter Sunday)

INTERRUPTIONS TO TRAFFIC - GUNNS PLAINS ROAD, GUNNS PLAINS

Notice is given to all motorists that rehabilitation works on Gunns Plains Road, Gunns Plains will commence on Monday, 10 April 2017 for approximately four months. Some minor delays may be experienced.

For further information please contact the Council on tel. (03) 6429 8900.

The Council regrets any inconvenience caused by the work.

Dated at Ulverstone this 6th day of April, 2017.

SANDRA AYTON
 General Manager

Local Government



EASTER GARBAGE/RECYCLING COLLECTION

Residents are advised that there will be no interruption to the normal household refuse wheeler bin collection or kerbside recycling collection schedule over the Easter period for 2017.

WASTE TRANSFER STATION CLOSURE NOTICE

The Wynyard Waste Transfer Station will be closed on Good Friday, Friday 14th April 2017 and will reopen at 10am Saturday 15th April 2017

APPLICATIONS FOR PLANNING PERMITS

Notice is given that applications have been made for the following discretionary permits:-

No: DA 40/2017
 Location: 106 Inglis Street Wynyard
 Applicant: Abel Drafting Services
 Zoning: General Residential
 Use Class: Residential
 Proposal: Carport
 Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P3)

No: DA 44/2017
 Location: 5 Inglis Drive Wynyard
 Applicant: Luke Jones, Hotondo Homes North West Tas
 Zoning: General Residential
 Use Class: Residential
 Proposal: Dwelling
 Discretionary Matter: Setbacks and building envelope for all dwellings (10.4.2 P1, P3) & Sunlight and overshadowing for all dwellings (10.4.4 P1)

No: SD 2016
 Location: 130 Reservoir Drive Wynyard (CT 234487/1)
 Applicant: Michael Wells, EnviroPlan
 Zoning: Rural Living
 Use Class: Residential & Resource Development
 Proposal: Subdivision (1 into 2 lots)
 Discretionary Matter: Subdivision (13.4.7 P1, P2), Retiulation of an electricity supply to new lots on a plan of subdivision (13.4.8 P1) & Use likely to be exposed to a natural hazard (E6.5.2 P1)

The application and associated plans and documents will be available for inspection during normal office hours for the exhibition period at the Council Office, Saunders Street, Wynyard or viewed on Council website www.warwyn.tas.gov.au. Any person who wishes to make representations in accordance with the Land Use Planning and Approvals Act 1993, must do so during the exhibition period. Representations in writing will be received by the General Manager, P.O. Box 168, Wynyard, 7325, email council@warwyn.tas.gov.au by Wednesday 26 April 2017.

Dated at Wynyard this 8th day of April 2017

Michael Stretton
 General Manager
 PO Box 168
 Wynyard 7325




Local Government

TEMPORARY ROAD CLOSURE

ANZAC DAY - APRIL 25

In accordance with the Local Government (Highways) Act 1982, the public is advised that for the purpose of activities connected with the preparation and staging of the Latrobe ANZAC Day Dawn Service and Citizens Commemorative Service on April 25, the said event being declared to be a public function for the purpose of the section, the following roads will be closed to through traffic -

- JAMES STREET between Gilbert Street and George Street, Latrobe at 5:30am until 5:55am and 9:30am until 9:55am
- GILBERT STREET between James Street and Hamilton Street from 5:40am until 6:00am and from 9:45am until 10:00am.
- GILBERT STREET from Hamilton Street to Barclay Street including the junction of Weld Street and access to the Station Square car park from 5:40am until 6:45am and again from 9:45am until 11 am

Through traffic during the road closures will be detoured via Cotton Street, Latrobe.

In the event of wet weather, the Services will be held at the Latrobe Memorial Hall.

Dated at Latrobe this 8th day of April, 2017.

P Freshney, Mayor

Latrobe Council, 170 Gilbert Street, Latrobe, 7307

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Local Government



INVITATION FOR EXPRESSIONS OF INTEREST

EDUCATION & TRAINING ADVISORY COMMITTEE

West Coast Council is seeking Expressions of Interest from suitably qualified and experienced individuals with West Coast interests for appointment to Council's Education & Training Advisory Committee.

The primary objective of this advisory committee is to drive forward and enhance education and training initiatives for the region, and to make recommendations to Council on critical issues and education and training opportunities generally. The committee will meet approximately six times per year, reporting to Council formally each quarter.

Members will be expected to focus on (and represent) the broad interests of the West Coast community, rather than those of any particular individual or organisation(s).

Members will be formally appointed by Council and membership is entirely voluntary.

Expressions of interest must address the Selection Criteria and provide details of the applicant's experience, skills, knowledge and qualifications and how they would apply these to assist in the Committee's functions as outlined in the Education & Training Advisory Committee Charter.

The charter, as well as further information, can be obtained by contacting the committee Secretariat, Simon Lee on 0419 390 912 or via email ecodev@westcoast.tas.gov.au

Expressions of interest should be forwarded to: Education & Training Advisory Committee Selection Panel, PO Box 63 Queenstown Tas 7467.

Expressions of Interest close 5pm Friday 28 April 2017.

TAS164292

Public Notices

TEMPORARY ROAD CLOSURE

ANZAC DAY - APRIL 25

In accordance with the Local Government (Highways) Act 1982, the public is advised that for the purpose of activities connected with the preparation and staging of the Latrobe ANZAC Day Dawn Service and Citizens Commemorative Service on April 25, the said event being declared to be a public function for the purpose of the section, the following roads will be closed to through traffic -

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Through traffic during the road closures will be detoured via Cotton Street, Latrobe.

In the event of wet weather, the Services will be held at the Latrobe Memorial Hall.

Dated at Latrobe this 8th day of April, 2017.

P Freshney, Mayor

Latrobe Council, 170 Gilbert Street, Latrobe, 7307

EASTER HOLIDAY 2017

OPENING HOURS

The Advocate's offices at 39-41 Alexander Street, Burnie and 45 Best St, Devonport will be closed from 5pm, Thursday, April 13 and reopen on Tuesday, April 18 at 9am.

The Advocate will not be published on Good Friday.

The Advocate Classifieds Phone Lines will be open from 1.30 till 5.30pm on:

Saturday, April 15
 Easter Sunday, April 16
 Monday, April 17

Phone 1300 363 789

Email: classifieds@theadvocate.com.au



Annexure 3

19 April 2017

The General Manager,
Central Coast Council,

Dear Sir / Madam

CENTRAL COAST COUNCIL
Division Plan - Ian S
Rec'd **19 APR 2017**
File No
Doc. Id 266907

We wish to lodge a formal objection to the proposed development at 405 Penguin Road, application number DA216107, on two grounds.

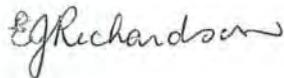
Firstly, the proposed subdivision into three lots will allow this farm to have two houses, both of which will be sited on titles significantly smaller than previously allowed in rural areas. There have been prior requests to Council for permits to build residences for family members of farmers and workers, that have been refused because of restrictions applying to rural properties. Therefore we believe that if this proposal is permitted, all rural landowners within the Central Coast Council area should be notified that the criteria for extra dwellings on farms have been changed, as a precedent will have been set.

Secondly, the proposed access to Penguin Road from the block where it is proposed to build a dwelling, is totally unsuitable and downright dangerous. Where the proposed access enters Penguin Road, it has corners close to it on each side as well as a rise in the road on the Eastern side of the proposed access. The proximity of these corners does not give motorists enough line of sight of either an entering or exiting vehicle from this proposed access. You also need to consider that this is a popular tourist road with some great scenery, so this means that visiting drivers will be concentrating on the views that Penguin Road has to offer. It will be even more dangerous if vehicles leaving this proposed access are permitted to cross lanes and turn to towards Ulverstone. We invite all Councillors to come and inspect the site for themselves before any approval is granted, and we are sure that the unsuitability of this access will be obvious. We also note that neither the Police or Transport Department have been consulted about this access. The proposed access will be very difficult for heavy vehicles to enter from the Ulverstone side. This will not only be an issue during construction of the road and any dwelling for any concrete trucks and other building supplies, but an ongoing issue for any large delivery vehicles, Aurora , Fire Trucks etc. It will also be an extremely dangerous place for the rubbish and recycling trucks to stop on collection days every week.

As well, there is a pull off bay virtually opposite which is used frequently by tourists as well as locals. Add to this the many cyclists that use this road and are passed by motorists in this section, the potential for accidents is high. As residents of Penguin Road , we believe that the only safe place for access to and from this proposed block, is where the existing Lonah driveway is now.

The last thing that the local residents and businesses want is a further reduction of the already low 70 Kilometres per hour speed limit of Penguin Road because of a dangerous access being approved by Council

Yours Sincerely



Philip and Elly Richardson
517 Penguin Road, Penguin
Phone: 0418 384 102

Annexure 4



405 Penguin Road & CT35699/1 Penguin Road, West Ulverstone



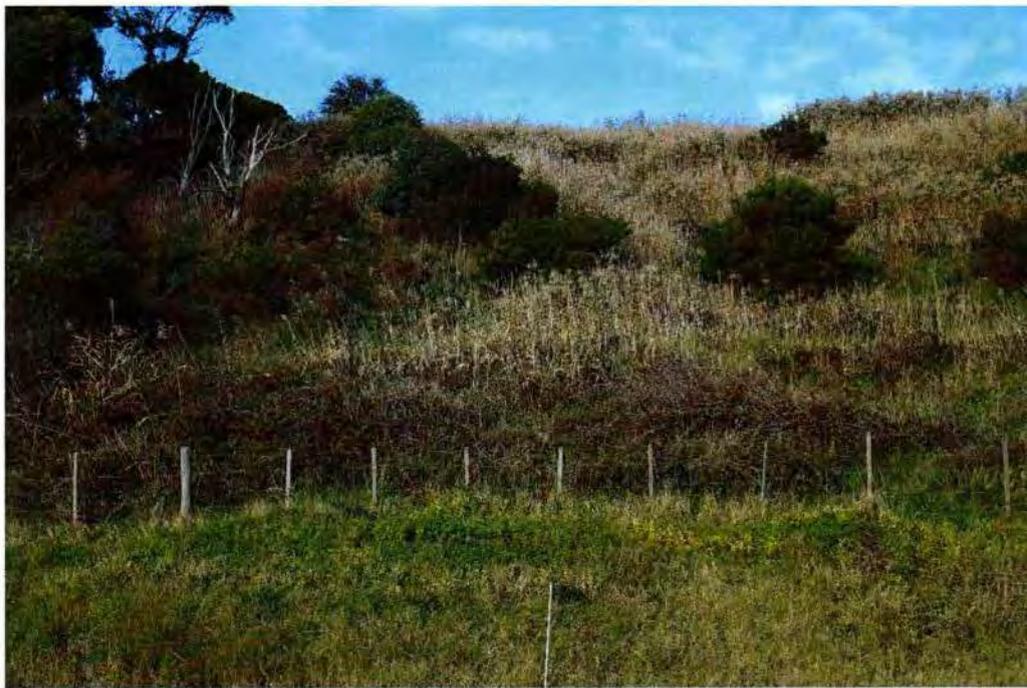
"Lonah" – 405 Penguin Road, West Ulverstone



"Lonah" – 405 Penguin Road, West Ulverstone



Adjoining land CT35699/1 Penguin Road, West Ulverstone – site of proposed access to Lot 1



Adjoining land CT35699/1 Penguin Road, West Ulverstone



Adjoining land CT35699/1 Penguin Road, West Ulverstone – site of proposed access to Lot 1



Adjoining land CT35699/1 Penguin Road, West Ulverstone – site of proposed access to Lot 1



Adjoining land CT35699/1 Penguin Road, West Ulverstone



Adjoining land CT35699/1 Penguin Road, West Ulverstone – view of rural holding from Penguin Road, south of “Lonah” and “Little Lonah”



Adjoining land CT35699/1 Penguin Road, West Ulverstone – view of rural holding from Penguin Road, south of “Lonah” and “Little Lonah”



05 May 2017

John Kersnovski
Group Leader Land Use Planning
Central Coast Council
PO Box 220
Ulverstone TAS 7315

Our ref: 2126243-96114
Your ref: DA216107

Dear Sir,

**Sub-division Proposal (3 lots), 405 Penguin Road, Penguin
Peer Review - Landslide Risk Assessment as part of Application, DA216107**

Introduction

Council has received a subdivision application for the above property. The site is within an area of moderate and low landslide risk as contained on landslide risk maps prepared by the State government and which form part of the Council's planning scheme (the Central Coast Interim Planning Scheme 2013).

The Application was accompanied by a Landslide Risk Management report prepared by Tasman Geotechnics. This accompanying report is the subject of a peer review reported herein as to its technical adequacy. In particular, its quality by way of reference to the technical guidelines prepared by the Australian Geomechanics Society (AGS, 2007).

Background

The application contains a Landslide Risk Assessment prepared by Tasman Geotechnics. Assessment staff were not sure about the adequacy of the report and referred it to the Senior Geologist in the Department of State Growth. His response indicated numerous weaknesses in the Tasman Geotechnics report. The Council requested that Tasman Geotechnics update their report in accordance with the Senior Geologist's comments, which it did. A revised report was submitted on the 2 February 2017. That report was also sent to the Senior Geologist for his comments. On the 9 February 2017, the Senior Geologists responded and again his comments were critical.

The Council has decided to have the geotechnical peer reviewed by an expert geotechnical engineer who, in the event of an appeal, is able to defend decisions Council makes in accordance with the peer review comments.

GHD Geotechnics has been requested by Council (Doc Ref: DA216107, 20 February, 2017) to undertake a peer review of the Tasman Geotechnical reports and provide the following advice to Council:

1. Whether the reports are adequate in their assessment of the site, particularly in relation to the requirements of a Hazard Risk Assessment as defined in the Hazard Management Code;
2. Whether the Acceptable Solutions of E6.6.2 of the Hazard Management Code are satisfied;
3. If not under 1 or 2 what additional information or research is required;
4. Whether the conclusions and recommendations are sound; and
5. Whether Council should approve or refuse the application on the basis of responses to 1-4.

Review

The basis of the landslide assessment component of Landslide Risk Management is an understanding of the slope-forming processes that are present and acting at the site under study. It is the slope-forming processes that impose instability upon the landform. It follows that so it is incumbent within reporting the assessment that this understanding is presented to the readers or reviewers of such reports in a manner which illustrates this understanding and develops a cogent and rational of the processes and how instability may be manifest, and how it may be ultimately managed at an appropriate risk level.

It is important that this process be appreciated such that a risk assessment can be appraised.

The Australian Geomechanics Society developed technical guidelines for Landslide Risk Management (AGS 2007) to assist practitioners, regulators and the general public in the processes involved in this process. The review of the report prepared by Tasman Geotechnics has undertaken through comparison with the guideline provided in AGS 2007c and AGS 2007d in particular, which are a Practice Note Guideline and its Commentary.

AGS (2007c) includes a section on Reporting Standards. That section is copied in **Figure A**. An appraisal of the Tasman Geotechnics report with respect to the nominated reporting standards is provide in **Table A**.

Table A: review of Tasman Geotechnics report vis-à-vis AGS (2007)

	Item	Comment in regard to reporting by Tasman Geotechnics
a	Data sources	MRT published mapping is referenced, but not compared to site conditions as observed or investigated.
b	Investigation methods	Three testpit excavations to 1.5m depth are not appropriate in terms of depth nor coverage in this known area of major previous instability. No data on groundwater has been critically
c	Site Plan with geomorphology	Specific site plans for the site with comparisons to site observations and sub-surface investigations has not been presented. Recognition of the geomorphological setting is limited. The linkage through known landslide events into the site from observations and inclusion of the MRT mapping appears lacking. Hydrogeological interpretation of mapped springs and geomorphology is lacking.
d	Factual data	Relies upon MRT mapping, and shallow testpits (which may have limited relevance to deep-seated instability, until proven otherwise – which has not been reported).
e	Subsurface investigation locations	Limited to three test pits, which in two testpits were terminated in clays (ie: bedrock neither encountered nor its nature confirmed).

