



CENTRAL COAST COUNCIL

DEVELOPMENT SUPPORT SPECIAL COMMITTEE

Notice of Meeting and

Agenda

12 SEPTEMBER 2016

PO Box 220 / DX 70506
19 King Edward Street
Ulverstone Tasmania 7315
Tel 03 6429 8900
Fax 03 6425 1224
admin@centralcoast.tas.gov.au
www.centralcoast.tas.gov.au

To all members

NOTICE OF MEETING

In accordance with the *Local Government (Meeting Procedures) Regulations 2015*, notice is given of the next ordinary meeting of the Development Support Special Committee which will be held in the Council Chamber of the Administration Centre, 19 King Edward Street, Ulverstone on Monday, 12 September 2016. The meeting will commence at 6.00pm.

An agenda and associated reports and documents are appended hereto.

A notice of meeting was published in The Advocate newspaper, a daily newspaper circulating in the municipal area, on 2 January 2016.

Dated at Ulverstone this 6th day of September 2016.

This notice of meeting and the agenda is given pursuant to delegation for and on behalf of the General Manager.



Michelle Gillett
EXECUTIVE SERVICES OFFICER

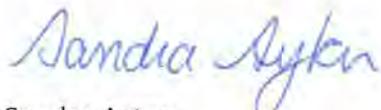
QUALIFIED PERSON'S ADVICE

The *Local Government Act 1993* provides (in part) as follows:

- . A general manager must ensure that any advice, information or recommendation given to the council is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation.
- . A council is not to decide on any matter which requires the advice of a qualified person without considering such advice unless the general manager certifies in writing that such advice was obtained and taken into account in providing general advice to the council.

I therefore certify that with respect to all advice, information or recommendations provided to the Development Support Special Committee in or with the following agenda:

- (i) the advice, information or recommendation is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation; and
- (ii) where any advice is directly given by a person who did not have the required qualifications or experience that person has obtained and taken into account in that person's general advice the advice from an appropriately qualified or experienced person.



Sandra Ayton
GENERAL MANAGER

NOTES

AGENDA

MEMBERS PRESENT

MEMBERS APOLOGIES

EMPLOYEES ATTENDANCE

EMPLOYEES APOLOGIES

PUBLIC ATTENDANCE

BUSINESS

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1 CONFIRMATION OF MINUTES OF THE COMMITTEE

1.1 Confirmation of minutes

The Director Community Services reports as follows:

"The minutes of the previous meeting of the Development Support Special Committee held on 27 June 2016 have already been circulated. The minutes are required to be confirmed for their accuracy.

The *Local Government (Meeting Procedures) Regulations 2015* provide that in confirming the minutes of a meeting, debate is allowed only in respect of the accuracy of the minutes.

A suggested resolution is submitted for consideration."

- "That the minutes of the previous meeting of the Development Support Special Committee held on 27 June 2016 be confirmed."
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2 MAYOR'S COMMUNICATIONS

2.1 Mayor's communications

The Mayor reports as follows:

"Under the terms of appointment of the Development Support Special Committee, it acts in agreed circumstances as if it were the Council and, accordingly, as a planning authority under the *Land Use Planning and Approvals Act 1993*.

Members are reminded that the *Local Government (Meeting Procedures) Regulations 2015* provide that the general manager is to ensure that the reasons for a decision by a council acting as a planning authority are recorded in the minutes.

In the event that items listed for consideration are referred, under the terms of the Committee's appointment, to the Council (e.g. any matter the Committee cannot determine unanimously), or if the Committee is unable to make a determination

within the relevant statutory time limit, such items will be referred to a meeting of the Council for a decision.

A suggested resolution is submitted for consideration."

- "That the Mayor's report be received."
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3 DECLARATIONS OF INTEREST

3.1 Declarations of interest

The Mayor reports as follows:

"Members are requested to indicate whether they have, or are likely to have, a pecuniary (or conflict of) interest in any item on the agenda."

The Director Community Services reports as follows:

"The *Local Government Act 1993* provides that a member must not participate at any meeting of a special committee in any discussion, nor vote on any matter, in respect of which the member has an interest or is aware or ought to be aware that a close associate has an interest.

Members are invited at this time to declare any interest they have on matters to be discussed at this meeting. If a declaration is impractical at this time, it is to be noted that a member must declare any interest in a matter before any discussion on that matter commences.

All interests declared will be recorded in the minutes at the commencement of the matter to which they relate."

4 ADJOURNMENT OF MEETING

4.1 Adjournment of meeting

The Mayor reports as follows:

"In order to effectively consider the reports before this meeting of the Committee it is appropriate that I adjourn the meeting to enable the related documents to be workshopped prior to resumption of the meeting and formal resolution of the agenda items."

5 DEPUTATIONS

5.1 Deputations

The Director Community Services reports as follows:

"No requests for deputations to address the meeting or to make statements or deliver reports have been made."

6 OPEN REPORTS

6.1 Visitor Accommodation (two accommodation buildings and two ancillary sheds for boat storage) at CT91766/5 Pine Road, Penguin – Application No. DA215218

The Director Community Services reports as follows:

“The Town Planner has prepared the following report:

<i>'DEVELOPMENT APPLICATION NO.:</i>	DA215218
<i>PROPOSAL:</i>	Visitor Accommodation (two accommodation buildings and two ancillary sheds for boat storage)
<i>APPLICANT:</i>	Mr P and Mrs J Stewart
<i>LOCATION:</i>	CT91766/5 Pine Road, Penguin
<i>ZONE:</i>	Rural Resource
<i>PLANNING INSTRUMENT:</i>	<i>Central Coast Interim Planning Scheme 2013</i> (the Scheme)
<i>ADVERTISED:</i>	6 August 2016
<i>REPRESENTATIONS EXPIRY DATE:</i>	20 August 2016
<i>REPRESENTATIONS RECEIVED:</i>	One
<i>42-DAY EXPIRY DATE:</i>	13 September 2016 (extension of time until 19 September 2016)
<i>DECISION DUE:</i>	12 September 2016

PURPOSE

The purpose of this report is to consider an application for the development of two Visitor Accommodation buildings and ancillary boat storage sheds at CT91766/5 Pine Road, Penguin.

Accompanying this report are the following documents:

- . Annexure 1 – location plan;
- . Annexure 2 – application documentation;
- . Annexure 3 – representation;
- . Annexure 4 – photographs and aerial view;
- . Annexure 5 – Statement of Compliance from the Road Authority and Stormwater Authority.

BACKGROUND

Development description -

Application is made for Visitor Accommodation development on Rural Resource land at CT91766/5 Pine Road, Penguin. The applicant currently owns and manages a tourist operation identified as “*Tassie Highland Fishing Accommodation*”. The proposal would expand the business model to the North West region.

Application is made for a staged development across the site comprising the following:

Stage One – Construction of a 125.6m² two bedroom Visitor Accommodation cottage.

Stage Two – Construction of a 274.5m² three bedroom Visitor Accommodation cottage.

Stage Three – Construction of one 96m² five bay boat shed that would be ancillary and subservient to the Visitor Accommodation use of the land.

Stage Four – Construction of a second 96m² five bay boat shed.

Stage Five – Construction of an open storage boat area with security fencing for housing of large boats.

Access would be off Pine Road.

The Visitor Accommodation buildings would be clad in rock and timber and roofed in non-reflective “Colorbond” material.

The application is accompanied by supporting documentation including Plans and Elevations by Wood Drafting & Design Service, a “Financial Plan” and written description of the proposal by the Applicants, a “Planning Report” by Planner Jayne Newman, a “Site Classification and On-Site Wastewater System Design” report by Strata Geoscience and Environmental, a “Land Capability Assessment” by Strata Geoscience and Environmental and a “Road Site Distance Assessment” by engineers, Pitt & Sherry.

Site description and surrounding area -

The 3.7ha rural property is cleared of native vegetation and does not support any significant rural infrastructure such as sheds, dams or fencing (other

than boundary fencing). A small portion the land is used for the raising of chickens, pigs and sheep.

The land is identified on the Council's land capability overlay as Class 3 prime agricultural land. A "Land Capability Assessment" by Strata Geoscience and Environmental classes the land as Class 4 agricultural land, with topsoil depth greater than 2m. The land is located within the proclaimed Dial/Blythe Irrigation District. The southern, rear portion of the land is slightly elevated, with slopes no greater than 20%.

Surrounding land is also cleared of vegetation and has similar, visible profiles and characteristics. The adjoining rural properties to the east and west are also cleared of vegetation and are used for resource production activities with "required residential" dwellings evident on adjoining rural allotments. A single "residential" dwelling is located directly opposite, the result of a dwelling excision in 1991.

History -

There is no particular history of relevance to the current application.

DISCUSSION

The following table is an assessment of the relevant Scheme provisions:

26.0 Rural Resource Zone

CLAUSE	COMMENT
26.1.2 Local Area Objectives	
(a) The priority purpose for rural land is primary industry dependent upon access to a naturally occurring resource; (b) Air, land and water resources are of importance for current and potential primary industry and other permitted use; (c) Air, land and water resources are protected against – (i) permanent loss to a use or development that has no need or reason to locate on land containing such a resource; and (ii) use or development that has potential to exclude or unduly conflict, constraint, or interfere with the practice of primary industry or any other use dependent on access to a naturally occurring resource; (d) Primary industry is diverse, dynamic, and innovative; and may occur on a range of lot sizes and at different levels of intensity;	(a) Proposal does not satisfy the Objective. The proposed use is not a primary industry use of the site, would not be dependent upon access to a primary industry that is dependent upon a naturally occurring resource and would not augment ongoing farm operations. The proposal is considered to be associated with the tourism industry; relying on the presence of natural fish stocks across a range of coastal and inland sites. The proposal is considered to be recreational fishing and as such is not classified as a primary industry activity. (b) Proposal does not satisfy the Objective. The proposed development is not a permitted use and is not reliant on air, land or water resources for primary industry production. (c)(i) Proposal does not satisfy the Objective. The proposal would result in the permanent loss of land to a tourism industry use of land that has no specific reason to locate on the subject site.

(e)	All agricultural land is a valuable resource to be protected for sustainable agricultural production;	(c)(ii) Proposal does not satisfy the Objective. The proposed Visitor Accommodation use has a high potential to unduly conflict, constrain or otherwise interfere with the practice of primary industry or any other use dependent on access to a naturally occurring resource. This is due primarily to the proposed proximity of a 'sensitive use' to adjoining primary industry uses.

(f) Rural land may be used and developed for economic, community, and utility activity that cannot reasonably be accommodated on land within a settlement or nature conservation area;

(g) Rural land may be used and developed for tourism and recreation use dependent upon a rural location or undertaken in association with primary industry;

(h) Residential use and development on rural land is appropriate only if -

- (i) required by a primary industry or a resource based activity; or
- (ii) without permanent loss of land significant for primary industry use and without constraint or interference to existing and potential use of land for primary industry purposes.

(d) Proposal does not satisfy the Objective. The proposed use is not a primary industry use, rather the proposed use and development would support the tourism industry, in this case, off-site recreational fishing.

(e) Proposal does not satisfy the Objective. The subject land is within the Proclaimed Dial/Blythe Irrigation District and is Class 3-4 agricultural land. The proposed use is not related to sustainable agricultural production.

(f) Proposal does not satisfy the Objective. Proposed development could be located in other zones, such as General Residential, Rural Living, Low Density Residential, Environmental Living and Recreation; or on other Rural Resource land where potential primary industry use was lost or constrained due to land characteristics. NB: Primary industry also

	<p>includes activities such as extractive industry and forestry.</p> <p>(g) Proposal does not satisfy the Objective. The proposal satisfies the Objective in that it is associated with the tourism industry. However, accommodation buildings and associated boat sheds are not dependent upon a rural location and would not be undertaken in association with primary industry or a resource based activity on the subject site or on adjoining land. The accompanying Planning Report states the proposed location is favored by the applicants as it allows for easy access to the Bass Highway and coastal fishing sites and offers views to Bass Strait.</p> <p>(h)(i) Not applicable. Not Residential use.</p> <p>(h)(ii) Not applicable. Not Residential use.</p>
26.1.3 Desired Future Character Statements	
Use or development on rural land –	<p>(a)(i) Proposal is not consistent with Desired Future Character. Proposed development is not associated with a working landscape featuring agriculture or forestry.</p> <p>(a)(ii) Proposal is not consistent with Desired Future Character. Proposed development is not associated with mining and extraction.</p>

(a)	<p>may create a dynamic, extensively cultivated, highly modified, and relatively sparsely settled working landscape featuring –</p> <ul style="list-style-type: none"> (i) expansive areas for agriculture and forestry; (ii) mining and extraction sites; (iii) utility and transport sites and extended corridors; and (iv) service and support buildings and work areas of substantial size, utilitarian character, and visual prominence that are sited and managed with priority for operational efficiency 	<p>(a)(iii) Proposal is not consistent with Desired Future Character. Proposed development is not associated with utility and transportation sites or corridors.</p> <p>(a)(iv) Proposal is not consistent with Desired Future Character. Proposed buildings would not be utility service buildings.</p> <p>(b)(i) Not applicable. Proposal will not affect existing residential settlement nodes.</p> <p>(b)(ii) Proposal is consistent with Desired Future Character. Proposed development will not result in a negative effect on places of ecological, scientific, cultural or aesthetic value.</p>
(b)	<p>may be interspersed with –</p> <ul style="list-style-type: none"> (i) small-scale residential settlement nodes; (ii) places of ecological, scientific, cultural, or aesthetic value; and (iii) pockets of remnant native vegetation 	<p>(b)(iii) Not applicable. The site is cleared of native vegetation.</p> <p>(c)(i) Proposal is consistent with Desired Future Character. The proposal would require development of a road, vehicle parking and manoeuvring areas, on-site wastewater and stormwater disposal areas and the construction of five buildings over the site. The underlying physical terrain of the site would remain as existing, although the site would be substantially altered by the proposed constructions and use of the land.</p>

(c)	will seek to minimise disturbance to – (i) physical terrain; (ii) natural biodiversity and ecological systems; (iii) scenic attributes; and (iv) rural residential and visitor amenity;	(c)(ii) Proposal is consistent with Desired Future Character. The site exhibits highly compromised natural biodiversity and ecological systems. The proposal would not disturb biodiversity or ecological systems on the site. (c)(iii) Proposal is consistent with Desired Future Character. Proposed development would not disturb existing scenic attributes of the site.
(d)	may involve sites of varying size – (i) in accordance with the type, scale and intensity of primary industry; and (ii) to reduce loss and constraint on use of land important for sustainable commercial production based on naturally occurring resources;	(c)(iv) Proposal is consistent with Desired Future Character. Development does not adjoin a Rural Living zone. Development would result in minimal impact on rural residential amenity and would provide additional visitor amenity in this area. (d)(i) Proposal is not consistent with Desired Future Character. Development would not be associated with primary industry.
(e)	is significantly influenced in temporal nature, character, scale, frequency, and intensity by external factors, including changes in technology, production techniques, and in economic, management, and marketing systems.	(d)(ii) Proposal is not consistent with Desired Future Character. Development would not be associated with sustainable commercial production based on a naturally occurring resource. (e) Not applicable. Proposal is not significantly influenced by changes in technology, production techniques or economic management and marketing systems.

26.3.1 Requirement for discretionary non-residential use to locate on rural resource land

26.3.1-(P1) Other than for residential use, discretionary permit use must:

- (a) be consistent with local area objectives;
- (b) be consistent with any applicable desired future character statement; and
- (c) be required to locate on rural resource land for operational efficiency:
 - (i) to access a specific naturally occurring resource on the site or on adjacent land in the zone;
 - (ii) to access infrastructure only available on the site or on adjacent land in the zone;
 - (iii) to access a product of primary industry from a use on the site or on adjacent land in the zone;
 - (iv) to service or support a primary industry or other permitted use on the site or on adjacent land in the zone;
 - (v) if required
 - a. to acquire access to a mandatory site area not otherwise available in a zone intended for that purpose;

- (a) Non-compliant. Proposal does not meet eight out of 10 of the Local Area Objectives of the Rural Resource zone. Two of the 10 Objectives are not applicable to this application.
- (b) Non-compliant. Proposal does not meet six of the Future Desired Character Statements of the Rural Resource zone. Five of the Statements are satisfied and three are not applicable to this application.
- (c)(i) Non-compliant. A naturally occurring resource in the Rural Resource zone refers to air, water and land resources. Development is for Visitor Accommodation. It is not a requirement of the proposed use and development to locate on rural resource land to access a naturally occurring resource on the site. The application states that the proposal would locate on-site to access views of Bass Strait and for proximity to the Bass Highway.
- (c)(ii) Non-compliant. It is not a requirement of the proposed use and development to access infrastructure that is only available on the site or adjacent land.
- (c)(iii) Non-compliant. It is not a requirement of the proposed use and development to access a primary product from a use on the site or adjacent land.