	Item	Comment in regard to reporting by Tasman Geotechnics
f	Location of cross-sections	No cross-sections provided. Accordingly, neither site observations nor testpit logs were “tested” against an inferred sub-surface model.
g	Cross-sections (to scale)	No inferred cross-section have been provided.
h	Evidence of past performance	Past performance of the site is challenged by the current farming site usage. Appraisal of similar neighbouring sites without farming has not been seen in the report, nor evidence of “testing” variations in current hydrogeological conditions.
i	History of instability	Published MRT mapping indicates that several large-scale deep landslides have been recognised on the site and in the local area. Comparison of that mapping with site observations and investigation has not been conducted.
j	Identification of landslides in plan and section	The site plan provided in the report does not include geomorphological information specific to the site. The MRT data has not been included on the site plan. Inferred sub-surface sections have not been provided.
k	Assessed likelihood of each hazard	Some of the comments that led to estimates of Likelihood, appear to be unsupported. By way of example, the absence of clay over the Cambrian basalt is stated equivocally, though without justification it would appear to this reviewer. This leaves doubt in the mind of this reviewer as to the veracity of the likelihood estimates.
l	Assessed consequence to property and life	This reviewer does not agree with the estimates of Consequence, and it is believed that under-estimates have been provided.
m	Risk estimation	Low and very Low risk estimates developed in the report by Tasman Geotechnics are not supported, and are believed to under-estimate the risk level without such as: further investigation; understanding of the slope forming processes; improved hydrogeological understanding; assessment of the consequences of on-site disposal of waste water; for example.
n	Risk assessment relative to risk criteria	Comparison with the requirements of Council’s Hazard Management Plan is not appropriate given the above comments
o	Risk mitigation measures	Would require confirmation following amendment of report to address issues above.

PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007

10 REPORTING STANDARDS

10.1 The report on the risk assessment is to document the data gathered, the logic applied and conclusion reached in a defensible manner.

The practitioner will gather relevant data, will assess the relevance of the data and will reach conclusions as to the appropriate geotechnical model and basic assessment of the slope forming processes and rates. Full documentation of these results provides evidence of completion, provides transparency in the light of uncertainty, enables the assessment to be re-examined or extended at a later date and enables the assessment to be defended against critical review. The process often identifies uncertainties or limitations of the assessment which also need to be documented and understood.

10.2 The data to be presented includes:

- a. List of data sources.
- b. Discussion of investigation methods used, and any limitations thereof.
- c. Site plan (to scale) with geomorphic mapping results.
- d. All factual data from investigations, such as borehole and test pit logs, laboratory test results, groundwater level observations, record photographs.
- e. Location of all subsurface investigations and/or outcrops/cuttings.
- f. Location of cross section(s).
- g. Cross section(s) (to scale) with interpreted subsurface model showing investigation locations.
- h. Evidence of past performance.
- i. Local history of instability with assessed trigger events.
- j. Identification of landslides, on plan or section or both, and discussed in terms of the geomorphic model, relevant slope forming process and process rates. Landslides need to be considered above the site, below the site and adjacent to the site.
- k. Assessed likelihood of each landslide with basis thereof.
- l. Assessed consequence to property and life for each landslide with basis thereof.
- m. Resulting risk for each landslide.
- n. Risk assessment in relation to tolerable risk criteria (e.g. regulator's published criteria where appropriate).
- o. Risk mitigation measures and options, including reassessed risk once these measures are implemented.

Where any of the above is not or cannot be completed, the report should document the missing elements, including an explanation as to why.

The report needs to clearly state whether the risk assessment is based on existing conditions or with risk treatment measures implemented. In some cases, the assessment for both existing and after treatment should be documented to demonstrate the effect of risk control measures on reducing risk.

A report which does not properly document the assessment is of limited value and would appear to have no reasonable basis.

Figure A: Extract from AGS (2007c)

It is reasonable to conclude that the report is not of sufficient standard in addressing the significant geotechnical hazards that are known in the area, and indeed have been recognised in the report. This notwithstanding, the hazards have not been addressed in a rigorous manner sufficient to provide confidence an understanding of slope-forming processes at the site, the assessment of the geotechnical hazards and mechanisms of instability, the likelihood and consequences that apply, nor the risk assessed to property and to life.

Figures 1 to 5 are attached which illustrate the issues that appear relevant to the site assessment. These figures are in draft format.

The extract from AGS (2007c) in **Figure A** concludes with a comment that a “report which does not properly document the assessment is of limited value and would appear to have no reasonable basis”. Unfortunately, that comment appears to apply to the Tasman Geotechnics report.

Summary

In regard to Council's questions:

1. It is the author's opinion that the report prepared by Tasman Geotechnics is not adequate in regard to Landslide Risk Assessment. The recognised relevant guidelines, AGS (2007), have not been followed. In particular, an understanding of the slope forming processes is not demonstrated. This is fundamental in conducting an assessment of landslide likelihood, being an understanding of the mechanics of potential landslide instability. An inferred sub-surface geotechnical model, upon which the landslide risks assessment is based, has not been provided in the Tasman Geotechnics' report. The absence of the use of publically available Lidar information is also unfortunate (and is a basis for understanding the nature of the existing landform). These absences reflect poorly upon the quality of the report.
2. Acceptable Solutions of E6.6.2 of the Management Code are not appropriately satisfied, in the opinion of the author, as the Landslide Risk assessment is not adequate.
3. A thorough approach is required, as discussed above, in company with the figures attached.
4. It cannot be inferred that the conclusions are sounds since a basis of sound conclusions has not been provided.
5. It would not be appropriate for Council to approve the application on the basis of the report provided by Tasman Geotechnics in regard to landslide issues.

Sincerely
GHD Pty Ltd

Andrew Leventhal

Senior Principal Geotechnical Engineer
+61 2 9462 4839

References

AGS (2000) "Landslide Risk Management Concepts and Guidelines", Australian Geomechanics Society *Australian Geomechanics*, Vol 35 No.1, March 2000, reprinted in Vol 37 No 2 May 2002.

AGS (2007) – a generic term that covers the suite of 5 papers formed by AGS (2007a, 2007b, 2007c, 2007d and 2007e).

AGS (2007a). "Guideline for landslide susceptibility, hazard and risk zoning for land use planning". Australian Geomechanics Society, *Australian Geomechanics*, Vol 42 No 1, March 2007 [copy downloadable from: www.australiangeomechanics.org]

AGS (2007b). "Commentary on guideline for landslide susceptibility, hazard and risk zoning for land use planning". Australian Geomechanics Society, *Australian Geomechanics*, Vol 42 No 1, March 2007 [copy downloadable from: www.australiangeomechanics.org]

AGS (2007c) "Practice Note Guidelines for Landslide Risk Management 2007", Australian Geomechanics Society, Landslide Taskforce, Practice Note Working Group, *Australian Geomechanics*, V42 N1, March 2007 [copy downloadable from: www.australiangeomechanics.org]

AGS (2007d) "Commentary on Practice Note Guidelines for Landslide Risk Management 2007", Australian Geomechanics Society, Landslide Taskforce, Practice Note Working Group, *Australian Geomechanics*, V42 N1, March 2007 [copy downloadable from: www.australiangeomechanics.org]

AGS (2007e) "Australian GeoGuides for slope management and maintenance". Australian Geomechanics Society, *Australian Geomechanics*, Vol 42 No 1, March 2007 [copy downloadable from: www.australiangeomechanics.org]

Central Coast Interim Planning Scheme 2013

Mineral Resources Tasmania (2010) "Tasmanian Landslide Map Series", (downloaded February 2015) containing information on landslide inventory and landslide susceptibility available through LisT including:

- Ulverstone – landslide inventory, 1:25,000, Map 1.
- Ulverstone – geomorphology, 1:25,000, Map 2.
- Ulverstone – geology, 1:25,000, Map 3.
- Ulverstone – rockfall susceptibility, 1:25,000, Map 4.
- Ulverstone – shallow slide and flow susceptibility, 1:25,000, Map 5.
- Ulverstone – deep-seated landslide susceptibility, 1:25,000, Map 6.

Attachments

Information provided to assist review

Figures

Information provided

The following information was provided to assist review of the application:

Development Application submitted by PDA Surveyors on 08 Dec 2016

PDA Surveyors, covering letter to DA, in regard to Subdivision at Penguin Road, Ulverstone, dated 29 November, 2016

Brian Robertson (2016) (Agricultural) Assessment of proposed development at property title 35699/1 & 405 Penguin Road, West Ulverstone, June 2016, DRAFT.

Environmental Services and Design Pty Ltd (2016) Bushfire Hazard Management Report, report prepared for Brian Robertson.

Tasmanian Heritage Council (2016) Certificate of Exemption for "Lonah", 405 Penguin Road, West Ulverstone.

CSE Tasmania Pty Ltd (2016) Access for proposed subdivision at 405 Penguin Road.

PDA Surveyors (2016) Site Plan with setbacks to existing and proposed lot boundaries, 405 Penguin Road West (sic), Ulverstone, Dwg B16385-2.

Certificate of Title under the Land Titles Act 1950.

PDA Surveyors (2016) Compliance submission under Central Coast Interim Planning Scheme 2013.

Tasman Geotechnics (2016) Landslide Risk Assessment, 405 Penguin Road, West Ulverstone, report prepared for PDA Surveyors, Doc Ref: TG16179/1-02Report, 10 November 2016.

Tasman Geotechnics (2017) Landslide Risk Assessment, 405 Penguin Road, West Ulverstone, report prepared for PDA Surveyors, Doc Ref: TG16179/1-03Report, 01 February 2017.

Mineral Resources Tasmania (2016) Review of Tasman Geotechnics report 405 Penguin Road, West Ulverstone, email of 13 December 2016.

Department of State Growth, Mineral Resources Tasmania (2017) Technical review of geotechnical report submitted by Tasman Geotechnics supporting development (DA216107), letter prepared by Colin Mazengarb, Senior Geologist, dated 09 February 2017.

Figures

Figure 01	Site Overview
Figure 02	Site Sections
Figure 03a	MRT Geological Setting
Figure 03b	MRT Landslide Inventory
Figure 03c	MRT Landslide Inventory and Geomorphological Interpretation
Figure 03d	MRT Deep-seated Landslide Susceptibility
Figure 03e	MRT Hazard bands
Figure 04	LRM Hazard Identification
Figure 05	Hazard Assessment
Figure 05a	Illustrative Landslide Hazards



LEGEND

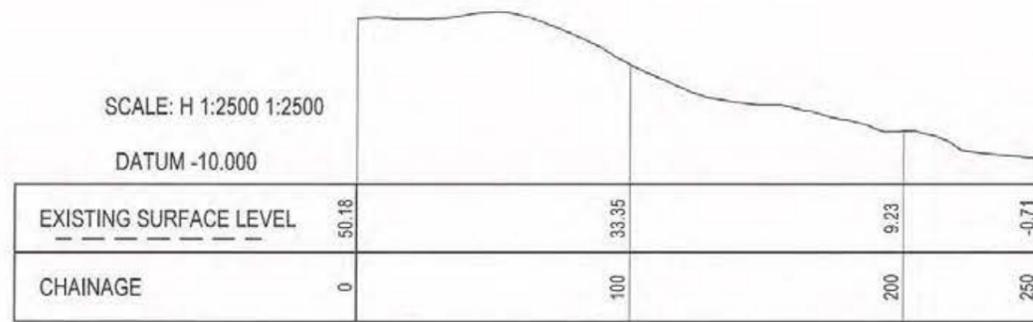
-  SITE BOUNDARY
-  10m CONTOUR
-  2m CONTOUR



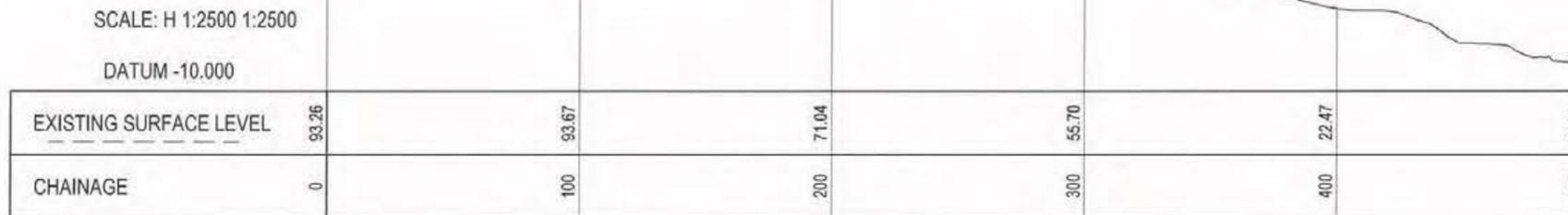
Central Coast Council
 405 Penguin Road
 Proposed Subdivision
Landslide Assessment
 Site Overview

Job Number | 21-26243
 Revision | A
 Date | MAY 2017

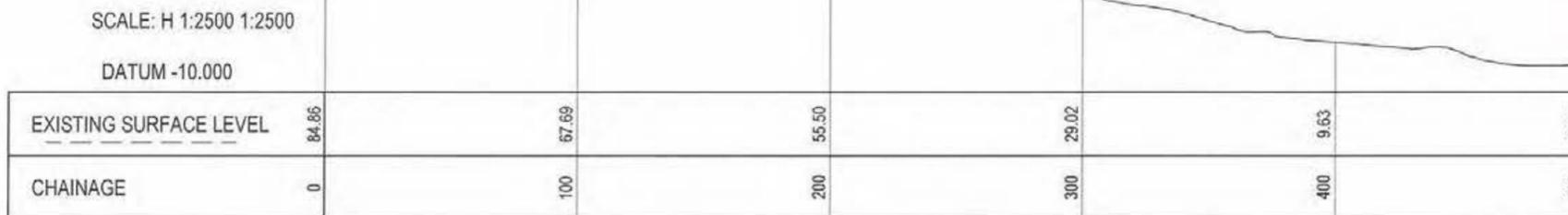
Figure 01



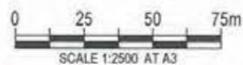
C SECTION
001 SCALE 1 : 2500



B SECTION
001 SCALE 1 : 2500



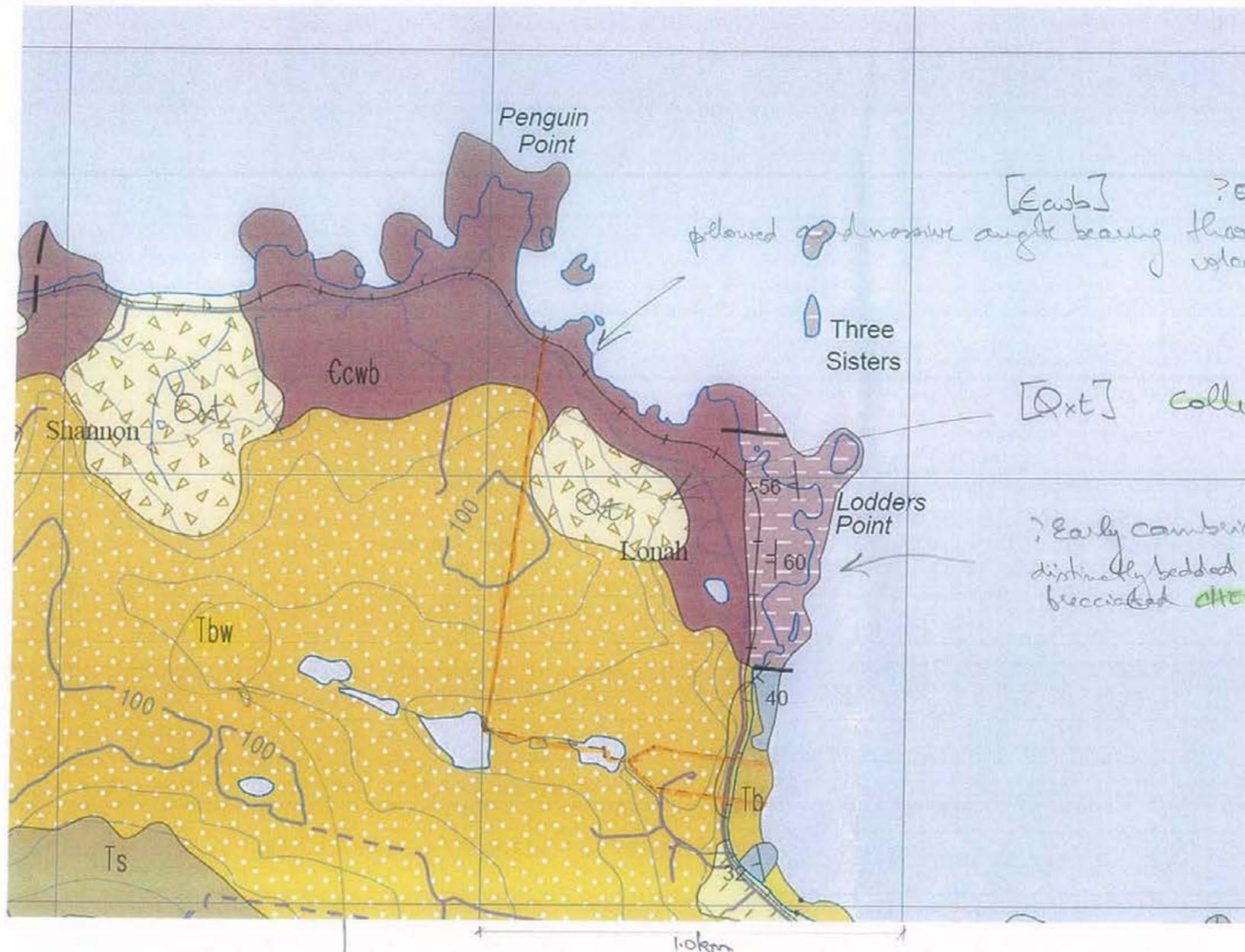
A SECTION
001 SCALE 1 : 2500



Central Coast Council
405 Penguin Road
Proposed Subdivision
Landslide Assessment
Site Sections

Job Number 21-26243
Revision A
Date MAY 2017

Figure 02



[Ecwb] ? Early Cambrian
 followed by massive angle bearing tholeiitic **BASALT** with intercalated
 volcanoclastics (sc, congl, m/s, chert breccia)

[Qxt] colluvium (talus?)
 [Landslide]

? Early Cambrian [Ecwc]
 distinctly bedded and plane laminated to massive, or
 brecciated **CHERT**, with siliceous mudstone & T/S.

Tbw problem deeply weathered **BASALT**



REFERENCE: MINEARL RESOURCES TASMANIA (2010) LANDSLIDE MAPPING SERIES- ULVERSTONE



Central Coast Council
 405 Penguin Road
 Proposed Subdivision
 Landslide Assessment
 Geological Setting

Job Number 21-26243
 Revision A
 Date MAY 2017

Figure 03a



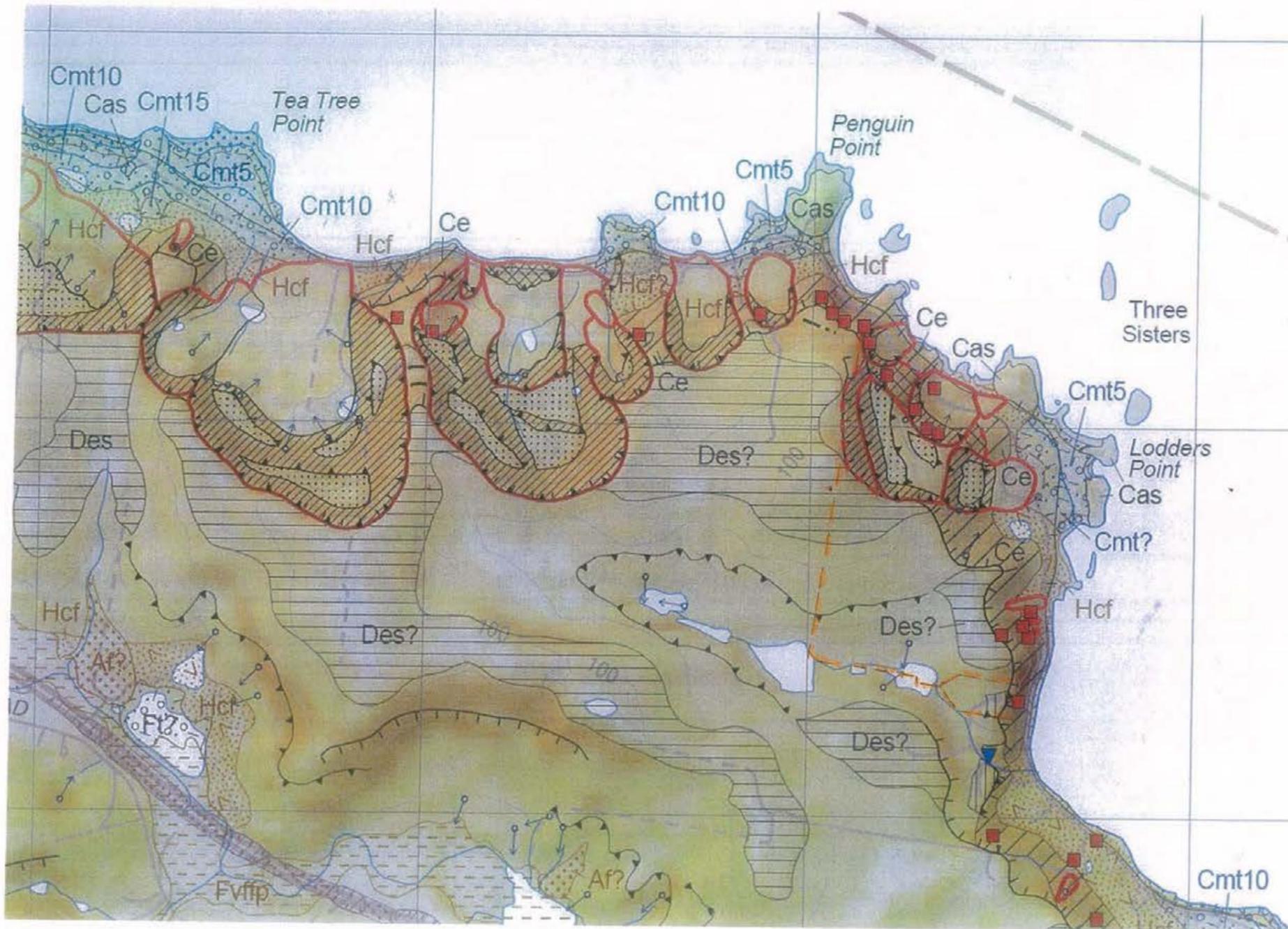
REFERENCE: MINEARL RESOURCES TASMANIA (2010) LANDSLIDE MAPPING SERIES- ULVERSTONE



Central Coast Council
 405 Penguin Road
 Proposed Subdivision
 Landslide Assessment
 Landslide Inventory

Job Number | 21-26243
 Revision | A
 Date | MAY 2017

Figure 03b



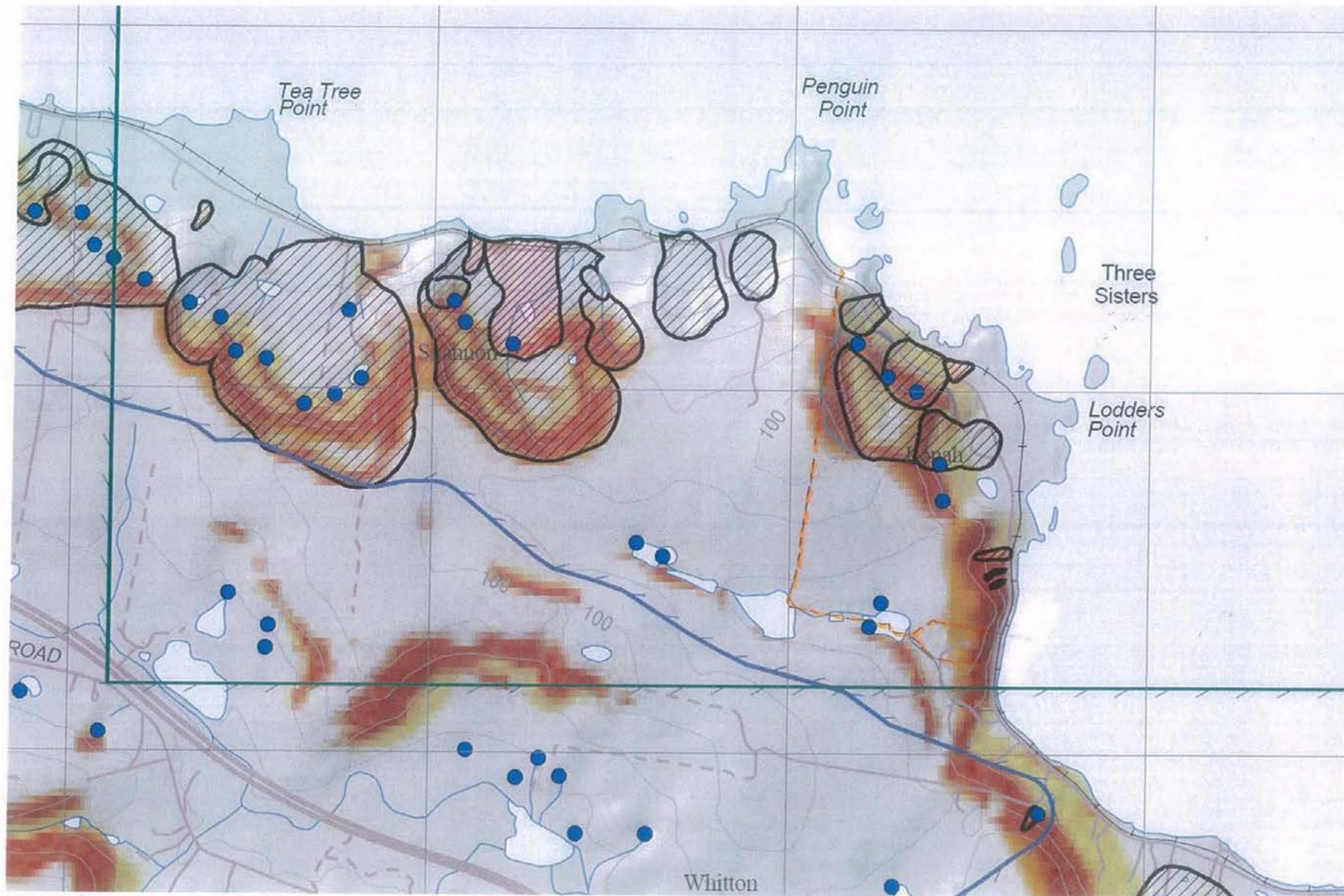
REFERENCE: MINEARL RESOURCES TASMANIA (2010) LANDSLIDE MAPPING SERIES- ULVERSTONE



Central Coast Council
 405 Penguin Road
 Proposed Subdivision
 Landslide Inventory and
 Geomorphologic Interpretation

Job Number 21-26243
 Revision A
 Date MAY 2017

Figure 03c



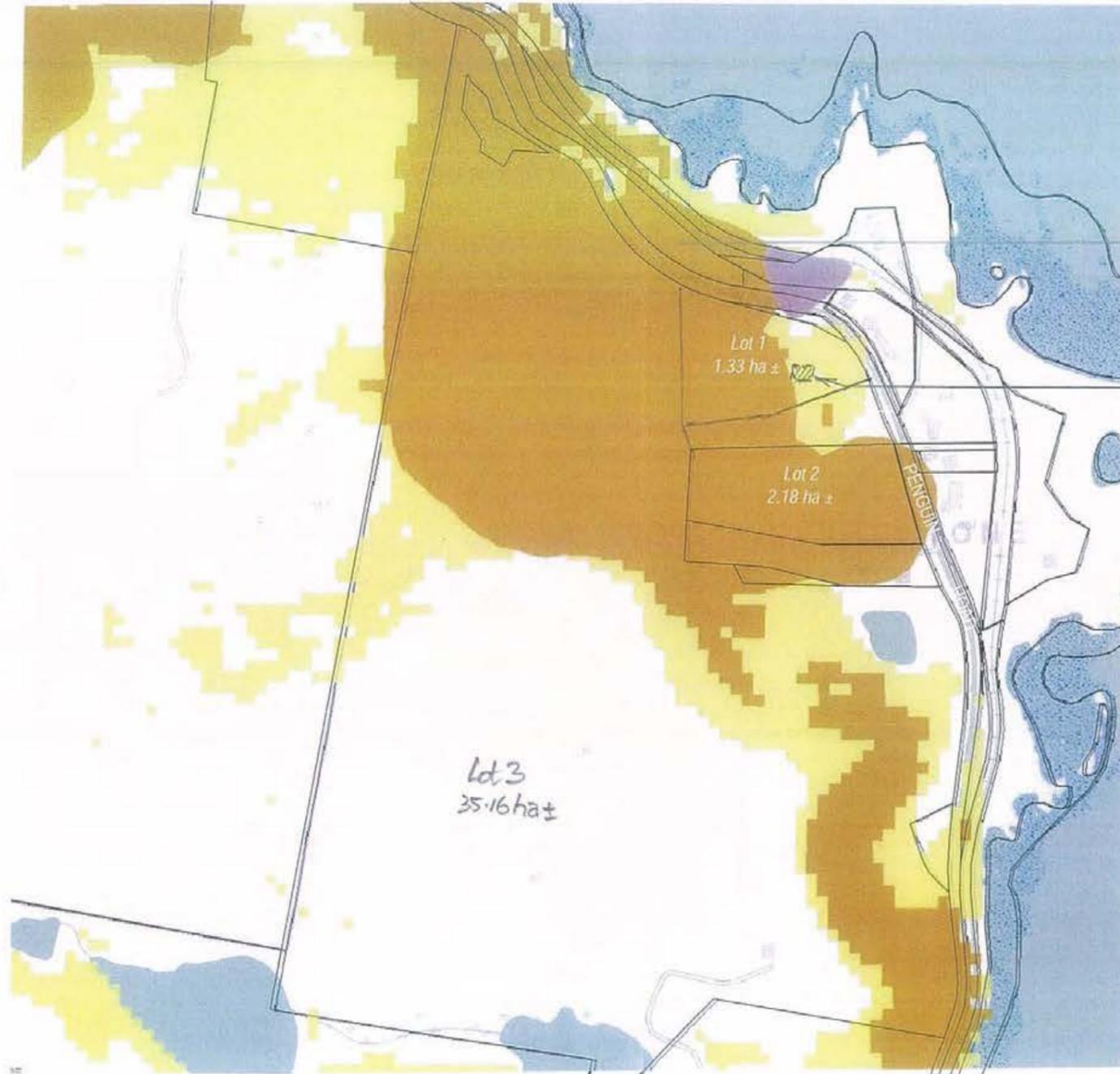
REFERENCE: MINEARL RESOURCES TASMANIA (2010) LANDSLIDE MAPPING SERIES- ULVERSTONE



Central Coast Council
 405 Penguin Road
 Proposed Subdivision
 Landslide Assessment
 Deep-seated Landslide Suspectibility

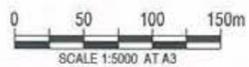
Job Number 21-26243
 Revision A
 Date MAY 2017

Figure 03d



NOMINATED POSSIBLE BUILDING SITE

REFERENCE: MINEARL RESOURCES TASMANIA (2010) LANDSLIDE MAPPING SERIES- ULVERSTONE



LEGEND

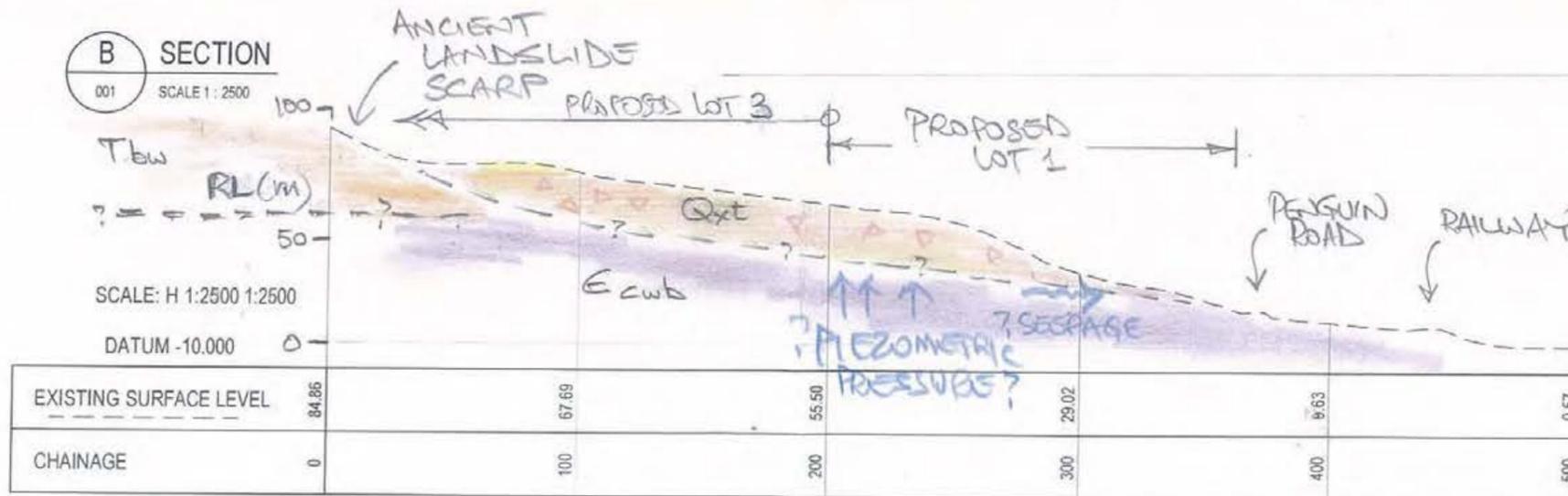
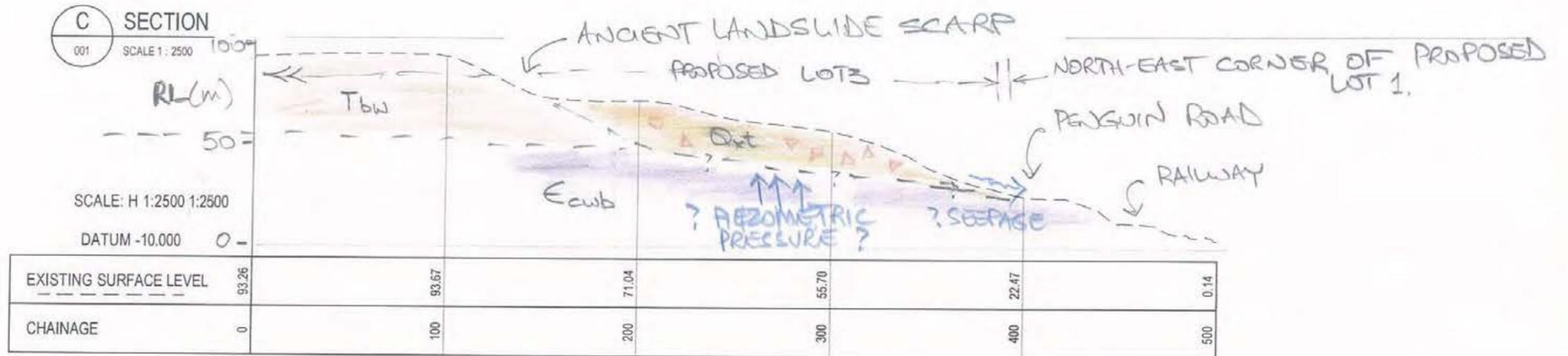
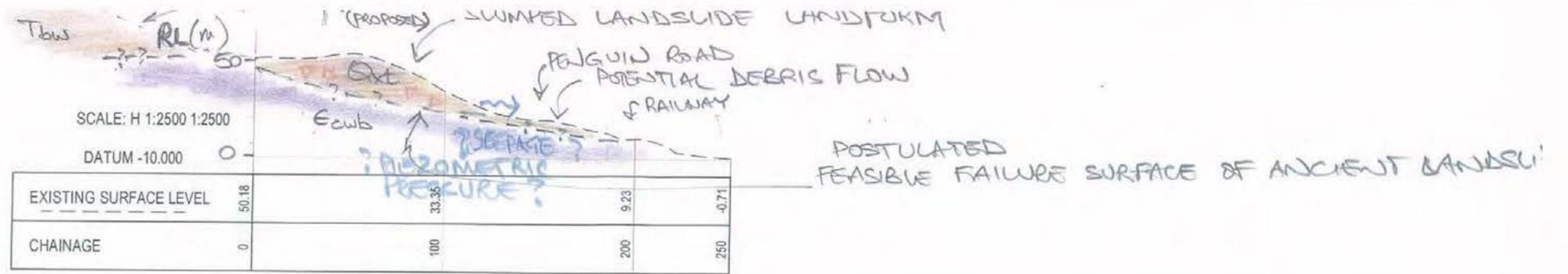
- Low
- Medium
- Medium to Active
- High