	<p>b. for security;</p> <p>c. for public health or safety if all measures to minimise impact could create an unacceptable level of risk to human health, life or property if located on land in a zone intended for that purpose;</p> <p>(vi) to provide opportunity for diversification, innovation, and value-adding to secure existing or potential primary industry use of the site or of adjacent land;</p> <p>(vii) to provide an essential utility or community service infrastructure for the municipal or regional community or that is of significance for Tasmania; or</p> <p>(viii) if a cost-benefit analysis in economic, environmental, and social terms indicates significant benefits to the region; and</p> <p>(d) minimise likelihood for:</p> <p>(i) permanent loss of land for existing and potential primary industry use;</p> <p>(ii) constraint or interference to existing and potential primary industry use on the site and on adjacent land; and</p> <p>(iii) loss of land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i> or land that may benefit from the application of broad-scale irrigation development.</p>	<p>(c)(iv) Non-compliant. It is not a requirement of the proposed use and development to service primary industry.</p> <p>(c)(v)(a) Non-compliant. Land is otherwise available throughout the municipal area for the proposed use and development.</p> <p>(c)(v)(b) Non-compliant. Proposal is not required to locate on Rural Resource land for security reasons.</p> <p>(c)(v)(c) Non-compliant. Proposal is not required for public health or safety.</p> <p>(c)(vi) Non-compliant. Proposal would not diversify or value-add to existing or potential primary industry use of the site or adjacent land.</p> <p>(c)(vii) Non-compliant. Proposal would not provide essential utility or community service.</p> <p>(c)(viii) Non-compliant. No economic, social or environmental cost-benefit analysis to demonstrate significant regional benefit. The application is accompanied by a 2 year Financial Plan that demonstrates the long term viability of the proposal to the developer. It would be fair to state the Financial Plan does not demonstrate significant regional benefit and does not take into account the loss of productive rural land to the region, or wider</p>
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	<p>environmental or social economic impacts or benefits.</p> <p>(d)(i) Non-compliant. Proposal would result in the permanent loss of agricultural land that is located within the Proclaimed Dial/Blythe Irrigation District, for potential primary industry use. The Planning Report accompanying the application states that the site is not within a proclaimed irrigation district. However, this is not the case. The site, including all surrounding land and land on the opposite side of Pine Road, is within the Proclaimed Dial/Blythe Irrigation District; proclaimed under Part 9 of the <i>Water Management Act 1999</i> in February 2014.</p> <p>(d)(ii) Non-compliant. There is a high degree of likelihood the proposal would constrain, fetter or otherwise interfere with existing and potential primary industry use on the site and on adjacent land. Surrounding land would have the opportunity to become part of the Dial/Blythe Irrigation Scheme as irrigation infrastructure is developed. The activities of resource production may result in conflict with an adjoining tourist operation.</p> <p>(d)(iii) Non-compliant. The site is located within the Proclaimed Dial/Blythe Irrigation District. It is considered the proposed use and development would result in the permanent loss of land within a district that was proclaimed under Part 9 of the</p>
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	<p><i>Water Management Act 1999</i> in February 2014.</p> <p>Refer to “Issues” section of this report.</p>
26.3.2 Required Residential Use	<p>26.3.2-(A1) Residential use required as part of a use must:</p> <ul style="list-style-type: none"> (a) be an alteration or addition to an existing lawful and structurally sound residential building; (b) be an ancillary dwelling to an existing lawful and structurally sound single dwelling; (c) not intensify an existing lawful residential use; (d) not replace an existing residential use; (e) not create a new residential use through conversion of an existing building; (f) be an outbuilding with a floor area of not more than 100m² appurtenant to an existing lawful and structurally sound residential building; or (g) be home based business in association with occupation of an existing lawful and structurally sound residential building; and (h) there is no change in the title description of the site on which the

residential use is located.	
26.3.3 Residential use	
<p>26.3.3-(A1) Residential use that is not required as part of any other use must:</p> <ul style="list-style-type: none"> (a) be an alteration or addition to an existing lawful and structurally sound residential building; (b) be an ancillary dwelling to an existing lawful and structurally sound single dwelling; (c) not intensify an existing lawful residential use; (d) not replace an existing residential use; (e) not create a new residential use through conversion of an existing building; (f) be an outbuilding with a floor area of not more than 100m² appurtenant to an existing lawful and structurally sound residential building; or (g) be home based business in association with occupation of an existing lawful and structurally sound residential building; and (h) there is no change in the title description of the site on which the residential use is located. 	<p>Not applicable.</p> <p>Not a residential use.</p>

26.4 Development Standards	
26.4.1 Suitability of a site or lot on a plan of subdivision for use or development	
<p>26.4.1-(A1) A site or each lot on a plan of subdivision must:</p> <ul style="list-style-type: none"> (a) unless for agricultural use, have an area of not less than 1.0 hectare not including any access strip; and (b) if intended for a building, contain a building area <ul style="list-style-type: none"> (i) of not more than 2,000m² or 20% of the area of the site, whichever is the greater unless a crop protection structure for an agricultural use; (ii) clear of any applicable setback from a frontage, side or rear boundary; (iii) clear of any applicable setback from a zone boundary; (iv) clear of any registered easement; (v) clear of any registered right of way benefiting other land; (vi) clear of any restriction imposed by a utility; (vii) not including an access strip; (viii) accessible from a frontage or access strip. 	<ul style="list-style-type: none"> (a) Compliant. The area of the subject land is 3.7ha. (b)(i) Compliant. Total proposed building area would be 592.1m² comprising a 274.5m² three bedroom, Visitor Accommodation building, a 125.6m² two bedroom, Visitor Accommodation building and two five bay sheds, each 96m². (b)(ii) Compliant. Buildings meet front, rear and side boundary setback standards. (b)(iii) Not applicable. No zone boundary setbacks. (b)(iv) Not applicable. No registered easements. (b)(v) Not applicable. No right-of-way benefiting other land. (b)(vi) Not applicable. No restrictions imposed by a utility. (b)(vii) Not applicable. No access strip. (b)(viii) Compliant. Land is accessible from a frontage to Pine Road.

<p>26.4.1-(A2) A site or each lot on a subdivision plan must have a separate access from a road:</p> <ul style="list-style-type: none"> (a) across a frontage over which no other land has a right of access; and (b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or (c) by a right of way connecting to a road <ul style="list-style-type: none"> (i) over land not required as the means of access to any other land; and (ii) not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and (d) with a width of frontage and any access strip or right of way of not less than 6.0m; and (e) the relevant road authority in accordance with the <i>Local Government (Highways) Act 1982</i> or the <i>Roads and Jetties Act 1935</i> must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan. 	<ul style="list-style-type: none"> (a) Compliant. Development would utilise frontage to Pine Road. (b)-(d) Not applicable. Compliant with (a). (e) Compliant. Existing approved access to Pine Road in accordance with the <i>Local Government (Highways) Act 1982</i>.
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<p>26.4.1-(A3) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of connecting to a water supply:</p> <ul style="list-style-type: none"> (a) provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or (b) from a rechargeable drinking water system ^{R31} with a storage capacity of not less than 10,000 litres if: <ul style="list-style-type: none"> (i) there is not a reticulated water supply; and (ii) development is for: <ul style="list-style-type: none"> a. a single dwelling; or b. a use with an equivalent population of not more than 10 people per day. 	<ul style="list-style-type: none"> (a) Not applicable. Compliant with (b). (b)(i) Compliant. The site is not connected to a reticulated system. Each of the proposed Visitor Accommodation buildings would require a (minimum) 10,000 litre water tank supply. (b)(ii)(a) Not applicable. (b)(ii)(b) Compliant. Use would be able to accommodate a maximum of 10 persons per day.
<p>26.4.1-(A4) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and liquid trade waste:</p> <ul style="list-style-type: none"> (a) to a sewerage system provided in accordance with the <i>Water and Sewerage Industry Act 2008</i>; or 	<ul style="list-style-type: none"> (a) Not applicable. Site is not connected to a reticulated sewer system. (b)(i) Not applicable. Compliant with (b)(iii). (b)(ii) Not applicable. Compliant with (b)(iii). (b)(iii) Compliant. The proposal is supported by a "Site Classification and On-Site Wastewater System

<p>(b) by on-site disposal if:</p> <ul style="list-style-type: none"> (i) sewage or liquid trade waste cannot be drained to a reticulated sewer system; and (ii) the development: <ul style="list-style-type: none"> a. is for a single dwelling; or b. provides for an equivalent population of not more than 10 people per day; or (iii) the site has capacity for on-site disposal of domestic waste water in accordance with AS/NZS 1547:2000 On-site domestic-wastewater management clear of any defined building area or access strip. 	<p>Design" report by Strata Geoscience and Environmental. The site has the capacity for on-site disposal of domestic wastewater.</p>
<p>26.4.1-(A5) Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater:</p> <ul style="list-style-type: none"> (a) to a stormwater system provided in accordance with the <i>Urban Drainage Act 2013</i>; or (b) if stormwater cannot be drained to a stormwater system: <ul style="list-style-type: none"> (i) for discharge to a natural drainage line, water body or 	<ul style="list-style-type: none"> (a) Not applicable. Site is not connected to a reticulated stormwater system. (b)(i) Not applicable. Compliant with (b)(ii). (b)(ii)(a) Compliant. Site has an area of 3.7ha. (b)(ii)(b) Compliant. Stormwater disposal area would be clear of any defined building area. (b)(ii)(c) Compliant. Stormwater disposal area would be clear

<p>watercourse; or</p> <p>(ii) for disposal within the site if:</p> <ul style="list-style-type: none"> a. the site has an area of not less than 5,000m²; b. the disposal area is not within any defined building area; c. the disposal area is not within any area required for the disposal of sewage; d. the disposal area is not within any access strip; and e. not more than 50% of the site is impervious surface. 	<p>of wastewater disposal area.</p> <p>(b)(ii)(d) Not applicable. No access strip.</p> <p>(b)(ii)(e) Compliant. More than 50% of the site is permeable land.</p>
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26.4.2 Location and configuration of development

<p>26.4.2-(A1) A building or a utility structure, other than a crop protection structure for an agriculture use, must be set back:</p> <ul style="list-style-type: none"> (a) not less than 20.0m from the frontage; or (b) not less than 50.0m if the development is for sensitive use on land that adjoins the Bass Highway; (c) not less than 10.0m from each side boundary; and (d) not less than 10.0m from the rear boundary; or; 	<p>(a) Compliant. Boat sheds would be setback 25m from Pine Road frontage. Visitor Accommodation buildings would be setback 250m from the frontage.</p> <p>(b) Not applicable. Compliant with (a) and land does not adjoin the Bass Highway.</p> <p>(c) Compliant. Boat sheds would be setback 25.4m from nearest side boundary to the east. Visitor Accommodation buildings would be setback 25m</p>
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<p>(e) in accordance with any applicable building area shown on a sealed plan.</p>	<p>from nearest side boundary to the east.</p> <p>(d) Compliant. Boat sheds would be setback 260m from rear boundary. Visitor Accommodation buildings would be setback 35m from rear boundary.</p> <p>(e) Not applicable. No building area is shown on a sealed plan of subdivision.</p>
<p>26.4.2-(A2) Building height must be not more than 8.5m.</p>	<p>Compliant. Proposed building heights would be a maximum of 4m.</p>
<p>26.4.2-(A3) A building or utility structure, other than a crop protection structure for an agricultural use, must:</p> <p>(a) not project above an elevation 15.0m below the closest ridgeline;</p> <p>(b) be not less than 30.0m from any shoreline to a marine, or aquatic water body, watercourse, or wetland;</p> <p>(c) be below the canopy level of any adjacent forest or woodland vegetation; and</p> <p>(d) be clad and roofed in non-reflective materials.</p>	<p>(a) Non-compliant. Proposed development would be sited on the elevated portion of the property, to take advantage of distant views to Bass Strait.</p> <p>(b) Compliant. Development would be approximately 528m from a waterway.</p> <p>(c) Compliant. Visitor Accommodation buildings would sit below the canopy of any adjacent forest or woodland vegetation.</p> <p>(d) Compliant. Proposed buildings would be clad in rock and timber and roofed in "Colorbond" material.</p>
<p>26.4.3 Location of development for sensitive uses</p>	

<p>26.4.3-(A1) New development for sensitive uses must:</p> <ul style="list-style-type: none"> (a) be located not less than: <ul style="list-style-type: none"> (i) 200m from any agricultural land; (ii) 200m from aquaculture, or controlled environment agriculture; (iii) 500m from extractive industry or intensive animal husbandry; (iv) 100m from land under a reserve management plan; (v) 100m from land designated for production forestry; (vi) 50.0m from a boundary of the land to the Bass Highway, or to a railway line; and (vii) clear of any restriction imposed by a utility; and (b) not be on land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i>, or land that may benefit from the application of broad-scale irrigation development. 	<ul style="list-style-type: none"> (a)(i) Non-compliant. Sensitive use would be located 25m from agricultural land. See "Issues" section. (a)(ii) Not applicable. No aquaculture or controlled environment in this area. (a)(iii) Compliant. No extractive industry within 500m of the proposed development. (a)(iv) Compliant. No reserve management plan within 100m of the proposed development. (a)(v) Compliant. No production forestry within 100m of proposed development. (a)(vi) Compliant. Proposed development not within 50m of the Bass Highway or a rail line. (a)(vii) Not applicable. No restriction imposed by a utility. (b) Non-compliant. Land is located within the Proclaimed Dial/Blythe Irrigation District, proclaimed under part 9 of the <i>Water Management Act 1999</i> in February 2014. See "Issues" section.
<p>26.4.4 Subdivision</p>	

<p>26.4.4-(P1)</p> <p>(a) A plan of subdivision to reconfigure land must:</p> <ul style="list-style-type: none"> (i) be required to restructure, resize, or reconfigure land for primary industry use; and (ii) not create an additional lot; <p>(b) a plan of subdivision to create a lot required for public use by the State Government, a Council, a statutory authority, or a corporation all the shares of which are held by or on behalf of the State, a Council, or by a statutory authority must retain the balance area for primary industry use;</p> <p>(c) a plan of subdivision to create a new lot must:</p> <ul style="list-style-type: none"> (i) be required for a purpose permissible in the zone; (ii) be of a size and configuration that is not more than is required to accommodate the nominated use in accordance with the applicable standards of this planning scheme for such use; (iii) retain the balance area for primary industry use; (iv) minimise unnecessary and permanent loss of rural resource land for existing and potential primary industry use; (v) minimise constraint or interference to existing and potential 	<p>Not applicable.</p> <p>No subdivision proposed.</p>
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<p>primary industry use on the site and of adjacent land in the zone; and</p> <p>(vi) minimise unnecessary and permanent loss of land within a proclaimed irrigation district under Part 9 <i>Water Management Act 1999</i>, or land that may benefit from the application of broad-scale irrigation development; or</p> <p>(d) a plan of subdivision to reduce the area of an existing lot on a sealed plan containing a lawful use must:</p> <ul style="list-style-type: none"> (i) not be land containing a residential use approved by a permit granted under the <i>Land Use Planning and Approvals Act 1993</i> as a required part of a permitted use; (ii) incorporate the excised area into an existing primary industry lot by amalgamation in a manner acceptable to the Recorder of Titles ^{R32}; (iii) minimise likelihood for the existing use on the reduced area lot to further constrain or interfere with use of the balance area or adjacent land for an existing or potential primary industry use; and (iv) retain a lot with a size and shape that: <ul style="list-style-type: none"> a. can accommodate the lawful existing use or development in accordance with the applicable standards for that use; or b. does not further increase any non-compliance for 	
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use or development on the existing lot.	
26.4.5 Buildings for Controlled Environment Agriculture	
26.4.5-(A1) A building for controlled environment agriculture use must be a crop protection structure and the agricultural use inside the building must satisfy one of the following: (a) rely on the soil as a growth medium into which plants are directly sown; (b) not alter, disturb or damage the existing soil profile if conducted in a manner which does not rely on the soil as a growth medium.	Not applicable. No controlled environment agriculture proposed.
CODES	
E1 Bushfire-Prone Areas Code	Not applicable.
E2 Airport Impact Management Code	Not applicable.
E3 Clearing and Conversion of Vegetation Code	Not applicable.
E4 Change in Ground Level Code	Not applicable.
E5 Local Heritage Code	Not applicable.
E6 Hazard Management Code	Not applicable.

E7 Sign Code	Not applicable.
E8 Telecommunication Code	Not applicable.
E9 Traffic Generating Use and Parking Code	
E9.2 Application of this Code	Applicable. Applies to all use and development.
E9.4 Use or development exempt from this Code	Not exempt. No Local Area Parking Scheme.
E9.5 Use Standards	
E9.5.1 Provision for parking	
E9.5.1-(A1) Provision for parking must be: (a) the minimum number of on-site vehicle parking spaces must be in accordance with the applicable standard for the use class as shown in the Table to this Code; (b) motor bike parking at a rate of one space for every 20 vehicle parking spaces; (c) parking spaces for people with disabilities at the rate of one space for every 20 parking spaces or part thereof; and (d) bicycle parking at the rate of one space for every 20 vehicle parking spaces or part thereof.	(a) Compliant. Code E9 requires one space per "holiday cabin" plus one additional space for every three cabins. This equates to a total of three car parking spaces required on the site. There is ample area on the site to accommodate this requirement. (b) Not applicable. Requirement not triggered until 20 vehicle parking spaces are proposed or required. (c) Not applicable. Requirement not triggered until 20 vehicle parking spaces are proposed or required. (d) Not applicable. Requirement not triggered until

	20 vehicle parking spaces are proposed or required.
E9.5.2 Provision for loading and unloading of vehicles	
E9.5.2-(A1) There must be provision within a site for: (a) on-site loading area in accordance with the requirement in the Table to this Code; and (b) passenger vehicle pick-up and set-down facilities for business, commercial, educational and retail use at the rate of one space for every 50 parking spaces.	(a) Compliant. Code E9 requires the site make provision for one small, rigid truck for loading and unloading. There is ample area on the site to accommodate this requirement. (b) Not applicable. Passenger pick-up and set-down facilities not required for business, commercial, educational or retail use.
E9.6 Development Standards	
E9.6.1 Road access	
E9.6.1-(A1) There must be an access to the site from a carriageway of a road ^{R36} : (a) permitted in accordance with the <i>Local Government (Highways) Act 1982</i> ; (b) permitted in accordance with the <i>Roads and Jetties Act 1935</i> ; or (c) permitted by a license granted for access to a limited access road under the <i>Roads and Jetties Act 1935</i> .	(a) Compliant. Access to and from Pine Road would be permitted in accordance with the <i>Local Government (Highways) Act 1982</i> . (b) Not applicable. Satisfied by E9.6.1-(A1)(a). (c) Not applicable. Satisfied by E9.6.1-(A1)(a).

E9.6.2 Design of vehicle parking and loading areas	
E9.6.2 A1.1 All development must provide for the collection, drainage and disposal of stormwater; and	Compliant. Development would be required to drain, collect and dispose of stormwater on-site, clear of building sites, wastewater site and access road.
<p>E9.6.2 A1.2 Other than for development for a single dwelling in the General Residential, Low Density Residential, Urban Mixed Use and Village zones, the layout of vehicle parking area, loading area, circulation aisle and manoeuvring area must –</p> <ul style="list-style-type: none"> (a) Be in accordance with AS/NZS 2890.1 (2004) – Parking Facilities – Off-Street Car Parking; (b) Be in accordance with AS/NZS 2890.2 (2002) Parking Facilities – Off-Street Commercial Vehicles; (c) Be in accordance with AS/NZS 2890.3 (1993) Parking Facilities – Bicycle Parking Facilities; (d) Be in accordance with AS/NZS 2890.6 Parking Facilities – Off-Street Parking for People with Disabilities; (e) Each parking space must be separately accessed from the internal circulation aisle within the site; (f) Provide for the forward movement and passing of all vehicles within the site other than if entering or leaving a loading or parking space; 	<p>(a) Compliant. Circulation and parking areas and vehicle manoeuvring areas would be in accordance with AS/NZS 2890.1 (2004).</p> <p>(b) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(c) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(d) Not applicable. Applies where 20 spaces are proposed or required.</p> <p>(e) Compliant. The site has ample area to accommodate this requirement.</p> <p>(f) Compliant. The site has ample area to accommodate this requirement.</p> <p>(g) Compliant. A condition would need to be applied to a Permit requiring internal roads and car parking areas to be constructed with a compacted sub-base and an all-weather surface.</p>

(g) Be formed and constructed with compacted sub-base and an all-weather surface.	
E9.6.2-(A2) Design and construction of an access strip and vehicle circulation, movement and standing areas for use or development on land within the Rural Living, Environmental Living, Open Space, Rural Resource, or Environmental Management zones must be in accordance with the principles and requirements for in the current edition of Unsealed Roads Manual – Guideline for Good Practice ARRB.	Compliant. Design and construction of access vehicle circulation, movement and standing area, must be in accordance with the principles and requirements of the <i>Unsealed Roads Manual - Guideline for Good Practice</i> ARRB.
E10 Water and Waterways Code	Not applicable.
Specific Area Plans	Not applicable. No Specific Area Plans apply to this area.

Issues –

1 Development does not meet Scheme Local Area Objectives for the Rural Resources zone –

The purpose of the Rural Resource zone is to provide for the sustainable use or development of resources for agriculture, aquaculture, forestry, mining and other primary industries, including opportunity for resource production. The zone seeks to provide for other use and development that does not constrain or conflict with resource development uses.

The proposed development does not meet any of the Scheme's Local Area Objectives for development and use in the Rural Resource zone.

The Local Area Objectives for the Rural Resource zone reference the requirement of the proposed use and development to be reliant upon, be associated with, or have an intention to use a naturally occurring resource that is located on the subject site or adjoining land.

The Objectives seek to protect all agricultural land for sustainable agricultural production and collectively demonstrate that the primary intent of use and development in the Rural Resource zone is to minimise the loss of land for primary industry. Most particularly, minimize the loss of prime agricultural land, protect land that is located within a proclaimed irrigation district and to provide for uses that do not constrain, fetter or conflict with current or future resource development uses.

It is considered the subject proposal is not a use that is associated with primary industry. The proposal is for Visitor Accommodation, whereby visitors would be accommodated for a period of time (overnight or longer term) in cabins and be taken on fishing trips in the North West region. As such, the use of the land is associated with the tourism industry. It is considered the site is not appropriate for the proposed use, which could result in the constraint, fettering or interference with current or future resource development uses in the area.

2 Development within the Dial/Blythe Irrigation District –

The Central Coast municipal area accommodates two irrigation districts, proclaimed under Part 9 of the *Water Management Act 1999*. The Kindred/North Motton Irrigation District, proclaimed in

August 2012, and the Dial/Blythe Irrigation District, proclaimed in February 2014.

The proposed development would be on land that is located within the Dial/Blythe Irrigation District. All surrounding land is also within the Dial/Blythe Irrigation District.

The Dial/Blythe Irrigation District comprises 12,568ha and is expected to have the capacity to supply 2,855ML of water over the summer irrigation period, giving water security to affected lands. The Scheme is intended to service pasture and cropping land around the settlements of South Riana, Riana, Penguin, West Pine, Cuprona and Howth. Currently, the production of potatoes, other vegetables, poppies, pyrethrum, blueberries, beef and dairy produce are the primary activities in these areas.

It is considered the proposed development would exclude the property from future broad scale irrigation and associated resource production. Development would place a sensitive, tourism use within a recently established irrigation district, where surrounding property may also be able to benefit and augment production from the “roll out” of the Irrigation Scheme.

3 *Discretionary Non-Residential Use on Rural Resource land –*

The proposed development does not meet any of the Scheme's Standards of Clause 26.3.1-(P1) for "Discretionary" Non-Residential Use to Locate on Rural Resource land. It is mandatory that the proposal meets at least one of the Scheme's requirements.

Performance Criteria 26.3.1-(P1) states that, other than for residential development, discretionary uses must be reliant or dependent on primary industry to locate on Rural Resource land. The subject proposal is not able to meet these Performance Criteria. The proposal does not require to be located on Rural Resource land to access a naturally occurring resource on the subject site, or to access infrastructure only available on the subject site or adjacent land.

It is not a requirement of the proposed use and development to access a primary product from a use on the subject site or adjacent land or to service primary industry or reasons of public health or safety.

The proposed development would not diversify or value-add to an existing or potential primary industry use of the site or adjacent land.

The proposal would not provide an essential utility or community service and is not required to locate on Rural Resource land for security reasons.

The application is not accompanied by an economic, social and environmental cost-benefit analysis to demonstrate significant regional benefit. It is considered there is no obvious or demonstrated benefit to the region, except for tourism, and the proposal fails on the need to be reliant upon a primary industry resource.

4 *The development of a Sensitive Use on Rural Resource Land –*

Visitor Accommodation is defined as a “sensitive use” under the Scheme.

The Scheme’s Acceptable Solution 26.4.1 requires that a sensitive use be setback a minimum of 200m from agricultural land. This is to minimise the proximity of a sensitive use to agricultural operational activities. Close proximity, less than 200m, may result in the conflict, interference or fettering of primary industry activity on adjoining agricultural land. Conflict may arise where visitor accommodation use is in close proximity to primary industry due to differing expectations, the spraying of agricultural chemicals, pivot irrigation noise and spray, dust, and the activities of planting, ongoing maintenance and the harvesting of crops that may give rise to a nuisance to occupants of an adjoining sensitive use.

The Scheme’s Performance Criteria 26.4.3-(P1) requires that the new sensitive use must minimise all of the following:

- (a) *permanent loss of land for existing and potential primary industry use;*
- (b) *likely constraint or interference to existing and potential primary industry use on the site and on adjacent land;*
- (c) *permanent loss of land within a proclaimed irrigation district under Part 9 of the Water Management Act 1999 or land that may benefit from the application of broad-scale irrigation development ; and*
- (d) *adverse effect on the operations and safety of a major road, a railway or a utility.*

It is considered the proposed Visitor Accommodation and associated development works over the land would result in the permanent loss of land for existing and potential primary industry use. The proposed 25m side setback and 35m rear setback of Visitor Accommodation buildings from agricultural land would result in a likely constraint, interference or/and fettering of primary industry activity on subject land or on adjacent land.

Note: Other Visitor Accommodation developments approved by the Council have been associated with a primary industry activity on-site; such as a productive truffle farm at Wyllies Road and visitor cabins on a 41ha horse & cattle rearing property at South Nietta, where the use would augment and be associated with on-site activities. Both properties demonstrated viable, on-site primary industry activity, were not located within a proclaimed irrigation district and 'sensitive use' standards were able to be met.

Referral advice –

Referral advice from the various Departments of the Council and other service providers is as follows:

SERVICE	COMMENTS/CONDITIONS
Environmental Health	No comment.
Infrastructure Services	Refer to Statement of Compliance from Road Authority.
TasWater	Not applicable.
Department of State Growth	No applicable.
Environment Protection Authority	No applicable.
TasRail	Not applicable.
Heritage Tasmania	Not applicable.
Crown Land Services	Not applicable.
Other	Not applicable.

CONSULTATION

In accordance with s.57(3) of the *Land Use Planning and Approvals Act 1993*:

- a site notice was posted;
- letters to adjoining owners were sent; and
- an advertisement was placed in the Public Notices section of The Advocate.

Representations –

One representation was received within the prescribed time, a copy of which is provided at Annexure 3.

The representation is summarised and responded to as follows:

MATTER RAISED	RESPONSE
1 Adjoining owners manage land that is to the South and East of the subject property. Adjoining land comprises two Titles (CT91766/4 and CT221745/1). The owners use their property for resource production (agriculture). They object to the proposal and are concerned the use of adjoining land for Visitor Accommodation will affect their use (and management and value) of their land for agriculture. Particularly, they are concerned that the proximity of the proposed accommodation dwellings will interfere with their ability to spray chemicals for farming.	<p>The issue raised is a matter the Local Area Objectives and Standards of the Scheme attempt to address through use and development controls. That is, the constraint, fettering and interference of uses that are not reliant upon, or associated with, primary industry use in the Rural Resource zone.</p> <p>The Scheme requires a “sensitive use”, such as Visitor Accommodation, be setback a minimum of 200m from all boundaries to agricultural land. The setback requirement is to mitigate conflict that may arise due to the spraying of chemicals, pivot irrigation noise and spray, dust, and the planting, maintenance and harvesting of crops on adjoining land.</p> <p>The subject proposal would be setback 25m to the eastern boundary and 35m to the rear</p>

	boundary of the property. The matter raised by the representor is considered to be legitimate.
2 The Representation raises concern that the trees proposed along the eastern and southern boundaries of the subject property will result in root intrusion onto their land and drain soil of nutrients.	<p>This may be a valid matter however it is not a matter the Scheme can adequately address. It is noted that there is an established practice of planting wind breaks across rural land, which does result in the loss of some productive land. The loss of agricultural land is traded "on farm", with the benefit of the protection of stock and crops from strong winds.</p> <p>If the proposed Visitor Accommodation use was established, then a vegetation screen may limit conflict between adjoining land uses and nuisance complaint.</p>
3 The representation cites Clause 26.3.1 (c)(iii) of the <i>Central Coast Interim Planning Scheme 2013</i> , stating that the proposal does not meet the Performance Criteria as the proposal is not for the purpose of accessing a product for primary industry purpose from a use on the site or on adjacent land.	<p>This matter has been addressed in the "Issues" section of this report. It is accepted that the proposed use (Visitor Accommodation) is not for the purpose of accessing a product for primary industry purpose from a use on the subject site or on adjoining land.</p>
4 The representation cites Clause 26.4.3 of the <i>Central Coast Interim Planning Scheme 2013</i> , stating that the proposal does not meet the Scheme's Acceptable Solution or the Performance Criteria and that the proposal will constrain or interfere with existing primary industry use of their property.	<p>Clause 26.4.3 relates to the "Location of development for sensitive uses".</p> <p>This matter has been addressed in the "Issues" section of this report. It is accepted the proposed use (Visitor Accommodation) may result in the permanent loss of land for primary industry, constrain or</p>

	interfere with surrounding agricultural use of land and result in the loss of land within the proclaimed Dial/Blythe Irrigation District.
5 The representation states they would consider withdrawing their objection to the proposal if development was located at least 35m away from boundary lines.	The representor offers a solution to the setback from agricultural land. However, the proposal of a 35m setback does not meet the requirements of the Scheme and does not alter the overriding concerns that have been raised in this report.

RESOURCE, FINANCIAL AND RISK IMPACTS

The proposal has no likely impact on Council resources outside those usually required for assessment and reporting, and possibly costs associated with an appeal against the Council's determination should one be instituted.

CORPORATE COMPLIANCE

The Central Coast Strategic Plan 2014–2024 includes the following strategies and key actions:

The Environment and Sustainable Infrastructure

- . Develop and manage sustainable built infrastructure.

CONCLUSION

The representation received is deemed to have merit. The proposed use and development of the land for Visitor Accommodation would place a "sensitive use" that would be a tourist orientated operation, within the surrounds of an area that relies on primary industry as the principal means of income and activity. It is considered the potential for land use conflict between agriculture and overnight tourists is likely.

The proposed development is not able to meet key Objectives and Performance Criteria that seek to protect land for primary industry purpose. The proposed use is not a primary industry use of the site, would not be dependent upon access to a primary industry that is dependent upon a naturally occurring resource and the development would not augment ongoing farm operations.

It is considered the proposal would result in the permanent loss of viable agricultural land with the Proclaimed Dial/Blythe Irrigation District.

Recommendation –

It is recommended that the application for Visitor Accommodation (two accommodation buildings and two ancillary sheds for boat storage) at CT91766/5 Pine Road, Penguin be refused on the following grounds:

- 1 The proposal is not able to satisfy the Local Area Objectives for development and use in the Rural Resource zone in that the proposed use and development would not protect agricultural land for sustainable, agricultural production and would not be reliant upon, be associated with, or have an intention to use a naturally occurring resource that is located on the subject site or adjoining land.
- 2 The proposal is not able to satisfy mandatory Performance Criteria for "Discretionary Non-Residential Use to Locate on Rural Resource Land" as stipulated under Clause 26.3.1-(P1) in that the proposed use and development would not be reliant or dependent on primary industry to locate on Rural Resource land and would result in the loss of agricultural land that is located within the Proclaimed Dial/Blythe Irrigation District.
- 3 The development is not able to satisfy the Performance Criteria relative to the "Location of Development for Sensitive Uses" as stipulated under Clause 26.4.3-(P1), in that development less than 200m from agricultural land may result in the constraint, fettering or conflict with current or future resource development uses on adjoining land.

The report is supported."

The Executive Services Officer reports as follows:

"A copy of the Annexures referred to in the Town Planner's report having been circulated to all Councillors, a suggested resolution is submitted for consideration."

■ "That the application for Visitor Accommodation (two accommodation buildings and two ancillary sheds for boat storage) at CT91766/5 Pine Road, Penguin be refused on the following grounds:

- 1 The proposal is not able to satisfy the Local Area Objectives for development and use in the Rural Resource zone in that the proposed use and development would not protect agricultural land for sustainable, agricultural production and would not be

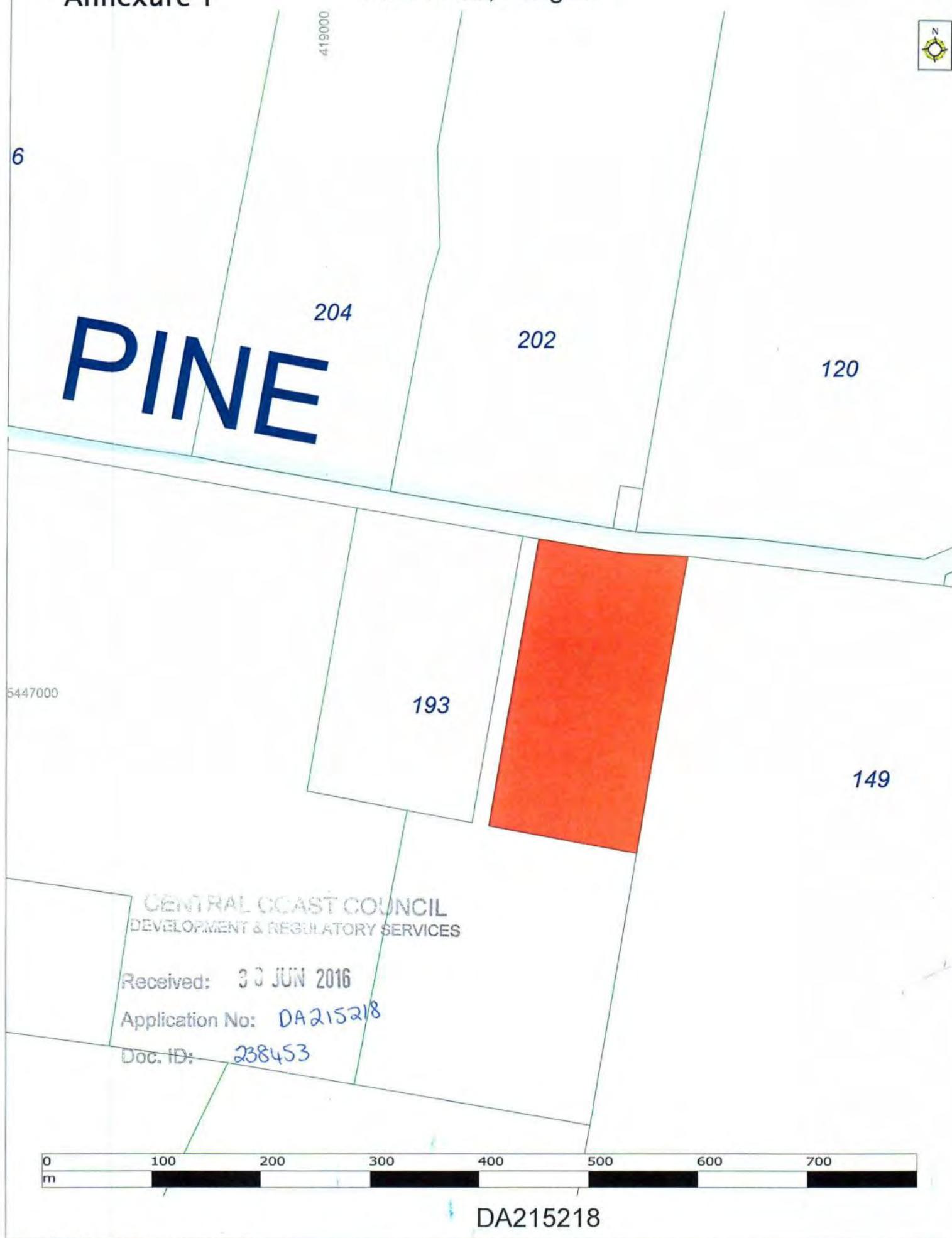
reliant upon, be associated with, or have an intention to use a naturally occurring resource that is located on the subject site or adjoining land.