Central Coast Council
405 Penguin Road
Proposed Subdivision
Landslide Assessment
Hazard Bands (MRT Mapping)

Job Number 21-26243
Revision A
Date MAY 2017

Figure 03e



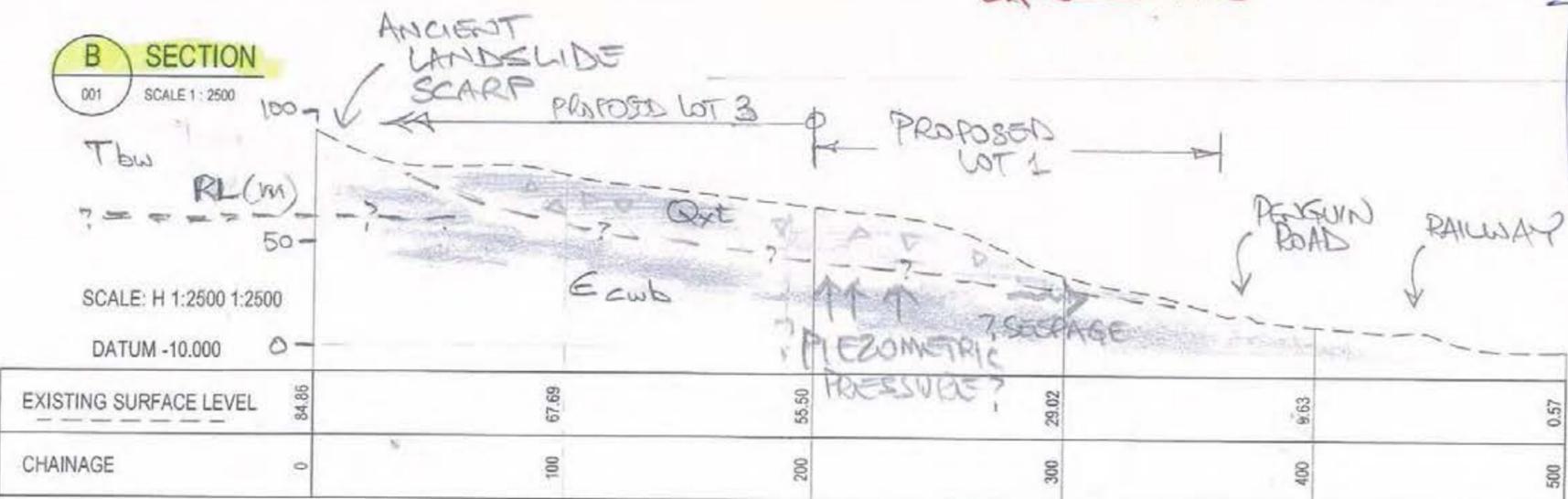
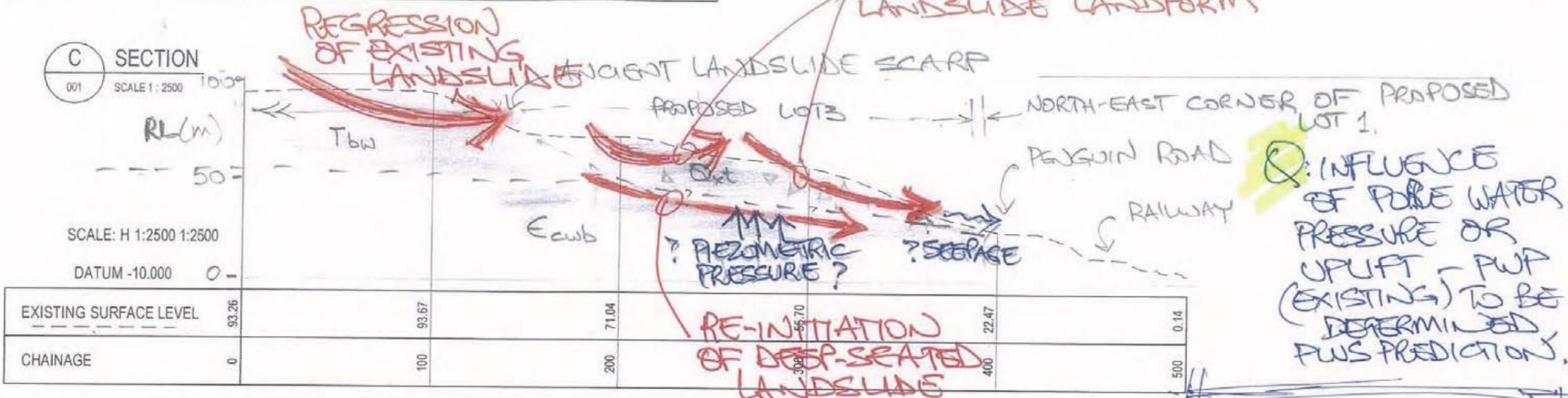
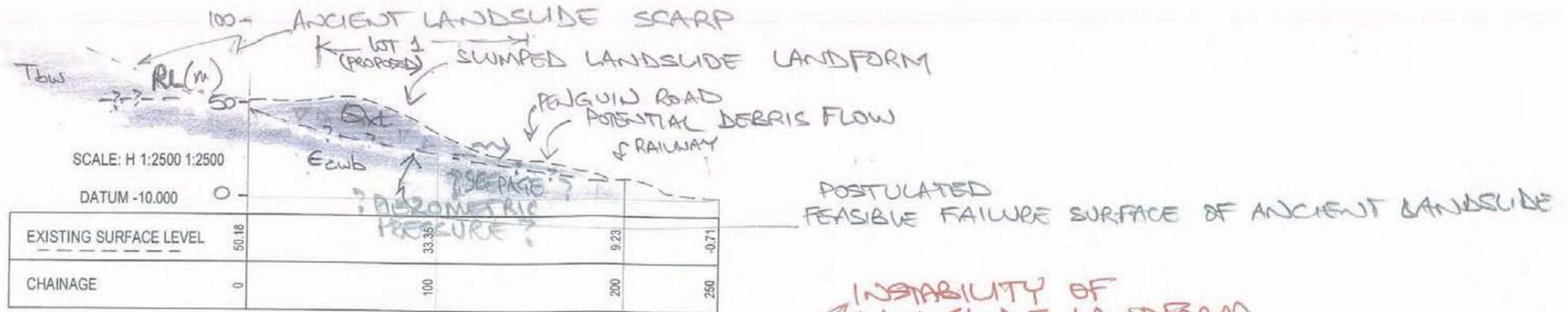
DRAFT



Central Coast Council
 405 Penguin Road
 Proposed Subdivision
 Landslide Assessment
 Site Sections - Inferred Sub-surface Conditions

Job Number | 21-26243
 Revision | A
 Date | MAY 2017

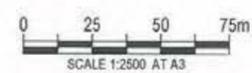
Figure 05



A SECTION
 001 SCALE 1:2500

NOTE:
 DIAGRAMMATIC &
 ILLUSTRATIVE
 ONLY, USING
 SECTION B
 AS INDICATIVE
 OF HAZARDS

DRAFT



Central Coast Council
 405 Penguin Road
 Proposed Subdivision
 Landslide Assessment
 Illustrative Landslide Hazards

Job Number 21-26243
 Revision A
 Date MAY 2017
Figure 05a

F4.0 Turners Beach Specific Area Plan

F4.1 Purpose of Specific Area Plan

The purpose of the Turners Beach Specific Area Plan is to provide a framework to guide the future development of Turners Beach

F4.2 Local Area Objectives

The objectives of the Turners Beach Specific Area Plan are to -

Local Area Objectives	Implementation Strategy
<ul style="list-style-type: none"> (a) protect and conserve existing native flora and fauna in a natural state; (b) identify areas vulnerable to coastal inundation by the sea; (c) retain access to the foreshore in a manner that is not disruptive to natural processes; and (d) maintain and enhance opportunity for visual outlook to the sea and coastal landmarks 	Implementation is in accordance with the requirement in Clause 8.10.2 to have regard to the purpose of the zone in determining a permit for a discretionary use.

F4.3 Desired Future Character Statements

Desired Future Character Statements	Implementation Strategy
Turners Beach	
Development at Turners Beach - <ul style="list-style-type: none"> (a) retains an eclectic mix of housing styles at suburban density and with characteristic building setbacks to the street; (b) provides for new residential development in waterfront locations of a scale and appearance to nestle within the landscape; (c) involves buildings that are typically one or two storeys high, oriented to the frontage, and separated from the frontage and internal site boundaries; (d) allows commercial buildings to the frontage; (e) employs low, transparent fencing and vegetation to define the frontage; and side and rear boundary fencing that is unobtrusive in terms of colour and material (f) typically treats the frontage setback for garden and landscape purposes; (g) use measures such as split-level building design or broken form to minimise the scale and bulk of new buildings and additions to existing buildings; (h) use increased setback distances to minimise any potential privacy loss from buildings that are higher than neighbouring dwellings; (i) protect and manage street trees and remnant vegetation to complement and create view corridors in residential areas; (j) retain the generally informal character of the residential area north of the Bass Highway through appropriate street planting, narrowing of streets, and use of swale drains; (k) limit commercial activity to home occupation and local convenience retail; (l) retain sand dunes at the natural beach profile; and provide access through the dunes only at specific and formalised locations (m) manage the environmental significance of the Forth estuary area to retain the Eucalypt forest and under-storey; and (n) restrict new development o sand dunes and the Forth River estuary to minor low impact facilities such as toilets and change rooms, and car parking of a size to minimise loss of vegetation and visual quality 	Implementation is in accordance with the requirement in Clause 8.10.2 to have regard to the purpose of the zone in determining a permit for a discretionary use.

F4.4 Application of this Code

The Plan applies to the area of land designated as the Turners Beach Specific Area Plan on the planning scheme map

F4.5 Use Table

~~Notwithstanding Clause 12.2, use of land within the Low Density Residential zone to which the Turners Beach Specific Area Plan applies is to be in accordance with the following Use Table -~~

No Permit Required	
Use-Class	Qualification

Natural and cultural values management	If conservation, rehabilitation, or protection against degradation, but must not include a building or outdoor area for information, interpretation or display of items or for any other use
Passive recreation	If a public park or reserve for the local community.
Permitted	
Use Class	Qualification
Residential	If - (a) home based business; (b) an ancillary dwelling; (c) a boarding house in which rooms are wholly or partly let in lodgings as a principal place of residence; (d) multiple dwellings, each in a separate dwelling; or (e) a single dwelling
Resource development	If a community garden for production or ornamental purposes to service the local community and not involve the keeping of animals
Utilities	if a minor utility
Discretionary	
Use Class	Qualification
Natural and cultural values management	
Educational and occasional care	If (a) all day, before or after school, occasional or out of school hours care; (b) pre school; or (c) primary school
Emergency services	If not intended for deployment beyond the local area, or as a facility for training, maintenance, storage, command or administration
Food Services	
Passive recreation	
Utilities	
Visitor accommodation	If for bed and breakfast
Prohibited	
Use Class	Qualification
All other uses	

Amendment information and page history

Amendment date	Amendment reference	History
1 December 2016	UA-CCO-8-2016	30 November 2016

F4.6 Use Standards

There are no use standards

F4.7 Development Standards

F4.7.1 Building Height

Objective:

<p>Building height -</p> <p>(a) minimises over-shadowing of adjoining sites;</p> <p>(b) protects privacy of adjoining dwellings; and</p> <p>(c) protects view lines</p>	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Building height must be not more than 5.5m</p>	<p>P1</p> <p>Building height must not be more than 7.5m having regard for -</p> <p>(a) likelihood for overshadowing of a habitable room or an area of private open space in a dwelling on the site or adjacent land if the resultant period of sunlight is less than 3 hours between 9.00am and 5.00pm on 21st June;</p> <p>(b) likelihood for direct overlooking from a window in a building with a finished floor level more than 1.0m above natural ground level to a habitable room or private open space area in a dwelling on the site or on adjacent land;</p> <p>(c) relationship between appearance and design characteristics of the buildings and any buildings on adjacent land;</p> <p>(d) apparent building height when viewed from a frontage road and adjacent land in another zone;</p> <p>(e) effect of the slope and orientation of the site and adjacent land on apparent building height;</p> <p>(f) effect and durability of screening to attenuate impact of the building to view from a frontage road or from adjacent land in another zone</p>

F4.7.2 Vegetation management

Objective:	
Vegetation is managed in a sustainable manner	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>There must be no clearing or conversion of vegetation within the littoral, riparian and road reserves</p>	<p>P1</p> <p>Clearing and conversion of vegetation within a littoral, riparian or road reserve must -</p> <p>(a) not adversely impact on the dune and ecosystem;</p> <p>(b) form part of approved works under a planning permit for the site;</p> <p>(c) be required to provide access to a beach or river; or</p> <p>(d) be for rehabilitation works</p>

F4.7.3 Landscaping

Objective:	
The front of a house is landscaped	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Other than for an internal lot, not less than 50% of the site area between the frontage and a building containing a dwelling must be landscaped with not less than grass.</p>	<p>P1</p> <p>There are no performance criteria</p>

F4.7.4 Beach access

Objective:

Access to the beach or the Forth River is controlled to minimise damage to the ecosystem	
Acceptable Solutions	Performance Criteria
A1 New vehicular or pedestrian accesses to the beach or Forth river must not be created.	P1 Access to the beach or Forth River must - (a) be required to rationalise and reduce the number of existing access; and (b) not adversely impact on the coastal dune or river bank ecosystem