- 2 The proposal is not able to satisfy mandatory Performance Criteria for “Discretionary Non-Residential Use to Locate on Rural Resource Land” as stipulated under Clause 26.3.1-(P1) in that the proposed use and development would not be reliant or dependent on primary industry to locate on Rural Resource land and would result in the loss of agricultural land that is located within the Proclaimed Dial/Blythe Irrigation District.
 - 3 The development is not able to satisfy the Performance Criteria relative to the “Location of Development for Sensitive Uses” as stipulated under Clause 26.4.3-(P1), in that development less than 200m from agricultural land may result in the constraint, fettering or conflict with current or future resource development uses on adjoining land.
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Associated Reports And Documents

Annexure 1

Pine Road, Penguin



Annexure 2



PO Box 220
19 King Edward Street
Ulverstone Tasmania 7315
Tel (03) 6429 8900
Fax (03) 6425 1224
admin@centralcoast.tas.gov.au
www.centralcoast.tas.gov.au

DEVELOPMENT APPLICATION

Sections 57 & 58

Application Number	DA215218
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APPLICANT DETAILS

Applicant Name	Mr Phillip Stewart, Mrs Joanne Stewart		
Postal Address	6 Anglers Crescent MIENA TAS 7030		
Phone(B)	Phone(H)	Mobile	Fax

OWNER DETAILS

Owner/Authority Name	Annie May Jones, Joseph Jones
Address	89 Pine Road PENGUIN TAS 7316

DEVELOPMENT APPLICATION DETAILS

Property Address	Pine Road Penguin 7316
Title Reference	CT 9176615
Zone(s)	Rural Resource [Central Coast Interim Planning Scheme 2013]

Note: Council requires a survey plan or certificate of title to clarify the property description

Present Use	Vacant land
Proposal (intended use)	Visitor Accommodation (two accommodation buildings and two ancillary sheds)
Development Type	Discretionary Permit Area >250m2
Estimated Value of Development	

Building Application	No
Are all Documents Attached? (Refer to Application Checklist)	Yes

Existing Floor Area	Area:	m2
New or Additional Floor Area	Area:	m2

Central Coast Council
PLANNING & REGULATORY SERVICES

Received: 33 JUN 2016

Application No: DA215218



Application Number: DA215218

NON-RESIDENTIAL DEVELOPMENT/USE

Hours of Operation	Monday/Friday		to	
	Saturday		to	
	Sunday		to	

Number of Car Parking (Existing)		Number of Employees (Existing)	
Number of Car Parking (Additional)		Number of Employees (Additional)	

Type of Machinery Installed	
Details of Trade Waste and Method of Disposal	

APPLICANT DECLARATION**YOUR DECLARATION - To be completed by all applicants.**

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

if incomplete, the application may be delayed or rejected.

more information may be requested within 21 days of lodgement.

PUBLIC ACCESS TO DISCRETIONARY PLANNING DOCUMENTS

I, the undersigned understand that during the 14-day public display period, all documentation included with this planning application will be made available for inspection by the public and upon request and following payment of a prescribed fee, copies of submitted documentation, with the exception of plans which will be made available for display only, will be provided to members of the public.

OWNERS NOTIFICATION

I declare that I have notified the owner of the intention to make of this application.

If the land is subject to a mining lease, or is owned by the Crown or Council, the written consent of the Owner must be submitted with the application in accordance with s.52 of the Act.

In the course of inspections and investigations relating to this application, it may be necessary for Council officers to enter upon the land which is subject to this application. Accordingly, permission is hereby granted for entry for that purpose provided reasonable attempts are made on site to inform any resident or occupant on the property at that time.

Name (Print):

Signed:

Date:

Applicant:

Phillip Stewart

30/6/16

Joanne Stewart

CENTRAL COAST COUNCIL
DISCRETIONARY SERVICES

Received 30 JUN 2016

Application No.: DA215218

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
91766	5
EDITION	DATE OF ISSUE
1	28-Jul-1994

SEARCH DATE : 02-Aug-2016

SEARCH TIME : 10.45 AM

DESCRIPTION OF LAND

Parish of ASHWATER, Land District of DEVON
Lot 5 on Sealed Plan 91766 (formerly being SP4822)
Derivation : Part of Lot 2206, Gtd. to C. Lillico.
Prior CT 3347/42

SCHEDULE 1

A636120 TRANSFER to JOSEPH EDWARD JONES and ANNIE MAY JONES

SCHEDULE 2

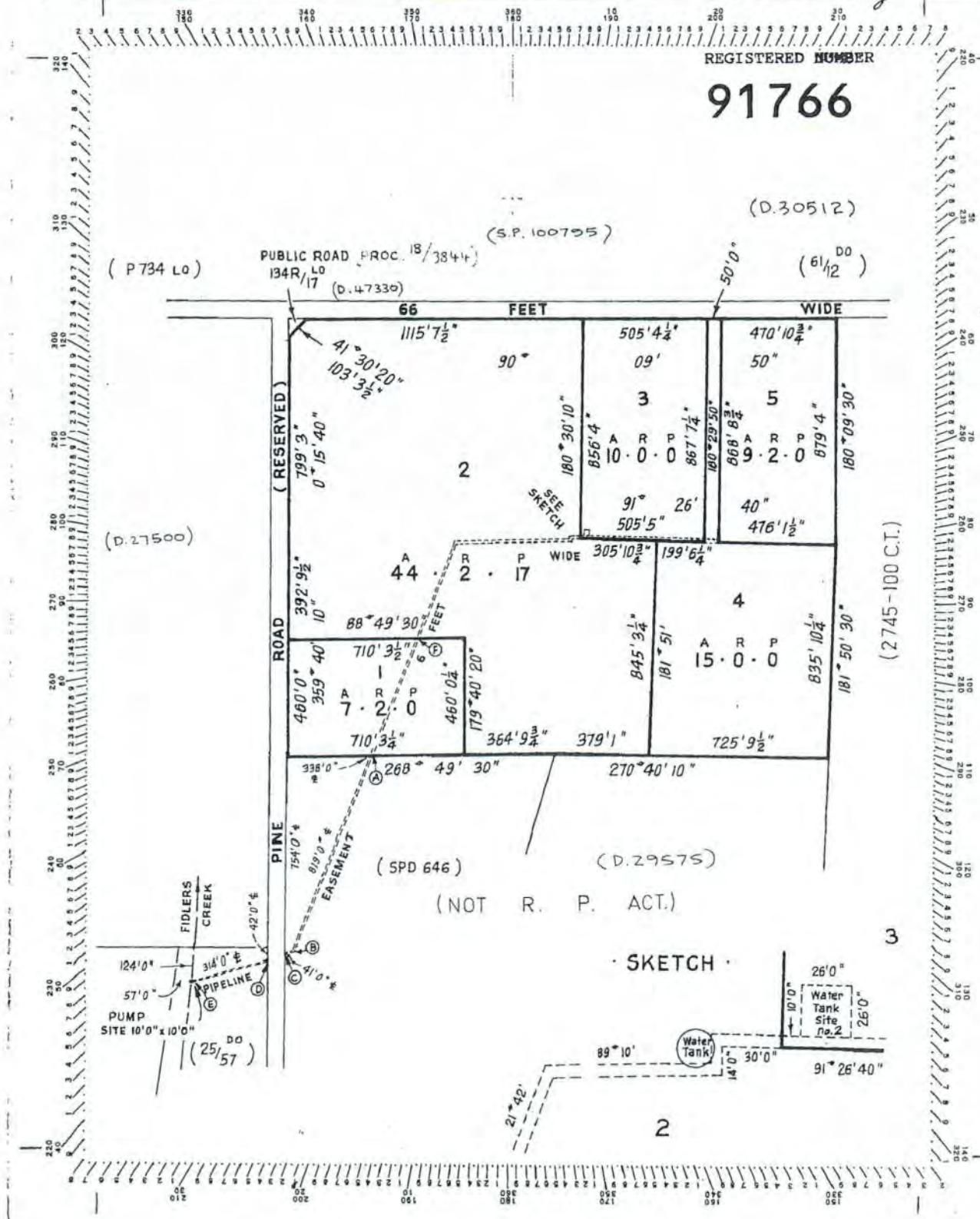
Reservations and conditions in the Crown Grant if any
SP 4822 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

C.T. 3345 - 81

Owner: Donald Hugh Andrew Lillico, Raymond Charles Eastley & Ann. Jack Andrew Liddle Harris	PLAN OF SURVEY P. N. Anderson by Surveyor _____ of land situated in the _____	Registered Number: S.P. 4822
Title Reference: CONV 35/4672 " 40/938 " 40/1441 RESPY	LAND DISTRICT OF DEVON PARISH OF ASHWATER	
Grantee: Part of 85-3-14 (LOT 2206) Charles Lillico	Scale 400 feet to an inch	
		Effective from: 20/7/73 P/I Surveyor _____ Recorder of titles _____



(7)

SCHEDULE OF EASEMENTS

PLAN NO.

S.P. 4822

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS

Lot 2 is:— Together with a right to use the existing pump in Fidler's Creek in or on the land marked Pump Site hereon (or any other pump or pumps or other apparatus hereafter provided as a replacement for or for use in conjunction with the said existing pump) and to use the existing underground water pipes under the strip of land marked Pipeline Easement between the points marked FA&C and DE hereon (or any other pipe or pipes hereafter provided as a replacement for the existing pipes) for the supply of water to the said lot 2 for all purposes and the right of inspecting cleansing repairing maintaining removing and enlarging the same and for such purposes of entering on and perambulating over the said Pipeline Easement (between the said points marked FA&C and DE hereon) and the said Pump Site shown hereon and of doing any necessary work for the purpose aforesaid causing as little damage as possible and making reasonable compensation for all damage done or caused thereby PROVIDED ALWAYS that all pipes hereafter laid in pursuance of the said rights shall not exceed in diameter 1.1/4 inches and shall be laid in the ground at a depth of not less than one clear foot below the natural surface of the soil.

Lot 1 is:— Subject to a right (appurtenant to Lot 2) to use the existing water pipes under the strip of land marked "Pipeline Easement" between the points marked FA hereon (or any other pipe or pipes hereafter provided as a replacement for the existing pipes) for the supply of water to lot 2 for all purposes and the right of inspecting cleansing repairing maintaining removing and enlarging the same and for such purposes of entering on and perambulating over the said Pipeline Easement (between the said points marked FA hereon) and of doing any necessary work for the purpose aforesaid causing as little damage as possible and making reasonable compensation for all damage done or caused thereby. PROVIDED ALWAYS that all pipes hereafter laid in pursuance of the said rights shall not exceed in diameter 1.1/4 inches and shall be laid in the ground at a depth of not less than one clear foot below the natural surface of the soil.

Lots 1, 2 3 and 5 are:— Together with a Pole Easement (more particularly set forth hereunder) over the Pump Site shown hereon and Pipeline Easement (between the points marked DE hereon).

Lots 1, 3 and 5 are:— Together with a Pump Easement (more particularly set forth hereunder) over the Pump Site shown hereon.

Each Lot in Column A hereunder is:—

- (i) Together with a Pipe Easement (more particularly set forth hereunder) over the Pipeline Easement shown hereon passing through the lots and land specified opposite thereto in Column B
- (ii) Subject to a Pipe Easement over the Pipeline Easement shown hereon passing through that lot as appurtenant to the Lots shown hereon and specified opposite thereto in Column C

<u>Column A</u>	<u>Column B</u>	<u>Column C</u>
Lot 1	A&C and DE	3 and 5
Lot 2	Nil	3 and 5
Lot 3	1, 2, A&C and DE	5
Lot 4	Nil	5
Lot 5	1, 2, 3, 4, A&C and DE	Nil

Lot 3 is:- Subject to the right (appurtenant to lot 5) for the purpose of the supply of water to use the Water Tank (in or on Lot 3 shown hereon and marked "Water Tank Site No.2") or any water tank or water tanks hereafter provided as a replacement for or use in conjunction with the said water supply and for all purposes of inspecting cleansing repairing maintaining removing and enlarging the same and for such purposes of entering in or perambulating over the said Pipeline easement passing through Lot 3 and "Water Tank site No.2" and of doing any necessary work for the purpose aforesaid causing as little damage as possible and making reasonable compensation for all damage done or caused thereby PROVIDED ALWAYS that the owner or owners of the said Lot 5 his and their successors in Title shall pay and contribute one moiety of the cost of erection of the said Water Tank on the said Water Tank Site No.2 and its appendages and the expenses of keeping the same in repair And the owner or owners of the said Lot 3 for himself and themselves and his and their successors in title do hereby bind himself and themselves to execute from time to time such installation and repairs and Lot 5 is together with a like right over the Water Tank Site No.2 and Pipeline easement within Lot 3 set forth herein and subject to the provision set forth above

INTERPRETATION

1. PUMP EASEMENT is the right to erect or install and maintain in or upon the Pump Site shown hereon a pump or pumps or other apparatus for use in connection with the said Pipe Easement for the purpose of the supply of water to the said lot or any part thereof for all purposes and of inspecting cleansing repairing maintaining removing and replacing the same and for such purposes of entering on and perambulating over the said Pump site and of doing any necessary work for the purpose aforesaid causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

2. PIPE EASEMENT is the right to lay down pipes of a diameter of not more than 1.1/4 inches in over along and through the said Pipeline Easement and Pump site for the purpose of carrying water through the said pipes for the supply of water to the said lot or any part thereof for all purposes and of inspecting cleansing repairing maintaining removing and enlarging the same and for such purposes of entering on and perambulating over the said Pipeline Easement and Pump Site and of doing any necessary work for the purpose aforesaid causing as little damage as possible and making reasonable compensation for all damage done or caused thereby PROVIDED ALWAYS that all pipes laid in pursuance of the said rights shall be laid at a depth of not less than one clear foot below the natural surface of the soil PROVIDED FURTHER that the said rights shall not confer upon the owner or owners for the time being of Lots 1, 3 and 5 and his and their successors in title the right to use the Water Tank on Lot 2.

3. POLE EASEMENT is the right to erect and maintain poles and affix wires thereto for the purpose of a supply of electricity to any pump or pumps or other apparatus to be erected or installed as hereinbefore provided through over and along the said Pipeline Easement marked DE hereon and Pump Site shown hereon and the right from time to time and at all times to enter into and upon and perambulating over the said Pipeline Easement marked DE hereon and Pump Site shown hereon to inspect repair maintain remove and amend any such poles or wires affixed thereto causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

ATED this

12th

day of

April

1973.

SIGNED by DONALD HUGH LILLICO the
tenant in fee simple of the land
comprised in Conveyance No. 35/4672
in the presence of:

D.H. Lillico

J. Stannard

SOLICITOR'S CLERK
ULVERSTONE

SIGNED by JACK ANDREW LIDDLE HARRIS
the tenant in fee simple of the land
comprised in Conveyance No. 40/1441
in the presence of:

J.A. Harris

Jack Harris

SOLICITOR
ULVERSTONE

SIGNED by RAYMOND CHARLES EASTLEY
and BARRY CHARLES EASTLEY the
tenants in fee simple of the land
comprised in Conveyance No. 40/938
in the presence of:

R.C. Eastley
B.C. Eastley

G.H. Mann
Solicitor
Bunya

GIVEN, SEALED AND DELIVERED for and
on behalf of ~~THE COMMONWEALTH~~
~~TRADING BANK OF AUSTRALIA~~ as
mortgagor under Mortgage No. 35/7442
by Alexander Robert NIMMO
its duly constituted Attorney ~~in~~
~~the presence of:~~ Under Power of
Attorney No 16375 in the presence of
A. Nimmo

COMMONWEALTH TRADING BANK OF AUSTRALIA

By its Attorney

R. Muller
Assistant Manager Hobart

SERIALIZED STAMPED AND DELIVERED by }
IAN JEFFREY BEATON }
is the Attorney for and as the }
act and deed of BANK OF NEW }
WALES as Mortgagor under }
Mortgage No.40/939 from the said }
Raymond Charles Eastley and }
Barry Charles Eastley to Bank of }
New South Wales (and the said }
IAN JEFFREY BEATON }
acting under Power of Attorney }
No.18942 hereby declares that }
he has received no notice of }
revocation of the said Power of }
Attorney in the presence of:
Frecher
.....
A Justice or the Peace

RECORDED
RECEIVED
RECORDED

John C. Manager

CERTIFIED correct for the purposes of the Real Property Act 1862
as amended

ARCHER JACKSON & JONES
Per: *Archer*
Solicitors for the Subdivider

This is the schedule of easements attached to the plan of Mr., Surveyor.....

P.N. Anderson comprising part of the land in

Conveyance 35/4672
(Insert Title Reference)

Sealed by Penguin Municipal Council on 30th April 1973

C. J. McLean
Council Clerk/Town Clerk

21928

Pine Road, Penguin



PINE

204

202

120

193

149

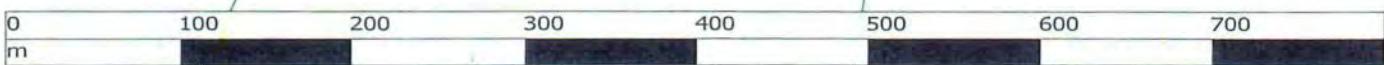


CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 JUN 2016

Application No: DA215218

Doc. ID: 238453



DA215218

Central Coast Fishing Accommodation and Boat Storage Facility

1 SUPPORTING INFORMATION

As the owners of Tassie Highland Fishing Accommodation, we are looking at expanding our business to the North-West Coast, where we see a real need for such accommodation in an area of fishing diversity and tourism opportunities. Our existing clients have discussed their interest in additional river and lake fishing in areas of more moderate weather conditions, ideally close to boat terminals and other services. On visiting this site, my wife and I have found it to be the perfect location for direct access to the highway, in close proximity to prominent fishing areas in the central coast region. Specific fishing areas in close proximity have been identified as;

• Leven River	• Isundula Dam
• Lake Gardner	• Gawler River
• Forth River	• Paloona Dam
• Lake Lea	• Buttons Creek

This proposed business venture will be owned by the Stewart Superannuation fund and Managed by Joanne and Phillip Stewart under two business names being Central Coast Fishing Accommodation and Central Coast Boat Storage Facilities.

The proposal consists of a four stage development. The stages are proposed as follows;

- 1- Stage one consists of a two bedroom self-contained cottage with an attached double garage, one bay designated for a vehicle and the other for boat storage.
- 2- Stage two proposes a feature rock/colorbond three accommodation house.
- 3- Stage three consists of an 18x8 metre timber framed boat storage facility providing clients with long term storage options for their boats. Security fencing of this area is also proposed during this stage.
- 4- Stage four consists of the second 18x8 metre Boat Storage Facility within the already secured fencing area.
- 5- Stage five consists of a 30x25 metre open boat storage facility to allow for the storage of larger boats.

The site has been chosen for its central location and direct access to the Bass Highway. Development within a rural setting also provides both mainland and local visitors with the enjoyment of our rural area without impacting on neighboring agricultural activities (see planning report for further detail). The frontage of the site, being on the brow of a hill, allows for good site distance in both directions for the entering and exiting of the site with trailing boats.

We hope that the Council and community see this as a great opportunity to showcase our local natural resources and support us in the expansion of our Tasmanian fishing tourism business.

Yours kindly,

Joanne and Phillip Stewart

LAUNAYA COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Reference: 20 NW 223

Application No: DA215218

Date: 23/04/2021

FINANCIAL PLAN

For additional demonstration of the long term viability of the proposal, a financial plan for the first two years has been provided.

Year 1

Two Bedroom Cottage
Estimated occupancy rate of 30% at \$150 per night (including 4 adults)
= 109 days – Total: \$17,520

Three Bedroom House
Estimated occupancy rate of 30% at \$250 per night (including 4 adults)
= 109 days – Total \$27,250

Boat Storage Facility (10 Boats)
Estimated occupancy rate of 70% at \$125 per month
= Total \$10,500

Open Boat Storage Facility (6 Boats)
Estimated occupancy rate of 66%
= Total \$4,752

YEAR 1 TOTAL ESTIMATED YEARLY INCOME IS
Total \$60,022

Year 2

Two Bedroom Cottage
Estimated occupancy rate of 40% at \$165 per night (including 4 adults)
= 146 days – Total: \$24,090

Three Bedroom House
Estimated occupancy rate of 45% at \$255 per night (including 4 adults)
= 164 days – Total \$41,883

Boat Storage Facility (10 Boats)
Estimated occupancy rate of 90% at \$130 per month
= Total \$14,040

Open Boat Storage Facility (6 Boats)
Estimated occupancy rate of 84%
= Total \$6,652

YEAR 1 TOTAL ESTIMATED YEARLY INCOME IS
Total \$86,665

This financial plan does not take into account the level of revenue and exposure this business will bring to the central coast area and specifically Penguin. The benefits to local businesses and exposure of the region as a tourism and sports fishing area, cannot be discounted and is further addressed in the planning report provided.

Having been in the fishing accommodation and boat storage business from over 12 years as current owners and manager of Highlands Fishing Accommodation, we feel that we are experienced enough to understand the financial and operational management required to ensure that the expansion of our business to the central coast region is successful.

PLANNING REPORT

APPLICANT	Phillip and Joanne Stewart
ADDRESS	Pine Road, Penguin
DATE	14 March 2016
PID	6775421
CT REF	91766/5
PROPERTY SIZE	3.7ha (approximately)
PROPOSED USE	Visitor Accommodation (Permitted - Less than 16 guests) which has boat storage proposed that is integral and subservient to the Visitor Accommodation use and is not a stand alone use.
ZONING	Rural Resource
USE STATUS	Permitted
DEVELOPMENT STATUS	Discretionary
REPORTING PLANNER	Jayne Newman



SOUTHERN LANTHORN COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAY 2016

Application No: DA 215218

Doc. ID: 238453

Fishing Accommodation and Boat Storage Facilities

Pine Road, Penguin – CT 91766/5

EXISTING SITE CONFIGURATION

The property is located at Pine Road Penguin, two kilometers south of the Bass Highway. The lot area is approximate 3.7ha which slopes upwards from the roads edge, north to south.

EXISTING USE

The existing use of the site looks to be for the storage of goods with a small number of free range hens on the lower section of the lot. Water for the animals must be brought to the site as the site does not have any available water connection or storage ability. The egg production is only for personal use of the owner, with no primary production occurring on the site.

26.1.1 Zone Purpose Statements

26.1.1.1 - To provide for the sustainable use or development of resources for agriculture, aquaculture, forestry, mining and other primary industries, including opportunities for resource processing.

26.1.1.2 - To provide for other use or development that does not constrain or conflict with resource development.

26.1.2 Local Area Objectives

- (a) The priority purpose for rural land is primary industry dependent upon access to a naturally occurring resource;
- (b) Air, land and water resources are of importance for current and potential primary industry and other permitted use;
- (c) Air, land and water resources are protected against –
 - (i) permanent loss to a use or development that has no need or reason to locate on land containing such a resource; and
 - (ii) use or development that has potential to exclude or unduly conflict, constraint, or interfere with the practice of primary industry or any other use dependent on access to a naturally occurring resource;
- (d) Primary industry is diverse, dynamic, and innovative; and may occur on a range of lot sizes and at different levels of intensity;
- (e) All agricultural land is a valuable resource to be protected for sustainable agricultural production;
- (f) Rural land may be used and developed for economic, community, and utility activity that cannot reasonably be accommodated on land within a settlement or nature conservation area;
- (g) Rural land may be used and developed for tourism and recreation use dependent upon a rural location or undertaken in association with primary industry
- (h) Residential use and development on rural land is appropriate only if –
 - (i) required by a primary industry or a resource based activity; or
 - (ii) without permanent loss of land significant for primary industry use and without constraint or interference to existing and potential use of land for primary industry purposes

26.1.3 Future Character Statement

Use or development on rural land –

- (a) may create a dynamic, extensively cultivated, highly modified, and relatively sparsely settled working landscape featuring
 - (i) expansive areas for agriculture and forestry;
 - (ii) mining and extraction sites;
 - (iii) utility and transport sites and extended corridors; and
 - (iv) service and support buildings and work areas of substantial size, utilitarian character, and visual prominence that are sited and managed with priority for operational efficiency
 - (b) may be interspersed with –
 - (i) small-scale residential settlement nodes;
 - (ii) places of ecological, scientific, cultural, or aesthetic value; and
 - (iii) pockets of remnant native vegetation
 - (c) will seek to minimise disturbance to –
 - (i) physical terrain;
 - (ii) natural biodiversity and ecological systems;
 - (iii) scenic attributes; and
 - (iv) rural residential and visitor amenity;
- may involve sites of varying size –
- (i) in accordance with the type, scale and intensity of primary industry; and
 - (ii) to reduce loss and constraint on use of land important for sustainable commercial production based on naturally occurring resources;
- (e) is significantly influenced in temporal nature, character, scale, frequency, and intensity by external factors, including changes in technology, production techniques, and in economic, management, and marketing systems

Comment:

The proposal relates to visitor accommodation, providing for access to the array of aquatic areas around the Central Coast region, allowing direct access to Tasmania's natural resources. The proposal is considered to be consistent with the Zone Purpose Statement, by providing access to natural aquaculture without constraining or conflicting resource development, being agricultural activities on neighboring sites. The lot in question is constrained by size, topography (having slip potential) and a lack of water for animal or crop production. The site is adjoined to the west and south by similar size lots, which takes the land out of resource production and into "hobby farm" style residential lots. Looking at the lot to the east, this is a larger lot, but is also constrained by topography, limiting the level of production of this lot. That being said, there is still the ability for this land to be used for agricultural pursuits; therefore dense screen planting has been proposed to limit any impacts that may occur between the two uses.

This site has been chosen for its central location in relation to naturally occurring fishing resources that are located in the Central Coast area. This application is not considered to be a risk to the air quality of the rural area and supporting reports are included in this application to ensure the protection of ground water. The proposal is considered to create an economic benefit for the community by increasing tourism to the region. This proposal is not considered to be suitable for location in an area of settlement or conservation, but better suited in an area with easy access to the Highway while also promoting coastal views, without impact to conservation areas.

In relation to the Zone Purpose Statement, the location of smaller lots in close proximity is considered to categorise the area into a residential settlement node, with other lots already developed and having insufficient land area to be considered required residential uses. The use of this lot will provide promotion of the Central Coast area for both its man-made and naturally occurring resources being fishing locations increasing tourism and promotion of the area. The development on-site has been located to minimise excavation and soil disturbance, while taking advantage of coastal views. Ensuring development is within an area that has been fettered by small scale development together with mitigating factors, such as construction material and dense screen planting, ensures that the proposal will not impact existing or future resource development uses on adjoining lots.

USE STANDARDS

26.3.1 Requirement for discretionary non-residential use to locate on rural resource land

A1	P1
There is no acceptable solution	<p>Other than for residential use, discretionary permit use must</p> <ul style="list-style-type: none">(a) be consistent with the local area objectives;(b) be consistent with any applicable desired future character statement;(c) be required to locate on rural resource land for operational efficiency –<ul style="list-style-type: none">(i) to access a specific naturally occurring resource on the site or on adjacent land in the zone;(ii) to access infrastructure only available on the site or on adjacent land in the zone;(iii) to access a product of primary industry from a use on the site or on adjacent land in the zone;(iv) to service or support a primary industry or other permitted use on the site or on adjacent land in the zone;(v) if required –<ul style="list-style-type: none">a. to acquire access to a mandatory site area not otherwise available in a zone intended for that purpose;b. for security;c. for public health or safety if all measures to minimise impact could create an unacceptable level of risk to human health, life or property if located on land in a zone intended for that purpose;(vi) to provide opportunity for diversification, innovation, and value-adding to secure existing or potential primary industry use of the site or of adjacent land;(vii) to provide an essential utility or community service infrastructure for the municipal or regional community or that is of significance for Tasmania; or(viii) if a cost-benefit analysis in economic, environmental, and social terms indicates significant benefits to the region; and(d) minimise likelihood for –<ul style="list-style-type: none">(i) permanent loss of land for existing and potential primary industry use;(ii) constraint or interference to existing and potential primary industry use on the site and on adjacent land; and(iii) loss of land within a proclaimed irrigation district under Part 9 Water Management Act 1999 or land that may benefit from the application of broad-scale irrigation development

Comment:

As stated on the previous page, the proposal is considered to be consistent with the Local Area Objectives and the applicable Future Character Statements.

The site has been chosen for its close proximity to the Bass Highway, scenic views, and aquatic resources required for recreational fishing, providing operational efficiency in a central location. The cost benefit of the proposal to the Penguin and Central Coast Region has to be considered relative to the population of the Penguin area. Looking at the first year's occupancy, being 4 adults per habitable building with an occupancy rate of 30%, staying on average 2 nights each; this development has the potential to increase tourism to the Penguin area by 1,744 people per annum, in the first year. This rate is anticipated to increase by approximately 15% in the second year. Statistics on the Tasmanian Parliament website, detail that the average tourist in Tasmanian spends \$1,676, which This equates to an economic benefit of \$2,922,944.00. Looking at Penguins population of 5,500 (Central Coast Tas 2016) the economic benefit to this area is considered to be significant.

As previously stated, the lot is located in what is considered to be a small "hobby farm" style settlement node with both lots bounding the south and west both having similar lot sizes with existing dwellings. As this area is already constrained by size, topography, lack of water on-site and the location of existing residential uses, the site is considered to be already fettered by existing circumstance. A Land Capability Report by Strata Consulting has also been included in the application. This report concludes that the site has a land classification of 4e, with the site susceptible to erosion through land slip and slumping. This makes the area unsuitable for cropping and limited in relation to grazing. Measures such as screen planting, acoustic construction with double glazed windows, rock walls and also the sensitive location of buildings ensures that the two uses can cohabit without constraint to the existing and future primary industries pursuits of the adjacent lots to the east and opposite Pine Road.

The lot is not within a proclaimed irrigation district, therefore (d)(ii) is not applicable.

Development Standards

26.4.1 Suitability of a site or lot on a plan of subdivision for use or development

A1	P1
<p>A site or each lot on a plan of subdivision must –</p> <ul style="list-style-type: none"> (a) unless for agricultural use, have an area of not less than 1 hectare not including any access strip; and (b) if intended for a building, contain a building area – <ul style="list-style-type: none"> (i) of not more than 2000m² or 20% of the area of the site, whichever is the greater unless a crop protection structure for an agricultural use; (ii) clear of any applicable setback from a frontage, side or rear boundary; (iii) clear of any applicable setback from a zone boundary; (iv) clear of any registered easement; (v) clear of any registered right of way benefiting other land; (vi) clear of any restriction imposed by a utility; (vii) not including an access strip; (viii) accessible from a frontage or access strip 	<p>A site or each lot on a plan of subdivision must be of sufficient area for the intended use or development without likely constraint or interference for –</p> <ul style="list-style-type: none"> (a) erection of a building if required by the intended use; (b) access to the site; (c) use or development of adjacent land; (d) a utility; and (e) any easement or lawful entitlement for access to other land

COMMENT:

The lot has an area exceeding 1 ha in size.

The proposed total floor area is 612m².

All development proposed is clear of any zone boundaries, easements, right of ways and utilities and does not include area for the internal access strip.

A2	P2
<p>A site or each lot on a subdivision plan must have a separate access from a road –</p> <p>(a) across a frontage over which no other land has a right of access; and</p> <p>(b) if an internal lot, by an access strip connecting to a frontage over land not required as the means of access to any other land; or</p> <p>(c) by a right of way connecting to a road –</p> <p>(i) over land not required as the means of access to any other land; and</p> <p>not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(d) with a width of frontage and any access strip or right of way of not less than 6.0m; and</p> <p>(e) the relevant road authority in accordance with the Local Government (Highways) Act 1982 or the Roads and Jetties Act 1935 must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a proposed subdivision plan.</p>	<p>(a) A site must have a reasonable and secure access from a road provided –</p> <p>(i) across a frontage; or</p> <p>(ii) by an access strip connecting to a frontage, if for an internal lot; or</p> <p>(iii) by a right of way connecting to a road over land not required to give the lot of which it is a part the minimum properties of a lot in accordance with the acceptable solution in any applicable standard; and</p> <p>(iv) the dimensions of the frontage and any access strip or right of way must be adequate for the type and volume of traffic likely to be generated by –</p> <p>a. the intended use; and</p> <p>b. the existing or potential use of any other land which requires use of the access as the means of access for that land; and</p> <p>(v) the relevant road authority in accordance with the Local Government (Highways) Act 1982 or the Roads and Jetties Act 1935 must have advised it is satisfied adequate arrangements can be made to provide vehicular access between the carriageway of a road and the frontage, access strip or right of way to the site or each lot on a subdivision plan; or</p> <p>(b) It must be unnecessary for the development to require access to the site or to a lot on a subdivision plan.</p>

COMMENT:

site has an existing private access onto Pine Road, which exceeds 6 metres in width. The access is proposed for upgrade with a sealed crossover onto Pine Road.

A3	P3
<p>Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of connecting to a water supply –</p> <p>(a) provided in accordance with the Water and Sewerage Industry Act 2008; or</p> <p>(b) from a rechargeable drinking water system R31 with a storage capacity of not less than 10,000 litres if–</p> <p>(i) there is not a reticulated water supply; and</p> <p>(ii) development is for –</p> <p>a single dwelling; or</p> <p>a use with an equivalent population of not more than 10 people per day</p>	<p>(a) There must be a water supply available for the site or for each lot on a plan of subdivision with an adequate level of reliability, quality, and quantity to service the anticipated use of the site or the intended use of each lot on a plan of subdivision; or</p> <p>(b) It must be unnecessary to require a water supply</p>

COMMENT

As the site is un-serviced, the proposal includes on-site water storage. Both the accommodation residence and cottage have a combined maximum occupancy of 8 people. The site plan provided shows four 10,000 litre water storage tanks behind the cottage, with a further three tanks located near the boat storage sheds.