Map F4 Turners Beach Specific Area Plan - LISTmap



CENTRAL COAST COUNCIL

SCHEDULE OF INFRASTRUCTURE SERVICES DETERMINATIONS

Period: 1 April 2017 to 30 April 2017

Approval of Roadworks and Services

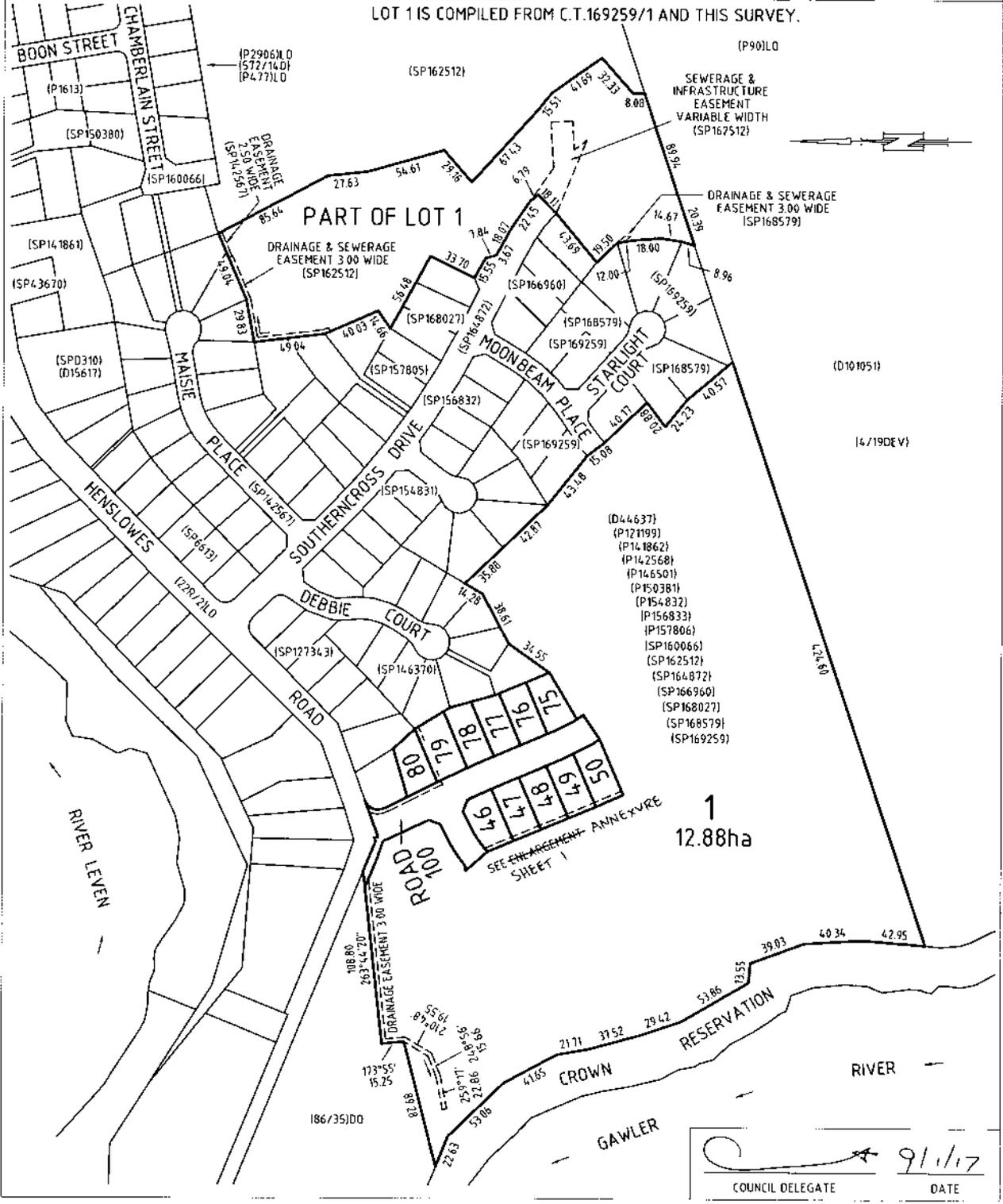
Developer: D & J CLARK
Location: 14 Beach Road, Ulverstone
No. of Lots: 5
Engineer: Don Anderson
(Donal S Anderson Consulting Engineer)



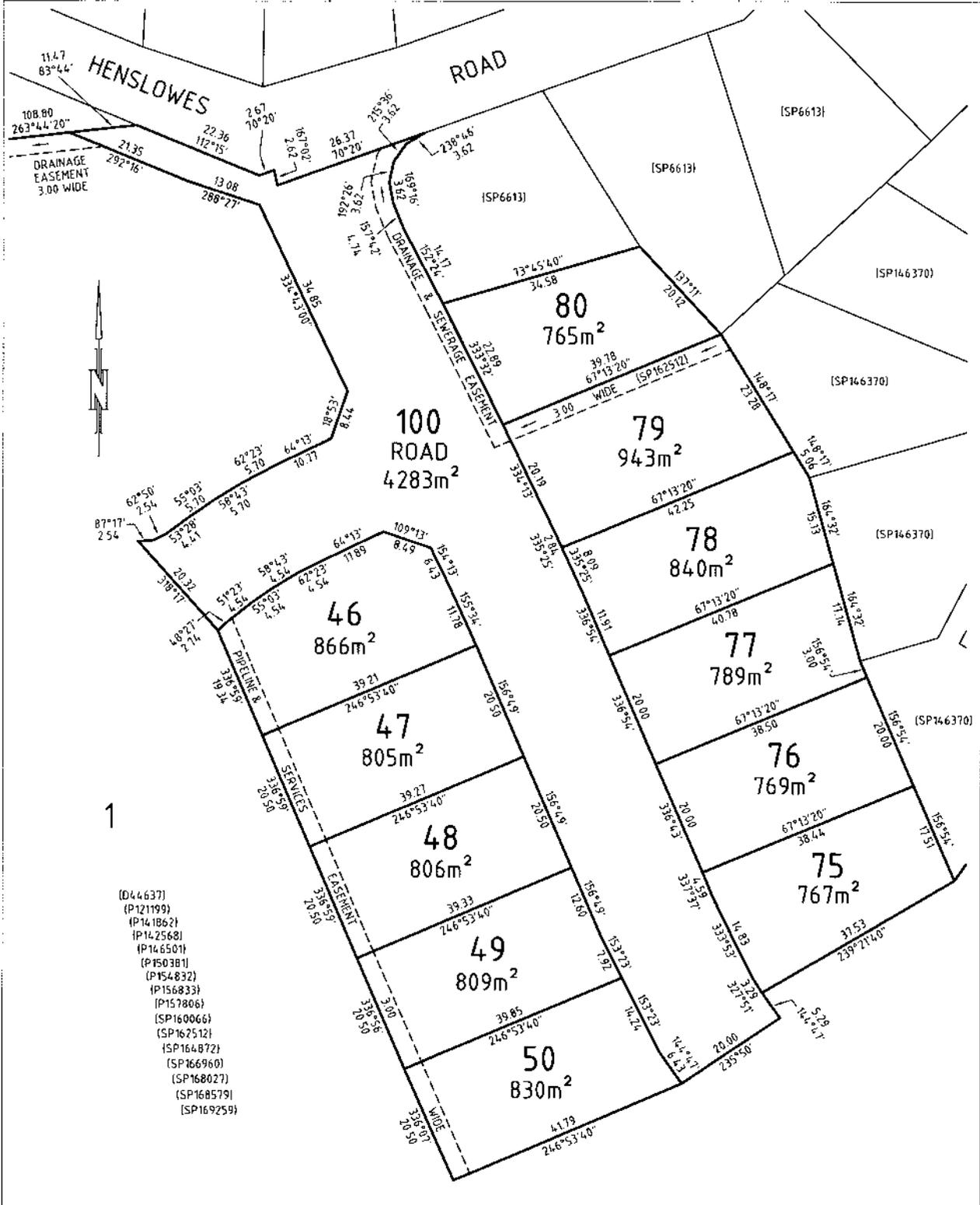
John Kersnovski
DIRECTOR INFRASTRUCTURE SERVICES

PO Box 220 / DX 70506
19 King Edward Street
Ulverstone Tasmania 7315
Tel 03 6429 8900
Fax 03 6425 1224
admin@centralcoast.tas.gov.au
www.centralcoast.tas.gov.au

OWNERS Alexander Paul Braid Napier, Gregory William Vincent Braid & Debra Ann Boyles	PLAN OF SURVEY	Registered Number SP172491
FOLIO REFERENCE C.T.169259/1	BY SURVEYOR John E W Magee of PDA SURVEYORS 6 QUEEN STREET, BURNIE	APPROVED EFFECTIVE FROM 24 JAN 2017
GRANTEE Part of Lot 425, 100 Acres, Gtd. to Alexander Clerke	LOCATION TOWN OF ULVERSTONE	SURVEYORS REF 16340 Recorder of Titles
MAP SHEET MUNICIPAL CODE No 104 (4244)	SCALE 1 2500	LENGTHS IN METRES
LAST PLAN No	LAST PLAN No SP169259	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 1 SHEETS</p> <p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 9/1/17 Council Delegate Date</p>	<p>OWNERS: Alexander Paul Brad Napier, Gregory William Vincent Braid & Debra Ann Bayles.</p> <p>FOLIO REFERENCE: C.T.169259/1</p> <p>SCALE 1 600 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 172491</p>
	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>[Signature]</i> 27/01/2016 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 24 JAN 2017</p> <p>Recorder of Titles</p>



- (D44637)
- (P121999)
- (P141862)
- (P142568)
- (P146501)
- (P150381)
- (P154832)
- (P156833)
- (P157806)
- (SP160066)
- (SP162512)
- (SP164872)
- (SP166960)
- (SP168027)
- (SP168579)
- (SP169259)

Offices at:
HOBART LAUNCESTON
KINGSTON

PEACOCK, DARCEY & ANDERSON

SURVEYORS, ENGINEERS & PLANNERS

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BURNIE 7320
TELEPHONE (03) 8431 4400
FACSIMILE (03) 8431 8863
E.mail pda.bna@pda.com.au
A.B.N. 71 217 808 325



PROPOSED SUBDIVISION

Owner A & B STUBBS Pty Ltd
Title Ref. CT251710/1

Location STUBBS ROAD, ULVERSTONE
Council CENTRAL COAST

This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown herein should be used for no other purpose

Proposed AS NECESSARY
Easements

All measurements and areas are subject to final survey.

Scale 1:2500

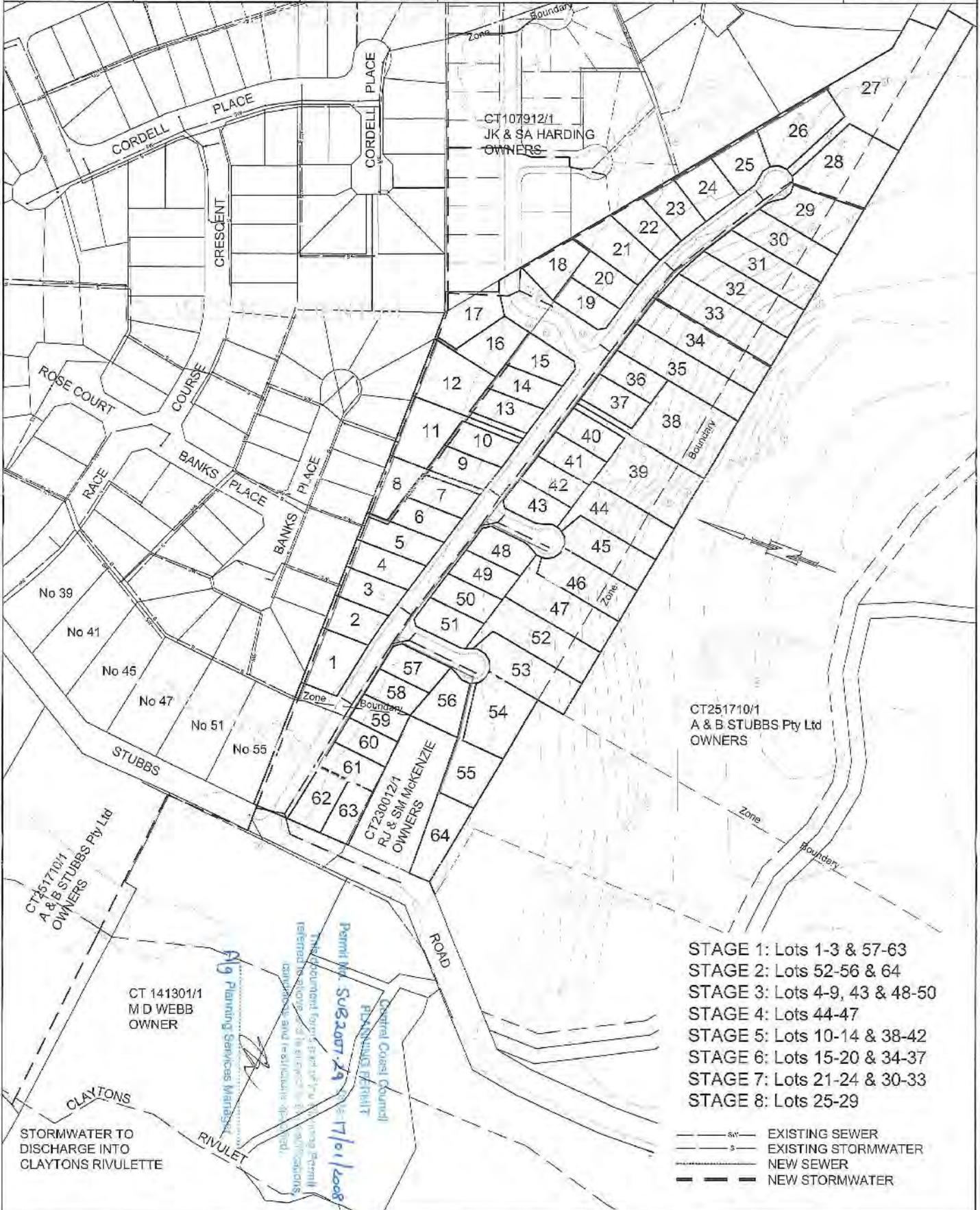
Date 04OCT07

Our Ref.14175-1(1)

Map Sheet ULVERSTONE 4244

Grid Ref. 347 419

UPI No. 0844





Map data © theLIST



CENTRAL COAST COUNCIL

Central Coast Council
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 Facsimile: 03 6425 1224
 admin@centralcoast.tas.gov.au

Disclaimer

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Important

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geodetic Datum of 1984 (AGD68/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.



Contour Interval:
 Projection: GDA94
 Date: 27/04/2017
 Drawn By: GIS

LILLIAN COURT

Scale 1: 1,750





Map data © theLIST



Central Coast Council
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 Facsimile: 03 6425 1224
 admin@centralcoast.tas.gov.au

Disclaimer

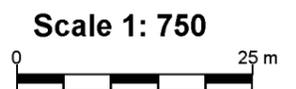
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Contour Interval:
 Projection: GDA94
 Date: 27/04/2017
 Drawn By: GIS

SUE NAPIER DR & TIDALBANK AV



Fraud Control Policy

April 2017

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POLICY

The Central Coast Council is committed to the prevention, deterrence and investigation of all forms of fraud. Fraud can be damaging to the Council through financial loss, bad publicity and loss in public confidence.

PURPOSE

This Policy covers guidelines and responsibilities regarding appropriate actions that must be followed to increase the awareness of, and, for the investigation of fraud. Management of the risk of exposure is an important area to monitor and the Council needs to be assured that appropriate and transparent procedures are in place.

The objective of the Policy is to:

- . Protect the Council's assets and reputation;
- . Ensure a sound ethical culture of the Council;
- . Ensure Senior Leadership Team to identifying risk exposures to fraud and for establishing procedures for prevention and detection;
- . Ensure Councillors and employees are aware of the responsibilities in relation to ethical conduct.

DEFINITIONS

Fraud is defined in the Australian Standard AS 8001-2008 Fraud and corruption control as:

“Dishonest activity causing actual or potential financial loss to any person or entity including theft of moneys or other property by employees or persons external to the entity and where deception is used at the time, immediately before or immediately following the activity. This also includes the deliberate falsification, concealment, destruction or use of falsified documentation used or intended for use for a normal business purpose or the improper use of information or position for personal financial benefit.

The theft of property belonging to an entity by a person or persons internal to the entity but where deception is not used is also considered ‘fraud’ for the purposes of this Standard.”

Some examples of fraud include:

- . Unauthorised use of the Council's plant, furniture and equipment;
- . Any misappropriation of funds or Council property;
- . Accepting gifts from contractors, consultants and customers in return for services rendered or influencing the outcome of a decision;
- . Any computer-related activity involving the alteration, destruction, forgery or manipulation of data for fraudulent purposes or misappropriation of Council owned software;
- . Falsification of expense claims;
- . Inappropriate use of position to obtain goods and services.

A number of these issues are specifically covered in both the Code of Conduct of Councillors and Employees Code of Conduct, which have been issued to all Councillors and employees as part of their induction.

ELEMENTS OF THE POLICY

- 1 Applicability
- 2 Education and Awareness
- 3 Roles and Responsibilities
- 4 Procedures
- 5 Disciplinary Action
- 6 Risk Management
- 7 Fraud Control Program
- 8 Legislated and Related Documentation

1 APPLICABILITY

This Policy applies to all Councillors, Committee Members, employees, contractors, consultants and volunteers of the Central Coast Council.