A4	P4
<p>Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of sewage and liquid trade waste –</p> <p>(a) to a sewerage system provided in accordance with the Water and Sewerage Industry Act 2008; or</p> <p>(b) by on-site disposal if –</p> <p>(i) sewage or liquid trade waste cannot be drained to a reticulated sewer system; and</p> <p>(ii) the development</p> <p>a. is for a single dwelling; or</p> <p>. provides for an equivalent population of not more than 10 people per day; or</p> <p>(iii) the site has capacity for on-site disposal of domestic wastewater in accordance with AS/NZS1547:2012 On-site domestic-wastewater management clear of any defined building area or access strip</p>	<p>(a) A site or each lot on a plan of subdivision must drain and dispose of sewage and liquid trade waste</p> <p>(i) in accordance with any prescribed emission limits for discharge of waste water;</p> <p>(ii) in accordance with any limit advised by the Tasmanian Environmental Protection Agency;</p> <p>(iii) without likely adverse impact for the health or amenity of the land and adjacent land;</p> <p>(iv) without compromise to water quality objectives for surface or ground water established under the State Policy on Water Quality Management 1997; and</p> <p>(v) with appropriate safeguards to minimise contamination if the use or development has potential to</p> <p>a. indirectly cause the contamination of surface or ground water; or</p> <p>b. involve an activity or process which requires the use, production, conveyance or storage of significant quantities of sewage or liquid trade waste that may cause harm to surface or ground water if released through accident, malfunction, or spillage; or</p> <p>(b) It must be unnecessary to require the drainage and disposal of sewage or liquid trade waste</p>

COMMENT:

The site and soil report provided by Strata Geoscience and Environmental (dated May 2016) demonstrates the site as being capable of supporting an onsite wastewater disposal system for both accommodation buildings in accordance with AS/NZS1547:2012.

A5	P5
<p>Unless for agricultural use other than controlled environment agriculture which permanently precludes the land for an agricultural use dependent on the soil as a growth medium, a site or each lot on a plan of subdivision must be capable of draining and disposing of stormwater –</p> <p>(a) to a stormwater system provided in accordance with the Urban Drainage Act 2013; or</p> <p>(b) if stormwater cannot be drained to a stormwater system –</p> <p>(i) for discharge to a natural drainage line, water body, or watercourse; or</p> <p>(ii) for disposal within the site if –</p> <p>a. the site has an area of not less than 5000m²;</p> <p>b. the disposal area is not within any defined building area;</p> <p>c. the disposal area is not within any area required for the disposal of sewage;</p> <p>d. the disposal area is not within any access strip; and e. not more than 50% of the site is impervious surface</p>	<p>(a) A site or each lot on a plan of subdivision must drain and dispose of stormwater –</p> <p>(i) to accommodate the anticipated stormwater –</p> <p>a. currently entering from beyond its boundaries; and</p> <p>b. from the proposed development;</p> <p>(ii) without likelihood for concentration on adjacent land;</p> <p>(iii) without creating an unacceptable level of risk for the safety of life or for use or development on the land and on adjacent land;</p> <p>(iv) to manage the quantity and rate of discharge of stormwater to receiving waters;</p> <p>(v) to manage the quality of stormwater discharged to receiving waters; and</p> <p>(vi) to provide positive drainage away from any sewer pipe, on-site sewage disposal system, or building area; or</p> <p>(b) It must be unnecessary to require the drainage and disposal of stormwater</p>

COMMENT:

The site plan shows the capturing of stormwater into seven waters storage tanks on-site. As the site has sufficient land area, overflow from the tanks will be contained within a French Drain on-site, with a specific location to be determined during the Plumbing Application process.

26.4.2 Location and configuration of development

A1	P1
<p>A building or a utility structure, other than a crop protection structure for an agricultural use, must be setback –</p> <ul style="list-style-type: none"> (a) not less than 20.0m from the frontage; or (b) if the development is for sensitive use on land that adjoins a road specified in the Table to this Clause, not less than the setback specified from that road; (c) not less than 10.0m from each side boundary; and (d) not less than 10.0m from the rear boundary; or (e) in accordance with any applicable building area shown on a sealed plan 	<p>The setback of a building or utility structure must be –</p> <ul style="list-style-type: none"> (a) consistent with the streetscape; and (b) required by a constraint imposed by – <ul style="list-style-type: none"> (i) size and shape of the site; (ii) orientation and topography of land; (iv) arrangements for vehicular or pedestrian access; (v) a utility; or (vi) any requirement of a conservation or urban design outcome detailed in a provision in this planning scheme; (vii) any lawful and binding requirement – <ul style="list-style-type: none"> a. by the State or a council or by an entity owned or regulated by the State or a council to acquire or occupy part of the site; or b. an interest protected at law by an easement or other regulation
COMMENT:	
<p><i>The plans provided in support of this application, show the closest building with a frontage setback of 25 metres with all other development located more than 10 metres from the side and rear boundaries.</i></p>	

A2	P2
Building height must be not be more than 8.5m	<p>Building height must -</p> <ul style="list-style-type: none"> (a) minimise likelihood for overshadowing of a habitable room or a required minimum area of private open space in any adjacent dwelling; (b) minimise apparent scale, bulk, massing and proportion in relation to any adjacent building; (c) be consistent with the streetscape and rural landscape; (d) respond to the effect of the slope and orientation of the site; and (e) take into account the effect and durability of screening other than vegetation to attenuate impact
COMMENT:	
<p><i>No buildings proposed exceed 8.5 metres above natural ground level, see elevation plans for further detail.</i></p>	

A3	P3
<p>A building or utility structure, other than a crop protection structure for an agricultural use, must –</p> <ul style="list-style-type: none"> (a) not project above an elevation 15m below the closest ridgeline; (b) be not less than 30m from any shoreline to a marine or aquatic water body, water course, or wetland; (c) be below the canopy level of any adjacent forest or woodland vegetation; and (d) be clad and roofed in non-reflective materials 	<p>The location and design of a building or structure must minimise –</p> <ul style="list-style-type: none"> (a) visual impact on the skyline; (b) height above the adjacent vegetation canopy; (c) visual impact on the shoreline or a marine or aquatic water body, water course, or wetland; and (d) visual impact from reflective surfaces.

COMMENT:

The proposal is not within 15 metres of a ridgeline, nor is it within 30 metres of a waterway. There is no vegetation or woodlands adjoining the site and the materials used will be rock and colorbond, both non reflective materials.

26.4.3 Location of development for sensitive uses

A1	P2
<p>New development for sensitive uses must –</p> <ul style="list-style-type: none"> (a) be located not less than – <ul style="list-style-type: none"> (i) 200m from any agricultural land; (ii) 200m from aquaculture or controlled environment agriculture; (iii) 500m from extractive industry or intensive animal husbandry; (iv) 100m from land under a reserve management plan; (v) 100m from land designated for production forestry; (vi) 50m from a boundary of the land to a road identified in Clause 26.4.2 or to a railway line; and (vii) clear of any restriction imposed by a utility; and (viii) not be on land within a proclaimed irrigation district under Part 9 Water Management Act 1999 or land that may benefit from the application of broadscale irrigation development 	<p>New development for sensitive uses must minimise –</p> <ul style="list-style-type: none"> (a) permanent loss of land for existing and potential primary industry use; (b) likely constraint or interference to existing and potential primary industry use on the site and on adjacent land; (c) permanent loss of land within a proclaimed irrigation district under Part 9 Water Management Act 1999 or land that may benefit from the application of broad-scale irrigation development; and (d) adverse effect on the operability and safety of a major road, a railway or a utility

COMMENT:

The site is a small rural parcel of land, which is surrounded to the south and west by similar size "hobby farm" style lots. The site is constrained by its size, and also its proximity to similar size lots to the west and south containing existing residential uses. The land to the east is a larger farm and there is also larger farms on the northern side, which is buffered by Pine Road. As confirmed with the Land Capability Report (by Strata Geoscience and Environmental), the topography of the site constrains the level of agricultural use possible on this property. It is proposed in this application that measures such as increased screen planting and acoustic sensitive building materials will ensure that any possible impacts, such as spray drift and noise are limited. The site is not within a proclaimed irrigation district and the use of the site is not in any proximity to a railway and has a setback greater than 50 metres to the Bass Highway. Additionally the proposal is not seen to have any adverse impact on the safe operation of the Bass Highway, allowing for the use of slip lanes on entry and exiting the Bass Highway, onto Pine Road.

CODES

E1 – Bushfire-Prone Areas Code

N/A

This application does not include and vulnerable or hazardous use or any subdivision of land.

E2 Airport Impact Management Code

N/A

The Code is not relevant in the *Central Coast Interim Planning Scheme 2013*.

E3 – Clearing and Conversion of Vegetation Code

N/A

The Code is not applicable as the proposed development does not invoke any of E3.2.1 (a) through to (f).

E4 Change in Ground Level Code

N/A

The development is exempt from the Code as: the change in ground level is not more than 1.0m; is not less than 1.5m from a boundary to the site; is not within a natural or constructed drainage channel; is not less than 1.0m from any easement, road or right-of-way; involves an area of less than 200m²; and requires a slope batter of less than 25%. Both sheds will require a small amount of excavation, but this will not exceed 200m² in area. Both the accommodation dwelling and cottage will be constructed on piers, therefore not requiring excavation.

Local Heritage Code

N/A

This Code is not applicable as the lot is not listed within the Heritage Code nor is the lot listed on the Tasmanian Heritage Register.

E6 Hazard Management Code

N/A

This Code is not applicable as the site is not within an identified hazard area.

E7 Sign Code

N/A

There are no signs as part of this permit application.

The permit application states that "*an application for signage on the said building is separate to this application.*"

E8 Telecommunication Code

N/A

This Code is not applicable as the permit application does not propose any telecommunication facilities.

E9 Traffic Generating Use and Turning Code

N/A

Two undercover space per accommodation unit are provided on-site, with the site plan depicting the access and turning areas consistent with the Australian Standard. An upgrade to the access of the site has been discussed with Councils Engineering department.

E10 Water and Waterways Code

N/A

This Code is not applicable as the site is not within 30m of any water body, water course, or wetland.

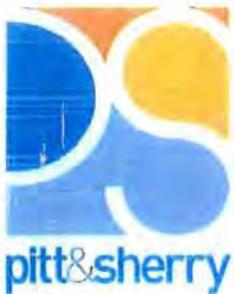
Reference:

Iplan – Planning Schemes – <http://www.iplan.tas.gov.au> - Central Coast – accessed May 2016

Central Coast Tas - <http://www.centralcoast.tas.gov.au/webdata/resources/files/live.pdf> accessed May 2016

Tasmanian Parliament – Legislative Council Select Committee – Tourism in Tasmania – Chairman's Foreword and Executive Summary – <http://www.parliament.tas.gov.au> – accessed May 2016

29 July 2016



The Stewart Superannuation Fund
c/o 6 Anglers Crescent
MIENA TAS 7030

Dear Sir/ Madam,

Lot 5 Pine Road Sight Distance Assessment

Background

Visitor accommodation is proposed at Lot 5 Pine Road to the south east of the Penguin Town Centre. As part of the Development Application, Central Coast Council has requested that an assessment of the proposed property access/ crossover is undertaken to determine compliance with *Australian Standard AS2890.1*.

The Client has engaged pitt&sherry to prepare a traffic statement including a detailed assessment of the sight distances from the proposed access. This Traffic Statement includes a detailed assessment of the sight distances from the proposed access in accordance with *Australian Standard AS 2890.1* and the *Austroads Guide to Road Design – Part 4A: Unsignalised and Signalised Intersections*.

Site Location

The site is located at Lot 5 Pine Road approximately 1.5km south-west of the Bass Highway junction and approximately 3km south-west of the Penguin Town Centre. The site has a land use classification as 26.0 Rural Resource under the *Central Coast Interim Planning Scheme 2013*. Surrounding land uses are predominately rural and rural residential properties.

The existing driveway entry location will remain which is located on the eastern end of the site frontage. Plans showing the driveway location are attached.

Figure 1 shows the location of the site in the local context.

transport
community
mining
industrial
food & beverage
carbon & energy

Hobart
GF Surrey House
199 Macquarie Street
Hobart 7000
GPO Box 94
Hobart TAS 7001
T (03) 6210 1400

Offices in:
Brisbane
T (07) 3221 0080

Canberra
T (02) 6274 0100

Devonport
T (03) 6424 1641

Launceston
T (03) 6323 1900

Melbourne
T (03) 9682 5290

E info@pittsh.com.au
www.pittsh.com.au
1300 Pittsh
Incorporated as
Pitt & Sherry
(Operations) Pty Ltd
ABN 67 140 184 309

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 2 AUG 2016

Application No: DA215218

Doc. ID: 238453





Figure 1: Site Location (basemap source: thelist.tas.gov.au)

Pine Road

Pine Road is a Council owned road that connects rural towns and properties with Penguin. It is a windy road that generally runs in a north-south direction, however in the vicinity of the site it runs in an east-west direction. Pine Road has 90 degree bends located approximately 250 metres east of the site and 650 metres west of the site. It is a two-way road with one lane in each direction.

Eastbound vehicles have a speed limit of 80km/h (entering residential area) and westbound vehicles have a speed limit of 100km/h. A 60km/h zone ends approximately 90m east of the proposed access.

Site Inspection

A site inspection was undertaken by Andrew Van Tatenhove of pitt&sherry on 27 July 2016. During the site visit the sight distances were measured and observations were made at the site access and on Pine Road.

The sight distance measurements were taken from a point 3 metres back from the edge of Pine Road and at a height of 1.1m in accordance with Figure 3.2 of the *AUSTROADS Guide to Road Design – Part 4A: Unsignalised and Signalled Intersections*.

The sight distance for westbound vehicles was observed to be unobscured for more than 200m. Eastbound vehicles are partially obscured (top half of the car visible) by a crest for approximately 42m at a distance of 105m to 147m from the site before being clearly visible again for more than 200m after 147m. The car is partially obscured for a very short period of time.

In addition to the sight distances, the following observations were made:

- In the vicinity of the site the traffic volumes were observed to be very low
- Vehicles were observed to travel no faster than 80km/h

- The proposed site access is located on a high point
- The road grade is approximately 5% uphill travelling in a westbound direction
- The road grade varies between uphill and downhill for vehicles travelling in an eastbound direction with the final 105m heading uphill at a 5% grade approximately.

Photos of the Pine Road are shown in Figure 2 and Figure 3.



Figure 2: Pine Road – facing east from near access



Figure 3: Pine Road – facing west from near access

Sight Distance Assessment

As a result of the site observations, the sight distance assessment is based on a speed of 80km/h in both directions as it is expected that the majority of vehicles would travel at a speed of 80km/h or lower.

The Austroads Guide to Road Design – Part 4A: *Unsignalised and Signalised Intersections* and Australian Standard AS 2890.1 were used to determine the minimum sight distances required.

The Austroads Guidelines state that the following types of sight distance should be provided at an intersection:

- Safe intersection sight distance (SISD) – minimum safe sight distance for a driver on the major road to view the minor road
- Minimum Gap Sight Distance (MGSD) – minimum distance required to complete a manoeuvre from the minor road
- Approach sight distance (ASD) – minimum safe sight distance for a driver on the minor road to view the major road.

The site distance requirements are outlined in Table 1.

Table 1: Site Distance Requirements

Requirements	Type of Sight Distance	Sight Distance Requirement at 80km/h (estimated operating speed)
AUSTROADS Guide Part 4A: Unsignalised and Signalised Intersections	ASD (with desirable minimum reaction time of 2 seconds)	114m
	SISD (with desirable minimum reaction time of 2 seconds)	181m
	MGSD (with critical gap of 5 seconds)	111m
Australian Standards (AS2890.1)	Domestic property access	95m
	Access driveway	105m

Based on the above table, the sight distance in both directions meets requirements of the Austroads Guide and the Australian Standard. It is further noted that the sight distance for eastbound vehicles is 105m before reaching the crest which is the same as the Australian Standard sight distance requirement for an access driveway.

Summary of Findings

An assessment of the sight distances at the proposed access to proposed new visitor accommodation at Lot 5 Pine Road has been undertaken. This assessment included measurements of sight distance at the proposed access to ensure compliance with the requirements of The *Austroads Guide to Road Design – Part 4A: Unsignalised and Signalised Intersections* and *Australian Standard AS 2890.1*. The assessment concluded that the sight distance at the proposed access location is acceptable for a visitor accommodation property access in the existing road environment.

Yours sincerely

Rebekah Giana
Traffic Engineer

Enc. Site Plan

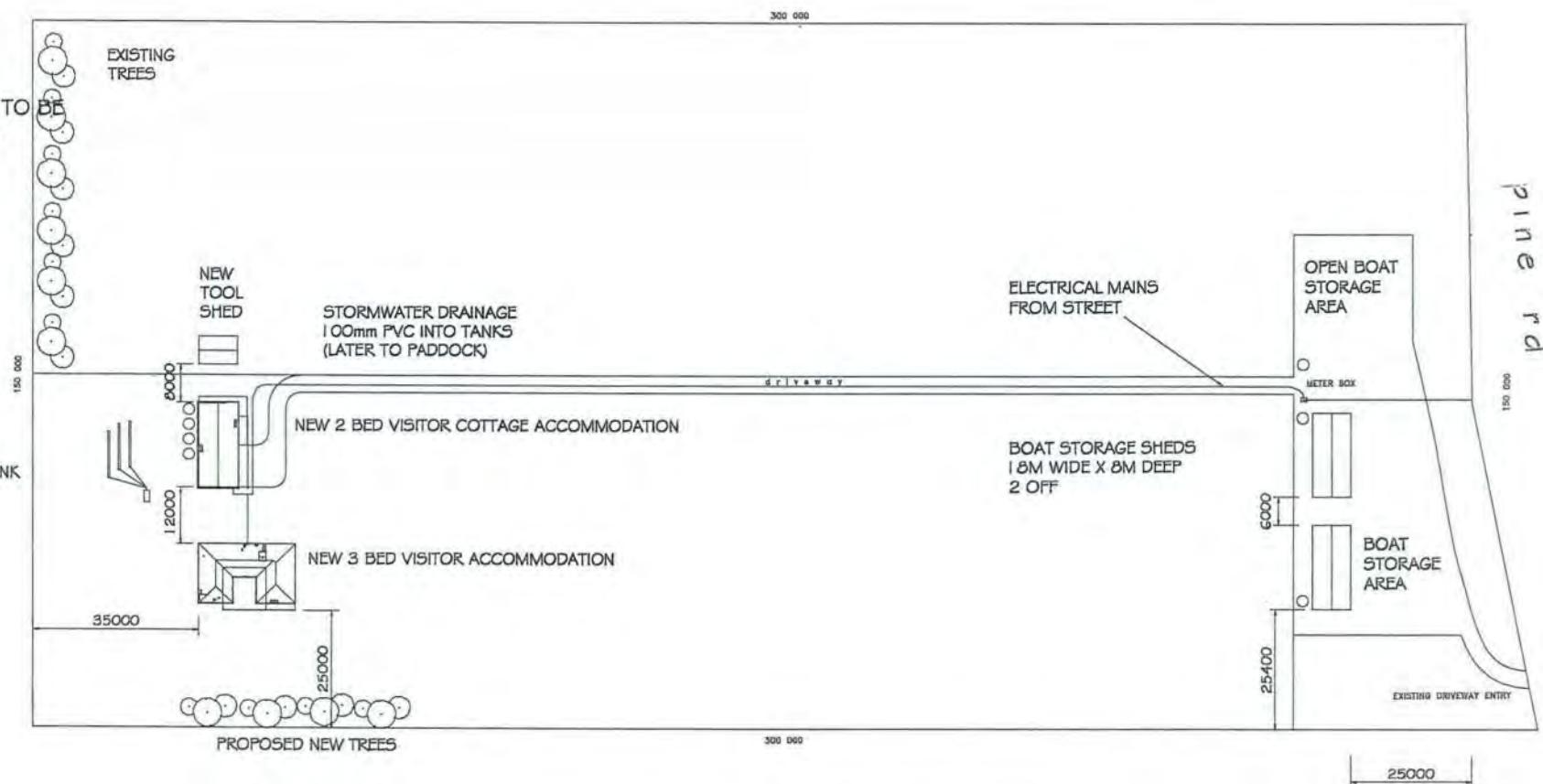
PLUMBING NOTES

STORMWATER 100mm PVC
SEWER 100mm PVC
GREY WATER 100mm PVC

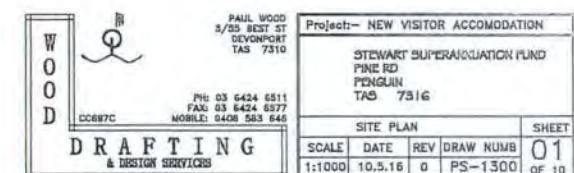
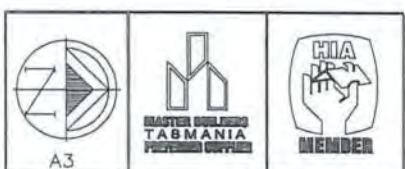
B BATH
V VANITY
SPA SPA BATH
SH SHOWER
TR TROUGH
S SINK
WC TOILET
HWC HOT WATER CYLINDER
FD FLOOR DRAIN
EV EDUCT VENT
ORG OVER FLOW RELIEF GULLY
RE ROD EYE
DP DOWNPipe
IO INSPECTION OPENING
IS INSPECTION SHAFT

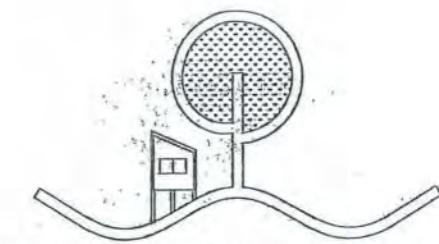
NOTE:-
NEW PLUMBING LAYOUT TO BE
PROVIDED BY PLUMBER

Lot -
Area - 4.56 ha
Vol -
Folio -



SITE PLAN





WOOD DRAFTING & DESIGN SERVICE
5/55 BEST ST
DEVONPORT
TAS 7310
Accreditation Number CC697C
ABN 75 109 825 194

Drawing Number=PS-1300 -01 to 10

Drawings

- 1 Site Plan
- 2A 3 Bed Visitor Accommodation Floor Plan
- 2B 3 Bed Visitor Accommodation Section
- 2C 3 Bed Visitor Accommodation Elevations
- 2D 3 Bed Visitor Accommodation Window Schedule
- 2E 3 Bed Visitor Accommodation Foundation Plan
- 2F 3 Bed Visitor Accommodation Roof Plan
- 2G 3 Bed Visitor Accommodation Lighting Plan
- 3A 2 Bed Cottage Accommodation Floor Plan
- 3B 2 Bed Cottage Accommodation Section
- 3C 2 Bed Cottage Accommodation Elevations
- 3D 2 Bed Cottage Accommodation Window Schedule
- 3E 2 Bed Cottage Accommodation Foundation Plan
- 3F 2 Bed Cottage Accommodation Roof Plan
- 3G 2 Bed Cottage Accommodation Lighting Plan
- 4A Shed Floor Plan
- 4B Shed Section
- 4C Shed Elevations
- 4D Shed Foundation Plan
- 4E Shed Roof Plan
- 05 Bracing Details
- 06 Foundation Detail
- 08 Wall Detail
- 09 NCC Notes
- 10 OH&S Notes

WOOD DRAFTING COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received 29 JUL 2016

Application No: D1215218

Doc. ID: 238453

CLIMATE ZONE - 7

WIND SPEED DESIGN- N3

SITE SOIL CLASSIFICATION=
CLASS M-P TO AS2870-1996

Volume TBA Folio

BAL-LOW

PROJECT:- NEW VISITOR ACCOMMODATION

STEWART SUPERANNUATION FUND
PINE RD
PENGUIN
TAS 7316

FLOOR AREA
SHED 96.0 m²

FLOOR AREA
HOUSE 183.6 m²
DECK 90.9
TOTAL 274.5 m²

FLOOR AREA
COTTAGE 96.0 m²
VERANDAH 11.2
DECK 18.4
TOTAL 125.6 m²

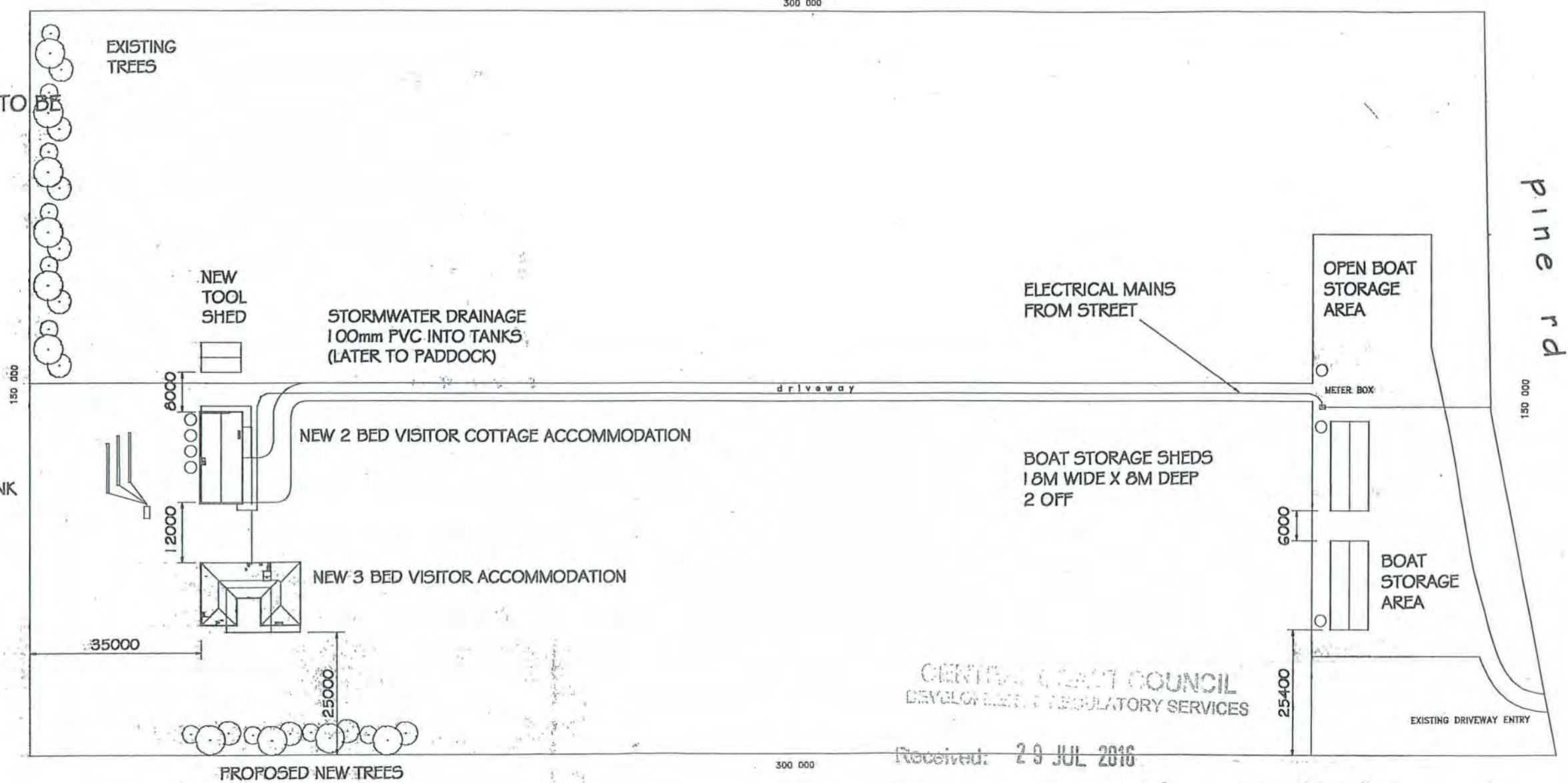
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No	DESCRIPTION	DATE
REVISIONS		

PLUMBING NOTES

**STORMWATER 100mm PVC
SEWER 100mm PVC
GREY WATER 100mm PVC**

B	BATH
V	VANITY
SPA	SPA BATH
SH	SHOWER
TR	TRough
S	SINK
WC	TOILET
HWC	HOT WATER CYLINDER
FD	FLOOR DRAIN
EV	EDUCT VENT
ORG	OVER FLOW RELIEF GULLY
RE	ROD EYE
DP	DNPIPE
IO	INSPECTION OPENING
IS	INSPECTION SHAFT

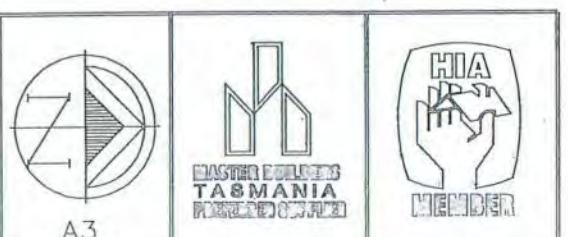
NOTE:-
NEW PLUMBING LAYOUT TO
PROVIDED BY PLUMBER



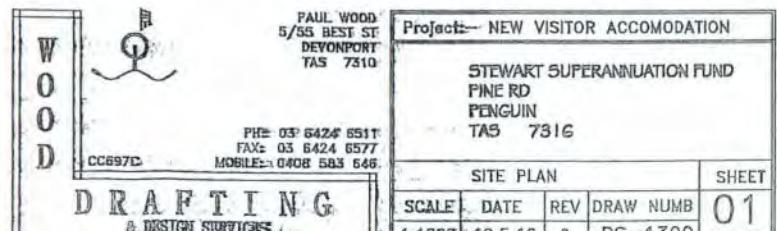
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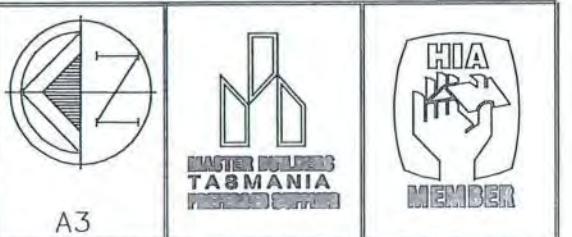
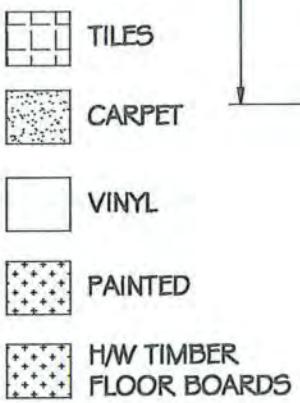
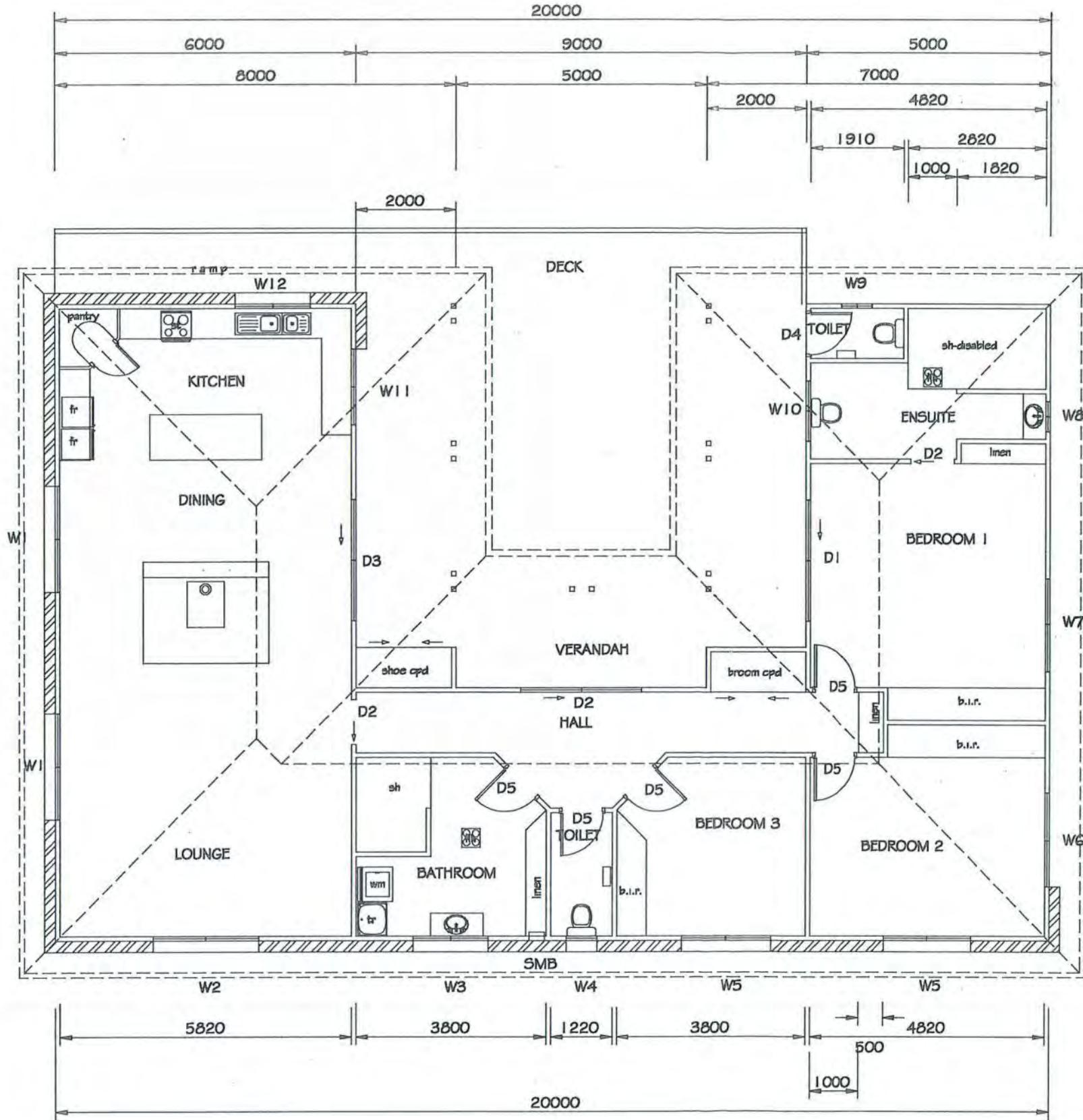
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Doc. ID: 238453