2 EDUCATION AND AWARENESS

The likelihood and impact of fraudulent behaviour will be minimised by promoting a sound ethical environment. This approach reduces the risk of fraud, and allows greater reliance of the integrity of employees rather than on direct measures.

It is the responsibility of all employees, Councillors, Committee Members, contractors, and volunteers to set an example through ethical and prudent use of Council assets and resources. Employees and Councillors have a duty to advise management of any concerns they have about the conduct of Council affairs or the use of Council assets and resources.

The Fraud Control Policy will be brought to the attention of all current and new employees and will be included in the induction program.

Employees with particular responsibilities such as cash handling, purchasing authority and account payment will be given specific training in approved cash handling, purchasing and accounts payment procedures.

3 ROLES AND RESPONSIBILITIES

(a) Councillors/Committee Members

Councillors and Committee Members have a responsibility to abide by their Code of Conduct. Councillors and Committee Members need to keep in mind the Code of Conduct when considering reports, making decisions and scrutinising the Council's activities.

The Council will support all policies and measures taken to prevent, deter, detect and resolve suspected instances of fraud.

(b) Senior Leadership Team

The Senior Leadership Team is responsible for ensuring there are adequate internal controls to provide reasonable assurance for the prevention and detection of fraud and corruption. Achievement of this is assisted by:

- . Compliance with Council policies, rules and regulations;
- . Ensuring Councillors and Committee Members are aware of their obligations as included in their Code of Conduct;
- . Ensuring employees are aware of their responsibilities through adequate induction, training, supervision and written procedures;
- . Responding to issues raised by both the internal and external auditors.

All suspected cases or incidents of fraud are to be reported to the General Manager. The General Manager will promptly investigate such cases or incidents in accordance with the Fraud Control Investigation Procedure (attached).

Should the suspected case of fraud relate to the General Manager then it should be reported to the Mayor.

(c) Employees/Contractors/Consultants/Volunteers

Employees, contractors, consultants and volunteers have a duty to make management aware of any concerns they have about the conduct of Council affairs or the use of Council assets and resources. Any issues raised by them should be promptly investigated. Confidentiality of issues raised must also be maintained.

4 PROCEDURES

The Fraud Control Investigation Procedure (attached) must be followed for all investigations of fraud.

5 DISCIPLINARY ACTION

If an investigation report concludes there has been a breach of the Central Coast Council's Employees Code of Conduct, or any other applicable procedure, action taken will be in line with the disciplinary procedure as documented in the Human Resource Disciplinary Action Policy.

6 RISK MANAGEMENT

The measures required to satisfactorily address the risk of fraud depend on the nature and extent of risks faced. It is therefore necessary to undertake risk assessments of the organisation's activities. The frequency of these assessments depends on the degree of exposure to the incidence of fraud. The outcome of these assessments will then be used to formulate appropriate controls to mitigate any identified risks.

The following fraud minimisation procedures are to be followed:

- 1 Accountability of Directors and Group Leaders to the Operational Leadership Group for the results and deviations from budget in the monthly management reporting for departments. Further independent detailed reviews of significant variances that may arise will be arranged by the General Manager or the relevant Director.
- 2 An integrated risk management system that is overseen by the Risk Management Committee. Periodic review of Council operations and an assessment of the Council's exposure to the risk of fraud.
- 3 An ongoing internal audit process. Internal controls supported by internal audit reviews on a regular basis will minimise the exposure to fraud risk and minimise the occurrence of new frauds arising.
- 4 External audit review and oversight by the Audit Panel with the focus on accountability of financial systems and reporting processes.
- 5 Maintain strict recruitment practices, including the confirmation of all relevant employees details and thorough checking of references, in addition including police checks on applicants successfully applying for senior positions, or positions involving financial transactions of any kind, and the promotion of this policy to all new Council employees.
- 6 All assets are properly recorded and regular checks are performed to ensure that significant items are present. This includes maintaining a Small Assets Register for items that are not capitalised.
- 7 Employee leave records are reviewed to ensure staff are taking annual leave.
- 8 Ensure that employee responsibilities under the Gifts and Benefits Policy are adhered to.
- 9 Set a standard of conduct for suppliers and contractors.
- 10 Review work practices open to collusion or manipulation.
- 11 There are penalties in place should an employee be found guilty of fraud.
- 12 Ensure that Council management have been trained in identifying indicators of fraud.

7 EARLY WARNING SIGNS

The following are some behavioural warning signs all employees and Directors need to be aware of relating to potential fraudulent behaviour:

- . Refusing to take leave.
- . Resigning suddenly or failing to attend work for no apparent reason.
- . Drug or alcohol abuse.

- . A Director/employee who overrides internal controls.
- . Persistent anomalies in work practices.
- . Obvious lifestyle changes that are in conflict with an employee's normal financial position.

8 FRAUD CONTROL PROGRAM

The Fraud Control Program is overseen by the Risk Management Committee.

The Program includes:

- . Inducting new employees on Council policy relating to fraud;
- . Training employees in fraud prevention and awareness;
- . Documenting the the Council's policy and procedure relating to fraud control investigation, fraud prevention, fraud detection and risk management;
- . Internal Audit Annual Work Plan; and
- . Audit Panel Annual Work Plan.

9 LEGISLATION AND RELATED DOCUMENTATION

- . *Local Government Act 1993*
- . *Public Interest Disclosures Act 2002*
- . Employees Code of Conduct
- . Human Resource Disciplinary Action Policy
- . Code of Conduct of Councillors
- . Fraud Control Investigation Procedure
- . Fraud Prevention Strategy
- . Fraud Detection and Risk Management Strategy
- . Customer Service Charter
- . Public Interest Disclosures Act Procedures
- . Code for Tenders and Contracts

10 REVIEW OF POLICY

The Fraud Control Policy will be reviewed every two years.

ATTACHMENTS

- . Fraud Control Investigation Procedure.
- . Fraud Prevention Strategy.
- . Fraud Detection and Risk Management Strategy.

Date of approval:/...../.....

Approved by:

.....

Sandra Ayton
GENERAL MANAGER

Activity: FRAUD CONTROL INVESTIGATION

Procedure: OS

WORK METHOD REQUIREMENTS

This Procedure covers appropriate actions and responsibilities that must be followed for the investigation of fraud.

PROCESS

- 1 Any employee, contractor or consultant who has reason to suspect that a fraud has occurred shall immediately notify his/her Director. If the employee has reason to believe that the employee's Director may be involved, the employee is to immediately notify the General Manager. The employee, contractor or consultant shall keep this information confidential. (Note: Should the incident relate to the General Manager, the matter should be reported to the Mayor).
- 2 Any Councillor or Committee Member who has reason to suspect that a fraud has occurred shall immediately notify the General Manager. The Councillor/Committee Member shall keep this information confidential.
- 3 The Director, when receiving notification of suspected fraud, will immediately contact the General Manager. The Director will not attempt to investigate the suspected fraud and will keep the information confidential.
- 4 The General Manager will promptly investigate the fraud upon notification of the details.
- 5 In accordance with section 28Y of the *Local Government Act 1993*, at the conclusion of the initial investigation of a Councillor, the General Manager will determine whether the matter should be referred to the Code of Conduct Panel. Further reference should be made to the *Local Government Act 1993* to ensure proper process is followed.

At the conclusion of an investigation of a Committee Member, employee, contractor or consultant the General Manager will prepare a record. The record will contain:

- . The allegation/s;
- . An account of all relevant information received, and, if the General Manager has rejected the evidence as being unreliable, the reasons for this opinion being formed;
- . The conclusions reached and the basis for them; and
- . Any recommendation arising from the conclusions.

For investigations, other than those of a Councillor, at the completion of the record the General Manager will determine what further action might be required.

Related Documents

- . Fraud Control Policy
- . Employees Code of Conduct
- . Code of Conduct of Councillors
- . Human Resource Disciplinary Action Policy
- . *Local Government Act 1993*
- . Local Government Awards

Review of Procedure

The Fraud Control Investigation Procedure will be reviewed every two years.

Activity: *FRAUD PREVENTION STRATEGY*

Strategy: *OS*

FRAUD PREVENTION STRATEGY

The Council's Fraud Prevention Strategy involves:

1 Organisational Integrity and Leadership

The most effective form of fraud prevention is the establishment of an organisational culture that rejects fraudulent and corrupt practices. Commitment from the Senior Leadership Team, Group Leaders, Supervisors and Councillors is essential in establishing a behaviour model for all employees, committee members and volunteers.

The Council will establish and maintain a fraud-resistant culture by:

- (a) Employing Directors, Group Leaders and Supervisors who will be positive role models for ethical behaviour;
- (b) Adopting and enforcing policies that emphasise the importance of ethical behaviour;
- (c) Issuing clear standards and procedures to minimise opportunities for fraudulent and corrupt behaviour, and enhance detection mechanisms; and
- (d) Ensuring all employees are accountable for their own actions.

2 Employee Education and Awareness

Employees will be made aware of the Council's ethical conduct expectations by:

- (a) The inclusion of ethical conduct requirements in information packages for new employees;
- (b) An ongoing program of inclusion of ethical behaviour expectations within all position descriptions for new and existing positions; and
- (c) Implementing regular training updates for employees on the Employees Code of Conduct.

Employees with particular responsibilities, such as cash handling and purchasing authority, will be given specific training in approved cash handling and purchasing procedures.

3 Customer and Community Awareness

Fraudulent activity may be detected as a result of complaints from Council customers or other members of the public. It is essential that the community understands the impact of fraudulent and corrupt activity and the importance of exposing such behaviour. In order to increase community awareness and encourage the reporting of fraudulent and corrupt conduct, the Council will:

- (a) Publish the Code of Conduct of Councillors and Customer Service Charter on the Council's website; and
- (b) Provide feedback to all persons who report suspected corrupt or fraudulent conduct.

4 Regular Review of Policies and Procedures

In addition to ongoing policy development directed at emphasising ethical behaviour and fraud prevention and detection, the Council is committed to the ongoing review of existing policies and procedures. The following Policies and Procedures are to be included in those reviewed on a two yearly basis:

- (a) Code of Conduct of Councillors;
- (b) Employees Code of Conduct;
- (c) Fraud Control Policy;
- (d) Customer Service Charter;
- (e) Public Interest Disclosures Act Procedures;
- (f) Work Health & Safety Risk Management Policy;
- (g) Purchasing and Procurement Policy;
- (h) Disposal of Assets Procedure;
- (i) Use of Council Equipment Procedure;
- (j) Cash Handling Policy;
- (k) Credit Card Policy.

Activity: *FRAUD DETECTION AND RISK MANAGEMENT STRATEGY*

Strategy: *OS*

FRAUD DETECTION AND RISK MANAGEMENT

Council's Fraud Detection Strategy involves:

1 Encouraging Disclosure

It is recognised that most fraudulent activity is detected by employees of the Council, and to a lesser extent, by members of the public. The Council will encourage the reporting of fraudulent conduct by:

- (a) The inclusion of training on fraud awareness and reporting procedures in induction of new employees;
- (b) Awareness training for all employees including training on the Fraud Control Policy, the Code of Conduct of Councillors and the Employees Code of Conduct;
- (c) Advertising on the Council's website of the various methods by which members of the public can report instances of fraudulent conduct that they may become aware of; and
- (d) Providing feedback to people who report suspected fraud.

2 Internal Auditing

The Council will minimise opportunities for undetected fraudulent activity via a robust internal audit program. The General Manager shall establish and implement an Internal Audit Policy that details strategy and procedures, incorporating internal audit manual, programs and guidelines in order to give this Policy effect. Internal Audit will as part of its annual work program perform risk assessments to establish the extent of audit work to be conducted. Internal Audit testing will assess the internal controls around and verification of transactions relating to areas of significant risk. Such a process shall include for example:

- (a) Purchasing and disposal transactions;
- (b) Financial system security;
- (c) Cash float and petty cash balances;
- (d) Council inventory;
- (e) Physical assets and their security;

- (f) Appropriate separation of duties identified;
- (g) Compliance with adopted cash handling procedures; and
- (h) Implementation and monitoring of recommendations by the Council's external auditors.

3 External Auditing

The Council is required under the *Local Government Act 1993* to have its financial reports audited and to present those audited financial reports to the public.

FRAUD INVESTIGATION

The Council recognises that it will not always be successful in its efforts to prevent fraud. The General Manager will therefore investigate all reported instances of fraud and corrupt conduct as thoroughly as possible. Depending upon the circumstances of the alleged fraud, an internal investigation may be undertaken or the matter referred to an external body such as Tasmania Police or the Ombudsman.

FRAUD CORRECTION

Once a fraudulent act has been identified and investigated, strategies and procedures will be implemented to ensure that the act will not be repeated. This may include:

- (a) Disciplinary action and/or dismissal of employees, committee members, volunteers or contractors involved in fraudulent conduct;
- (b) Review and alteration of operating procedures;
- (c) Additional training for employees, committee members, volunteers or contractors;
- (d) Making other employees aware of the situation in general terms in order to discourage similar conduct in the future; or
- (e) Improvements in the physical security of assets.

NON-COMPLIANCE

Non-compliance with this Strategy may result in disciplinary action and/or dismissal.

REVIEW

This Strategy will be reviewed every two years.

SCHEDULE OF CONTRACTS AND AGREEMENTS
(Other than those approved under the Common Seal)
Period: 1 to 30 April 2017

Contracts

- Contract No. 19/2016-2017
Gradco Pty Ltd
Gunns Plains Road rehabilitation (flood damage June 2016)
Contract amount - \$2,175,168.57 (incl. GST)

Agreements

- Loan Agreement
Central Coast Council and Ulverstone Surf Life Saving Club Inc.
\$10,000 for purchase of new vehicle
Period of loan: 6 April 2017 - 30 November 2017
- Tenancy Agreement
Unit 6 Cooina Court
35-37 Main Street, Ulverstone



Sandra Ayton
GENERAL MANAGER

**SCHEDULE OF DOCUMENTS FOR AFFIXING OF
THE COMMON SEAL**

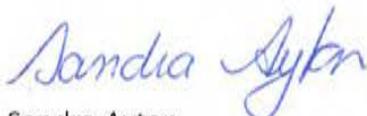
Period: 20 April 2017 to 15 May 2017

Documents for affixing of the common seal

- Nil

Final plans of subdivision sealed under delegation

- Adhesion Order
1 Clerke Street, Leith
Application No. ADH216003 – adhesion of two sub-minimal allotments
- Discharge of Adhesion Order B659421
47A Queen Street, West Ulverstone – re-creation of 2 lots
Application No. DA216135
- Final Plan of Survey
Lots 13 and 63, Pengana Heights Estate, Penguin
Application No. SUB2003.20
- Final Plan of Survey
Lots 1 and 2 of a 3 Lot subdivisions – 964 Forth Road, Turners Beach
The subdivision was approved in May 2008 and has substantially
commenced with the issue of a Title for Lot 3 in 2011
Application No. PLA2007.67



Sandra Ayton
GENERAL MANAGER

**A SUMMARY OF RATES & FIRE SERVICE LEVIES
FOR THE PERIOD ENDED 30 APRIL 2017**

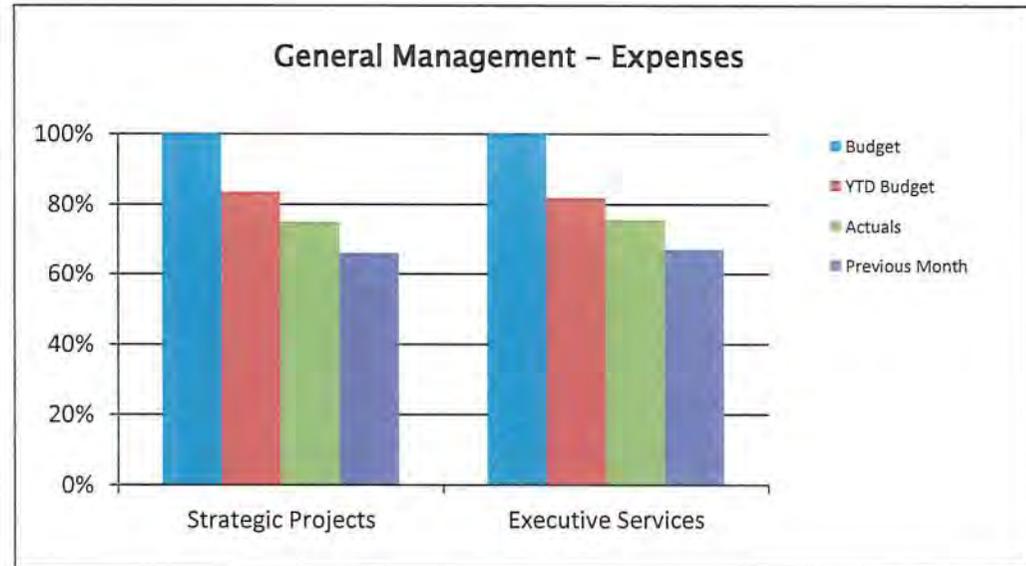
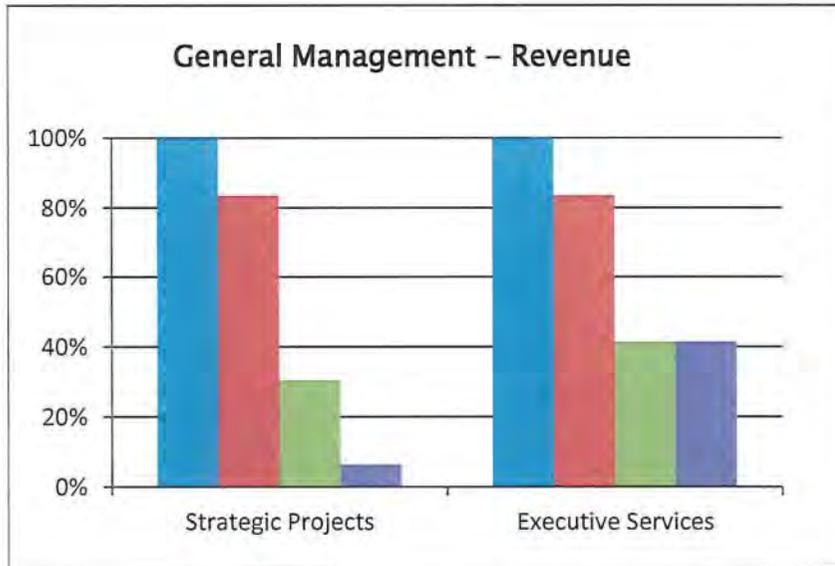
	2015/2016		2016/2017			
	\$	%	\$	%		
Rates paid in Advance	-	837,326.01	-5.94	-	892,195.10	-6.17
Rates Receivable		295,911.64	2.10		228,216.09	1.58
Rates Demanded		14,561,987.40	103.39		15,038,148.67	103.97
Supplementary Rates		64,302.07	0.46		89,728.70	0.62
		14,084,875.10	100.00		14,463,898.36	100.00
Collected		12,783,961.13	90.76		13,176,523.18	91.10
Add Pensioners – Government		872,112.54	6.19		888,632.45	6.14
Pensioners – Council		36,568.67	0.26		34,825.00	0.24
		13,692,642.34	97.21		14,099,980.63	97.48
Remitted		1,492.86	0.01		934.40	0.01
Discount Allowed		548,128.73	3.89		585,069.37	4.05
Paid in advance	-	723,533.34	-5.14	-	780,986.08	-5.40
Outstanding		566,144.51	4.03		558,900.04	3.86
		14,084,875.10	100.00		14,463,898.36	100.00

Andrea O'Rourke
ASSISTANT ACCOUNTANT

1-May-2017

Finance Report – April 2017

GENERAL MANAGEMENT	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
Revenue							
Strategic Projects	(4,373,000)	(3,644,180)	(1,326,684)	(276,718)	(2,317,496)	(3,046,316)	30%
Executive Services	(16,000)	(13,340)	(6,632)	(6,632)	(6,708)	(9,368)	41%
	\$ (4,389,000)	\$ (3,657,520)	\$ (1,333,316)	\$ (283,350)	\$ (2,324,204)	\$ (3,055,684)	
Expenses							
Strategic Projects	134,000	111,680	100,273	88,201	11,407	33,727	75%
Executive Services	1,490,000	1,218,300	1,123,022	996,061	95,278	366,978	75%
	\$ 1,624,000	\$ 1,329,980	\$ 1,223,294	\$ 1,084,263	\$ 106,686	\$ 400,706	

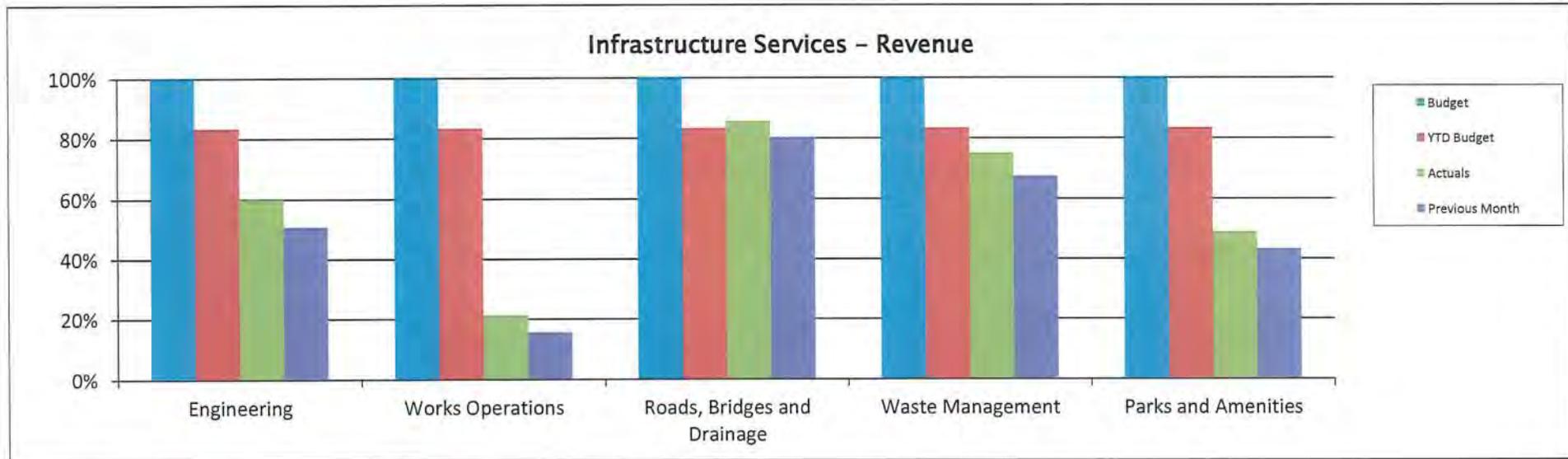


Variance

Strategic Projects	Revenue less than YTD budget – Budget timing – sale of property and capital contributions.
Strategic Projects	Expenditure greater than YTD budget – timing in general.
Executive Services	Revenue less than YTD budget – plant allocated behind budget.
Executive Services	Expenditure less than YTD budget – timing in general.

Finance Report – April 2017

INFRASTRUCTURE SERVICES	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
Revenue							
Engineering	(1,486,000)	(1,238,320)	(892,343)	(753,126)	(345,977)	(593,657)	60%
Works Operations	(3,953,000)	(3,294,166)	(844,377)	(618,789)	(2,449,789)	(3,108,623)	21%
Roads, Bridges and Drainage	(2,542,200)	(2,118,500)	(2,180,451)	(2,042,435)	61,951	(361,749)	86%
Waste Management	(593,500)	(494,580)	(445,873)	(400,238)	(48,707)	(147,627)	75%
Parks and Amenities	(496,250)	(413,538)	(242,099)	(214,509)	(171,439)	(254,151)	49%
	\$ (9,070,950)	\$ (7,559,104)	\$ (4,605,141)	\$ (4,029,096)	\$ (2,953,963)	\$ (4,465,809)	

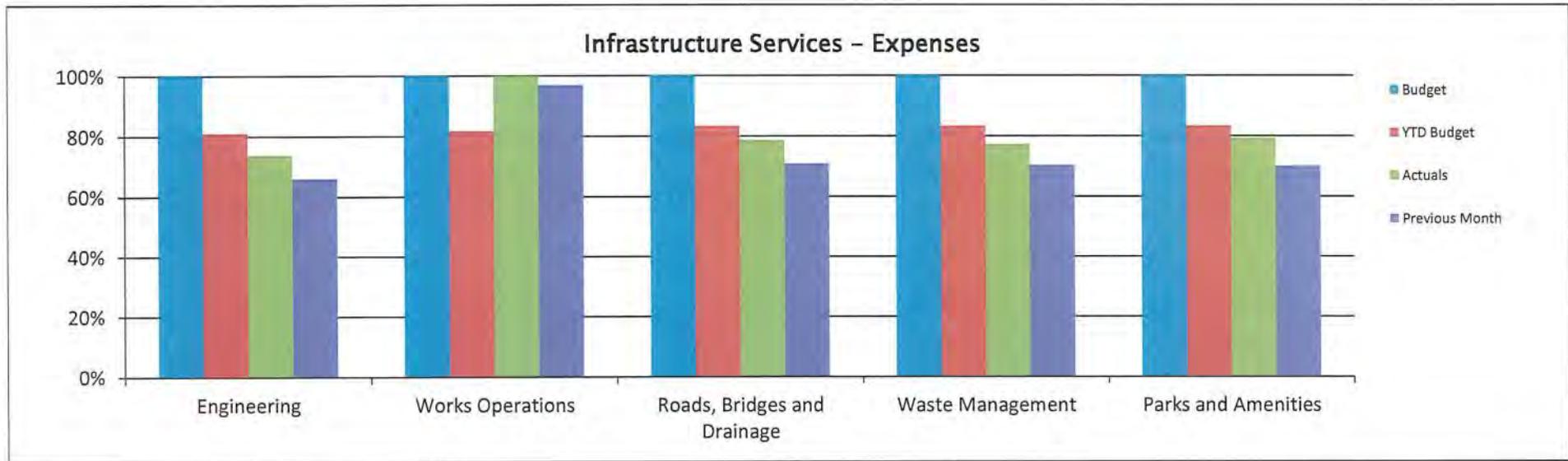


Variance

Engineering	Revenue under YTD budget – Timing – capital works program affected by flood works.
Works Operations	Revenue under YTD budget – Timing – operational programs behind in cost allocations.
Roads, Bridges and Drainage	Revenue under YTD budget – Timing – More capital grants have been received.
Waste Management	Revenue under YTD budget – Resource Recovery Centre – entry fees and scrap metal sales behind budget.
Parks and Amenities	Revenue under YTD budget – Timing of revenue in general.

Finance Report – April 2017

INFRASTRUCTURE SERVICES	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
Expenses							
Engineering	1,486,000	1,203,120	1,096,652	978,960	106,468	389,348	74%
Works Operations	1,209,000	988,310	1,294,890	1,173,573	(306,580)	(85,890)	107%
Roads, Bridges and Drainage	6,997,000	5,830,826	5,505,540	4,959,621	325,286	1,491,460	79%
Waste Management	3,587,500	2,989,416	2,773,657	2,521,197	215,759	813,843	77%
Parks and Amenities	2,590,250	2,158,450	2,052,946	1,811,201	105,504	537,304	79%
	\$ 15,869,750	\$ 13,170,122	\$ 12,723,685	\$ 11,444,551	\$ 446,437	\$ 3,146,065	

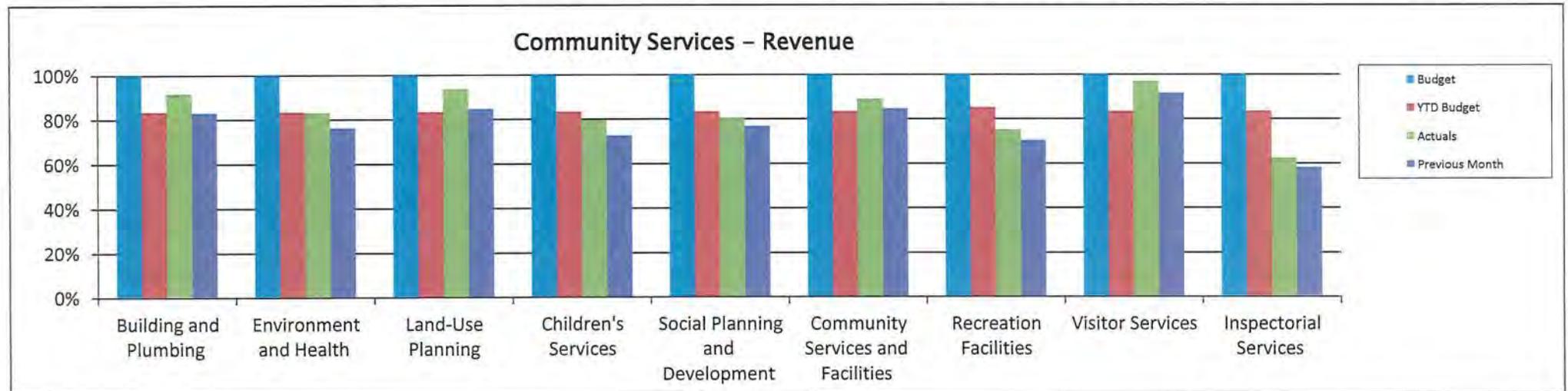


Variance

Engineering	Expenditure under YTD budget – Timing of costs mainly staff costs.
Works Operations	Expenditure over YTD budget – Flood recovery expenses not budgeted for. Will reflect in revenue when grants are received.
Roads, Bridges and Drainage	Expenditure under YTD budget – Timing of costs in general.
Waste Management	Expenditure under YTD budget – Garbage and recycling collection costs for April not yet received.
Parks and amenities	Expenditure under YTD budget – Timing of costs in general.

Finance Report – April 2017

COMMUNITY SERVICES	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
Revenue							
Building and Plumbing	(220,000)	(183,340)	(201,646)	(182,374)	18,306	(18,354)	92%
Environment and Health	(70,200)	(58,514)	(58,238)	(53,506)	(276)	(11,962)	83%
Land-Use Planning	(156,000)	(130,020)	(146,065)	(132,153)	16,045	(9,935)	94%
Children's Services	(1,399,000)	(1,165,800)	(1,114,218)	(1,018,184)	(51,582)	(284,782)	80%
Social Planning and Development	(90,200)	(75,138)	(72,298)	(69,346)	(2,840)	(17,902)	80%
Community Services and Facilities	(788,800)	(657,334)	(701,591)	(667,537)	44,257	(87,209)	89%
Recreation Facilities	(616,500)	(524,550)	(462,987)	(433,729)	(61,563)	(153,513)	75%
Visitor Services	(118,000)	(98,326)	(114,310)	(107,961)	15,984	(3,690)	97%
Inspectorial Services	(189,000)	(157,460)	(117,588)	(109,285)	(39,872)	(71,412)	62%
	\$ (3,647,700)	\$ (3,050,482)	\$ (2,988,941)	\$ (2,774,074)	\$ (61,541)	\$ (658,759)	

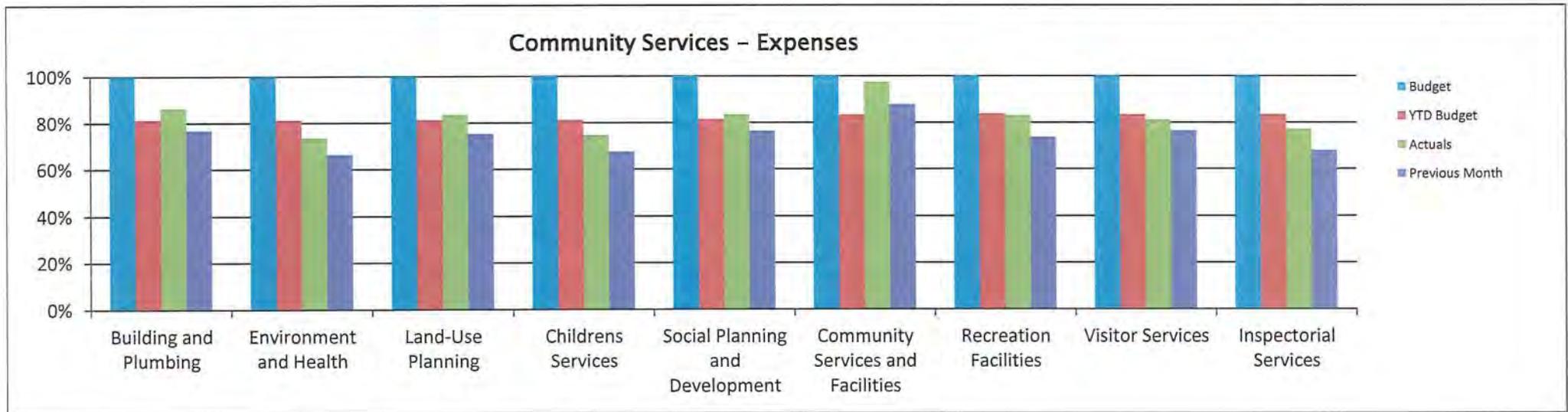


Variance

Building and Plumbing	Revenue greater than YTD budget – Revenue ahead of budget in general.
Children's Services	Revenue less than YTD budget – Timing of contribution income.
Community Services and Facilities	Revenue greater than YTD budget – Timing in general.
Recreation Facilities	Revenue less than YTD budget – Timing in general.
Visitor Services	Revenue greater than YTD budget – Revenue ahead of budget due to ticket sales.
Inspectorial Services	Revenue less than YTD budget – Timing in general.

Finance Report – April 2017

COMMUNITY SERVICES	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
Expenses							
Building and Plumbing	474,000	385,530	408,910	363,421	(23,380)	65,090	86%
Environment and Health	338,200	274,514	248,603	223,934	25,911	89,597	74%
Land-Use Planning	577,500	469,260	482,328	435,206	(13,068)	95,172	84%
Children's Services	1,388,000	1,127,850	1,038,004	937,158	89,846	349,996	75%
Social Planning and Development	824,900	672,778	689,373	630,828	(16,595)	135,527	84%
Community Services and Facilities	1,245,700	1,037,904	1,215,045	1,094,332	(177,141)	30,655	98%
Recreation Facilities	1,959,300	1,641,493	1,625,806	1,443,790	15,687	333,494	83%
Visitor Services	318,000	264,986	258,046	242,790	6,940	59,954	81%
Inspectorial Services	316,000	263,340	243,170	214,471	20,170	72,830	77%
	\$ 7,441,600	\$ 6,137,655	\$ 6,209,284	\$ 5,585,930	\$ (71,629)	\$ 1,232,316	

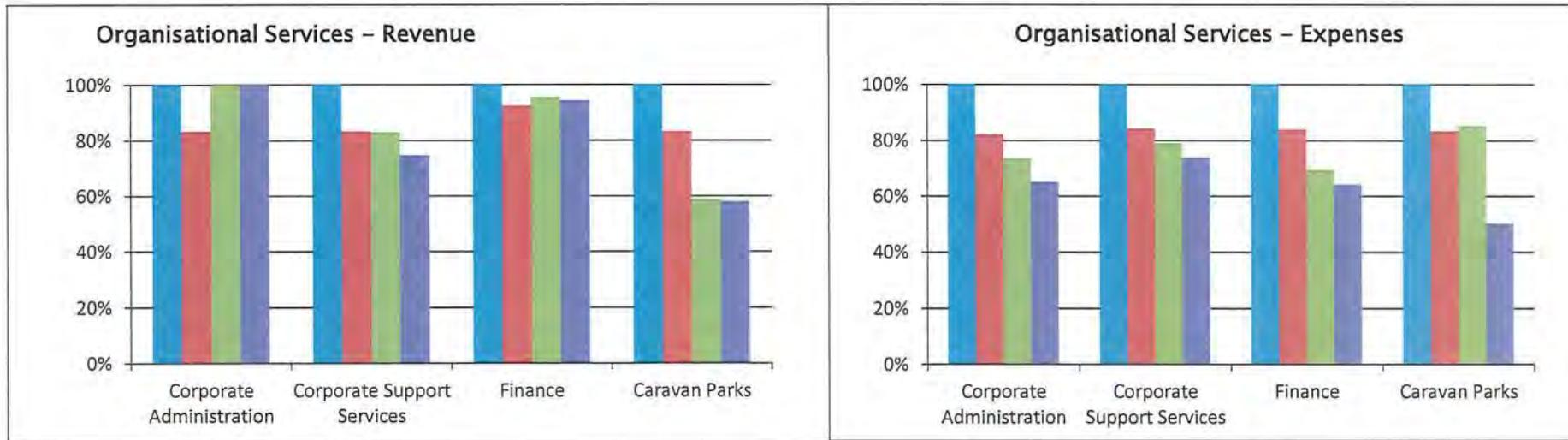


Variance

Community Services and Facilities	Actuals greater than YTD budget – Aged Persons Home Units changes.
Recreation Facilities	Actuals less than YTD budget – Timing of expenses mainly in Active Recreation.
Inspectorial Services	Actuals less than YTD budget – Timing of costs in general.

Finance Report – April 2017

ORGANISATIONAL SERVICES	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
Revenue							
Corporate Administration	(15,200)	(12,660)	(18,048)	(15,375)	5,388	2,848	119%
Corporate Support Services	(3,333,000)	(2,777,500)	(2,767,788)	(2,493,812)	(9,712)	(565,212)	83%
Finance	(21,083,000)	(19,515,490)	(20,162,737)	(19,912,194)	647,247	(920,263)	96%
Caravan Parks	(139,000)	(115,840)	(81,728)	(80,846)	(34,112)	(57,272)	59%
	\$ (24,570,200)	\$ (22,421,490)	\$ (23,030,301)	\$ (22,502,228)	\$ 608,811	\$ (1,539,899)	
Expenses							
Corporate Administration	571,600	469,750	421,199	223,934	48,552	150,402	74%
Corporate Support Services	4,230,000	3,564,020	3,344,961	435,206	219,059	885,039	79%
Finance	1,817,500	1,525,030	1,263,759	214,471	261,271	553,741	70%
Caravan Parks	84,000	70,000	71,639	-	(1,639)	12,361	85%
	\$ 6,703,100	\$ 5,628,800	\$ 5,101,558	\$ 873,611	\$ 527,242	\$ 1,601,542	



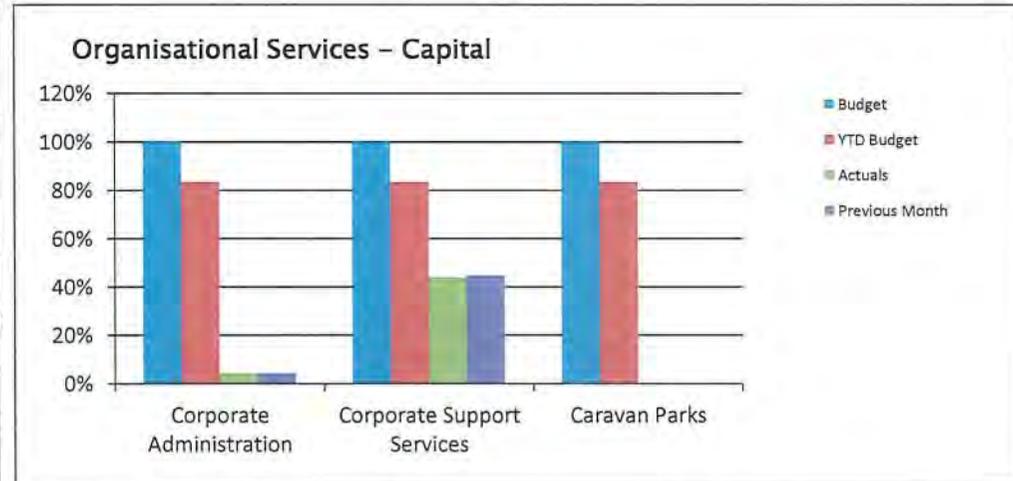
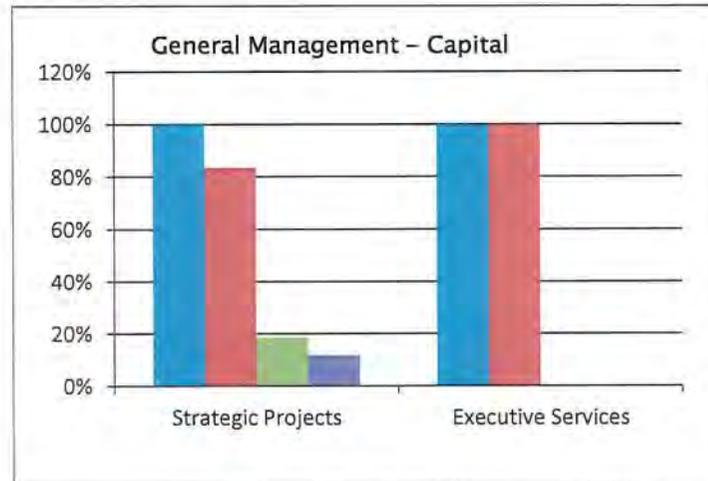
Variance

Corporate Administration	Revenue more than YTD Budget – small revenue area and Timing in general.
Corporate Support Services	Revenue less than YTD Budget – timing in general.
Finance	Revenue more than YTD Budget – Rates reflected at gross amount before rebates and discounts and Dulverton Dividend.
Caravan Parks	Revenue less than YTD Budget – Timing relating to reallocations.
Caravan Parks	Expenses less than YTD Budget – Timing in general.

Finance Report – April 2017

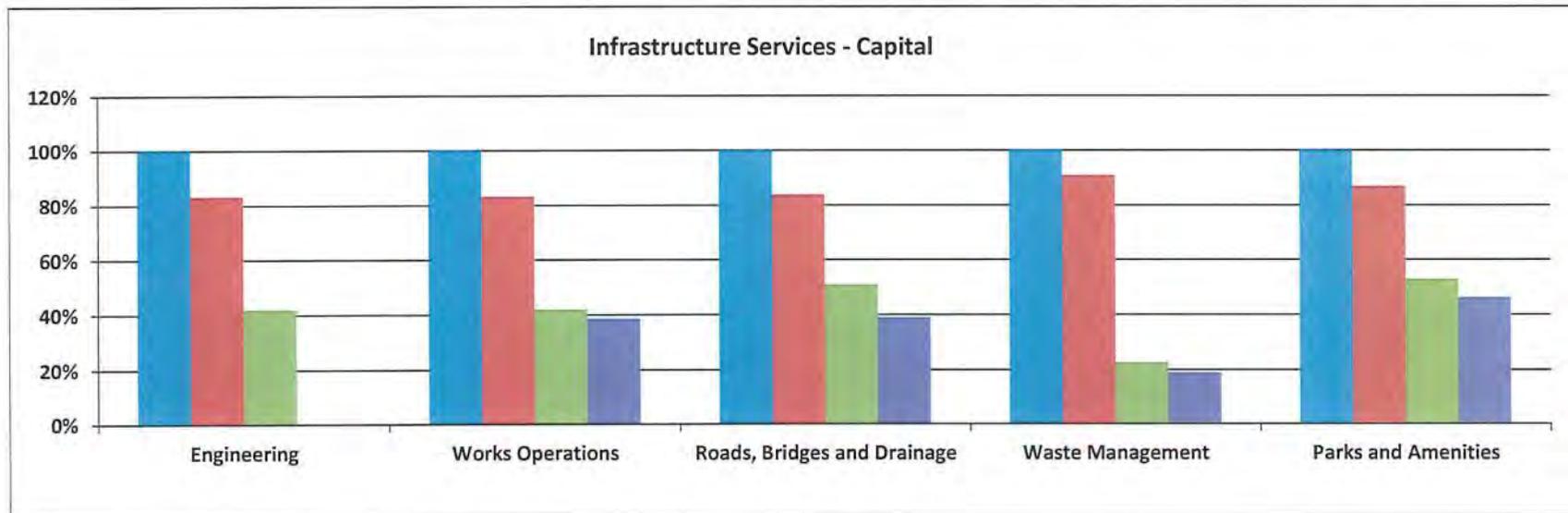
	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
GENERAL MANAGEMENT							
Strategic Projects	6,258,000	5,214,972	1,139,804	718,598	4,075,168	5,118,196	18%
Executive Services	30,000	30,000	-	-	30,000	30,000	0%
\$	6,288,000	\$ 5,244,972	\$ 1,139,804	\$ 718,598	\$ 4,105,168	\$ 5,148,196	

ORGANISATIONAL SERVICES							
Corporate Administration	81,000	67,514	3,594	3,594	63,920	77,406	4%
Corporate Support Services	160,000	133,334	70,173	71,638	63,161	89,827	44%
Finance	-	-	-	-	-	-	0%
Caravan Parks	42,000	35,000	-	-	35,000	42,000	0%
\$	283,000	\$ 235,848	\$ 73,767	\$ 75,232	\$ 162,081	\$ 209,233	



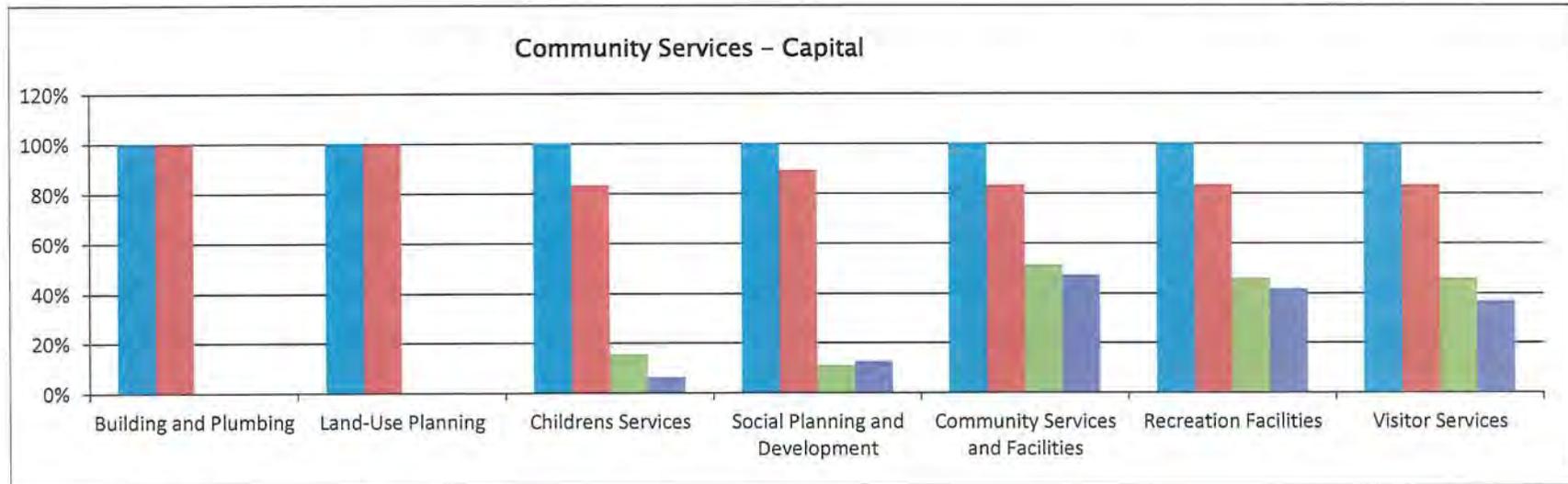
Finance Report – April 2017

	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
INFRASTRUCTURE SERVICES							
Engineering	152,000	126,666	144,720	-	(18,054)	7,280	95%
Works Operations	3,899,000	3,249,166	1,638,935	1,509,164	1,610,231	2,260,065	42%
Roads, Bridges and Drainage	5,799,000	4,859,136	2,955,237	2,261,891	1,903,899	2,843,763	51%
Waste Management	510,000	462,476	114,761	96,350	347,715	395,239	23%
Parks and Amenities	859,000	744,984	453,993	396,510	290,991	405,007	53%
\$	11,219,000	\$ 9,442,428	\$ 5,307,646	\$ 4,263,915	\$ 4,134,782	\$ 5,911,354	



Finance Report – April 2017

	Budget	YTD Budget	Actuals	Previous Month	YTD Variance	Remaining	% of Budget
COMMUNITY SERVICES							
Building and Plumbing	30,000	30,000	-	-	-	30,000	0%
Land-Use Planning	58,000	25,000	-	-	-	58,000	0%
Children's Services	33,000	27,500	5,129	2,075	-	27,871	0%
Community Development	153,000	136,814	16,733	19,021	120,081	136,267	11%
Community Services & Facilities	359,300	299,364	184,855	170,486	114,509	174,445	51%
Recreation Facilities	520,500	433,698	238,315	216,818	195,383	282,185	46%
Environmental Health	30,000	25,000	-	-	25,000	30,000	0%
Visitor Services	5,000	4,160	1,839	1,839	2,321	3,161	37%
	\$ 1,188,800	\$ 981,536	\$ 446,872	\$ 410,240	\$ 457,293	\$ 741,928	



Strategic Projects	Expenses less than budget – Timing of projects relating to the receipt of grant income.
Works Operations	Expenses less than budget – Timing of projects on works program.
Roads, Bridges and Drainage	Expenses less than budget – Timing of projects and impact of floods on works program.
Waste Management	Expenses less than budget – Timing of projects in general.
Parks and Amenities	Expenses less than budget – Timing of projects in general.
Community Services & Facilities	Expenses less than budget – Timing of projects in general.
Recreation Facilities	Expenses less than budget – Timing of projects in general.
Visitor Services	Expenses less than budget – Timing of projects in general.

BANK RECONCILIATION

FOR THE PERIOD 1 APRIL TO 30 APRIL 2017

Balance Brought Forward (31/3/2017)	9,803,021.11
Add, Revenue for month	8,649,477.67
	18,452,498.78

Less, Payments for month	2,694,060.59

Balance as at 30 April 2017	15,758,438.19

Balance as at Bank Account as at 30 April 2017	7,513,729.02
Less, Unpresented Payments	- 22,898.42

	7,490,830.60

Cash on Hand	- 70,345.51

Operating Account	7,420,485.09
Interest Bearing Term Deposits	8,337,953.10

	15,758,438.19



Andrea O'Rourke
ASSISTANT ACCOUNTANT

03-May-2017