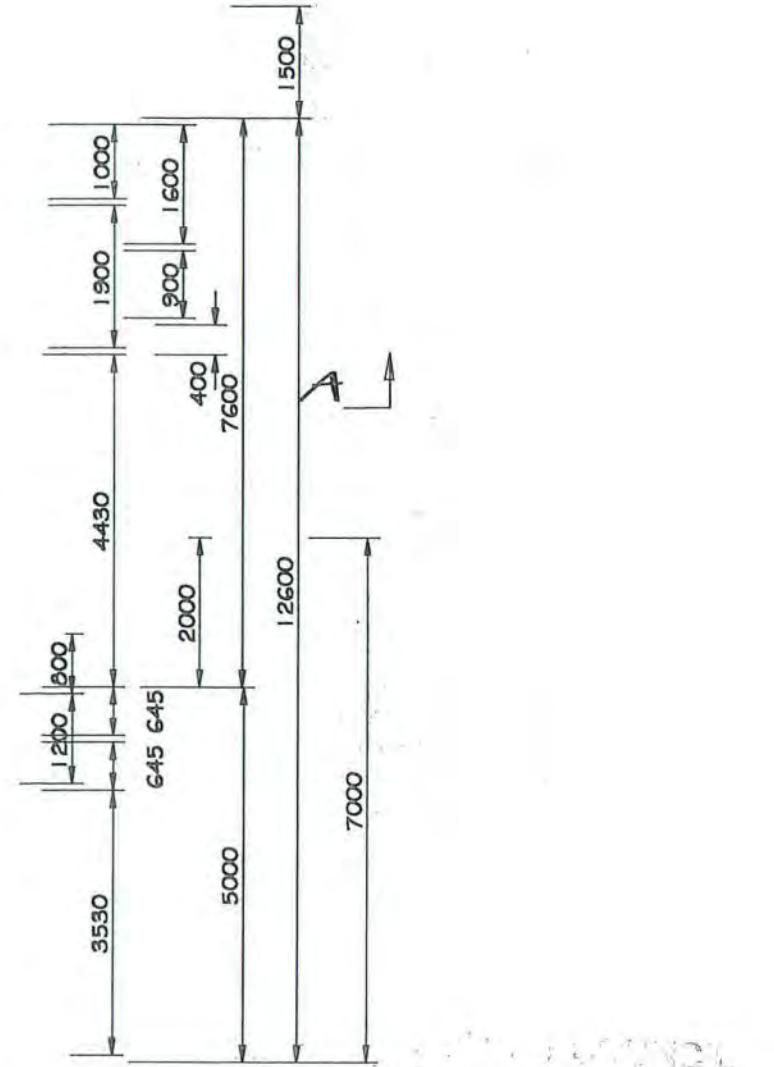


SITE PLAN





FLOOR PLAN



Design No.: DA215218

Addendum No.: DA215218

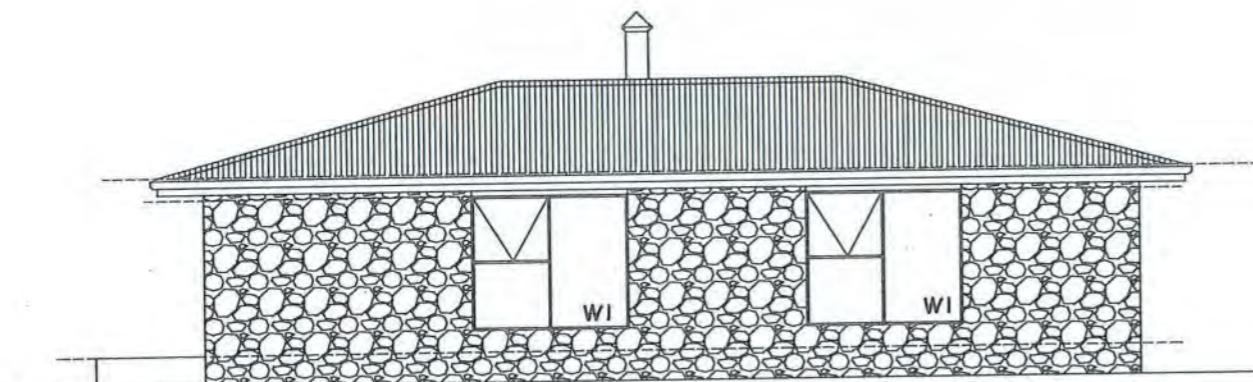
Doc. No.: 238453

FLOOR AREA
HOUSE
DECK
TOTAL

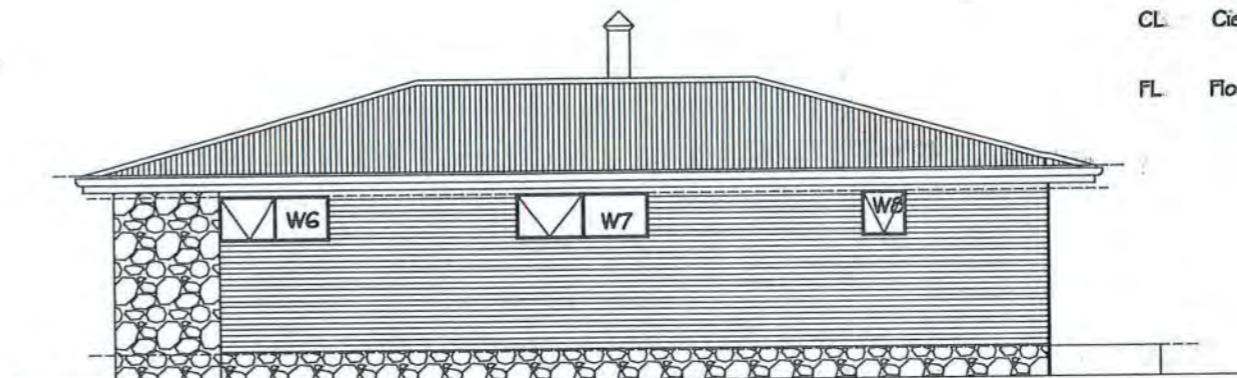
183.6 m²
90.9
274.5 m²

3 Bed VISITOR Accommodation

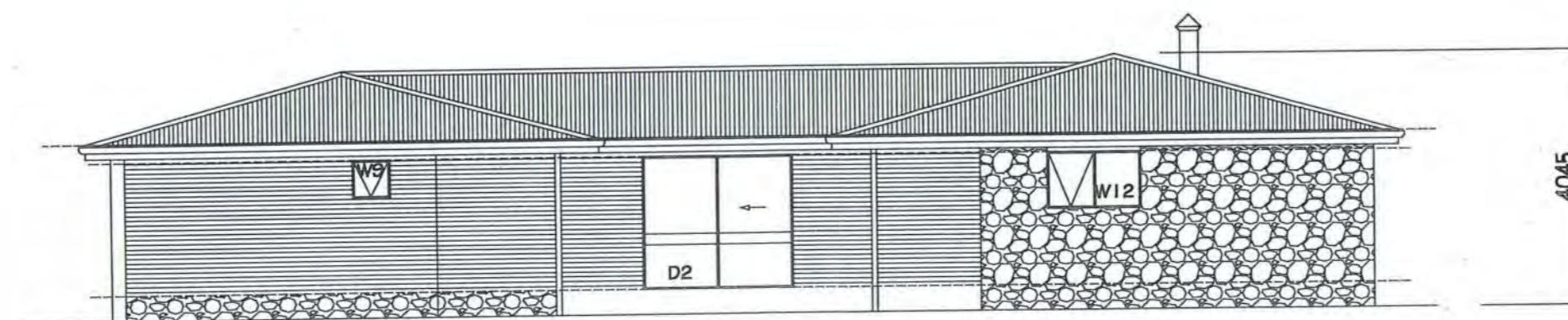
 PAUL WOOD 5/55 BEST ST. DEVONPORT TAS - 7310	Project:- NEW VISITOR ACCOMODATION		
	STEWART SUPERANNUATION FUND PH: 03 6424 6511 FAX: 03 6424 6577 MOBILE: 0408 583 846		
FLOOR PLAN SHEET DRAFTING & DESIGN SERVICES			
SCALE	DATE	REV	DRAW NUMB
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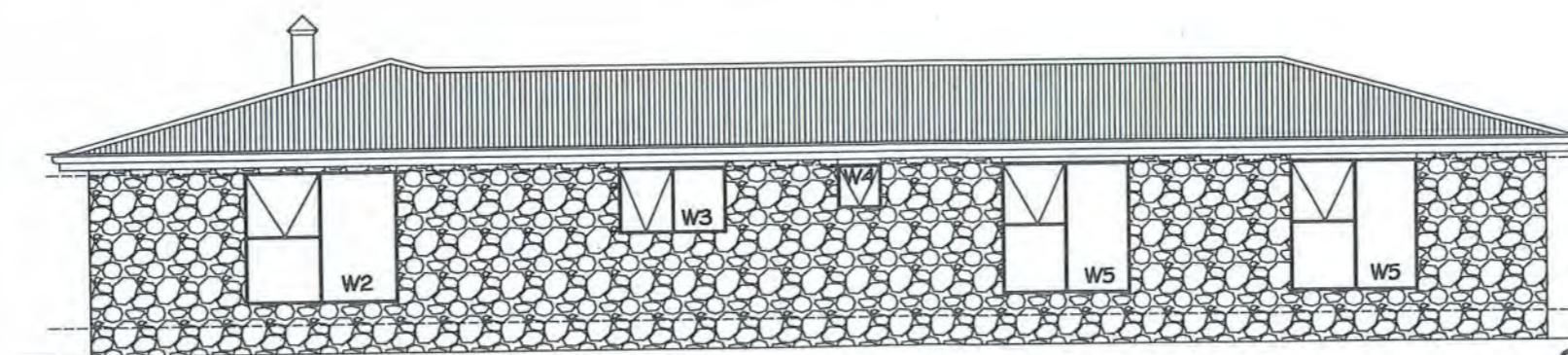
NORTH ELEVATION



SOUTH ELEVATION

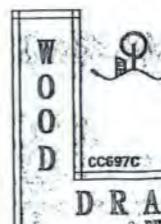


EAST ELEVATION



WEST ELEVATION

3 Bed VISITOR Accommodation



PAUL WOOD
5/55 BEST ST
DEVONPORT
TAS 7310

PHONE: 03 6424 6511
FAX: 03 6424 6577
MOBILE: 0408 583 646

DRAFTING
& DESIGN SERVICES

Project:- NEW VISITOR ACCOMODATION
STEWART SUPERANNUATION FUND
FINE RD
PENGUIN
TAS 7316

ELEVATIONS	SHEET			
1:100	10.5.16	0	PS-1300	2C
OF 10				



LEGEND & NOTES - Window Schedule

Flyscreens to be fitted to all openable windows and doors.

Glazing Requirement as outlined in the attached Glazing Calculator can be achieved with the following within a thermally broken aluminium frame:

Type	Glazing	U-value	SHGC
Awning	4Clr / 12Ar / 4Clr	4.8	0.51
Fixed window	4 / 12Ar / 4	4.8	0.59
Sliding door	5Clr / 12Ar / 5 Clr	4.8	0.59

Alternative options from glazing supplier may be presented to the designer and Building Surveyor in the form of a new Glazing Calculation

Glazing types available in Tasmania can be accessed at www.wers.net

Shower screens

1800H Semi-framless shower screens to comply with BCA Table 3.6.5 & AS1288. Minimum 4mm thick Grade A toughened safety glass, labelled to comply with industry standards.

Opaque bands

Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible as follows:

- Marking in the form of an opaque band not less than 20mm in height;
- The upper edge is not less than 700mm above the floor;
- The lower edge is not more than 1200mm above the floor;

Flashing to wall openings

All openings must be adequately flashed using materials that comply with AS/NZS 2904

refer to drawing A05 for window head and sill details. Flashing to be installed with glazing manufacturer's specifications for brick veneer construction

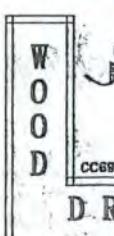
ALL SLAZED WINDOWS & DOORS ASSEMBLIES IN EXTERNAL WALLS
TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH
AS 1288

Received: 28/11/2013

Application No.: DA215218

Doc. No.: 238453

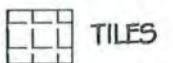
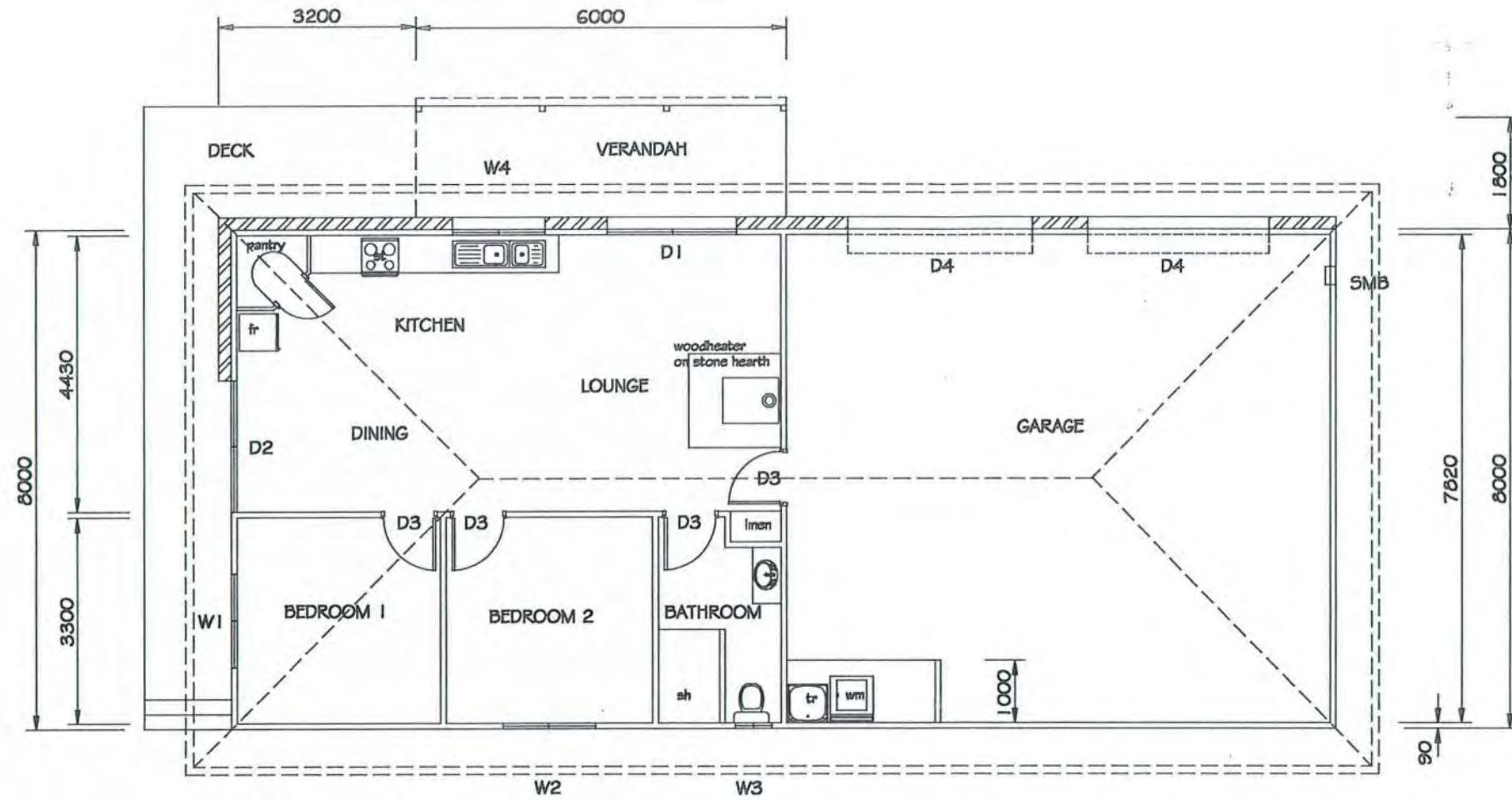
3 Bed VISITOR Accommodation



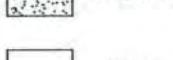
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DRAFTING & DESIGN SERVICES			



WINDOW SCHEDULE



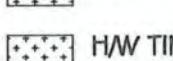
TILES



CARPET



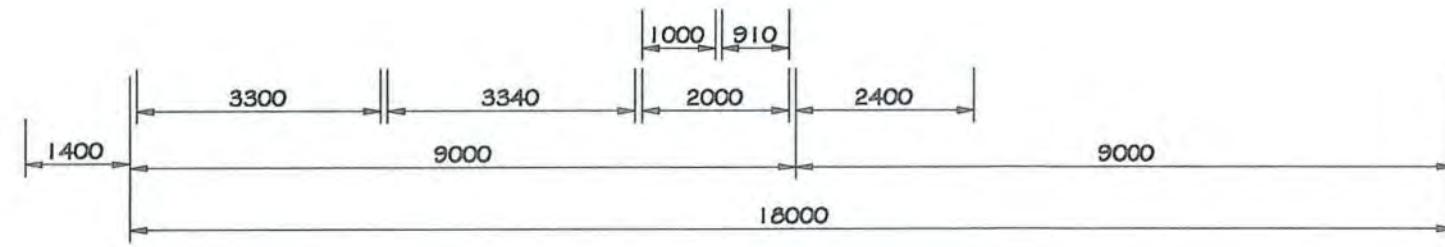
VINYL



PAINTED



H/W TIMBER FLOOR BOARDS



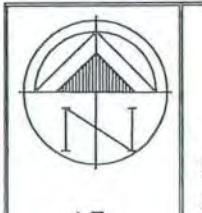
Revised 29.11.2013

Appliance DA215218

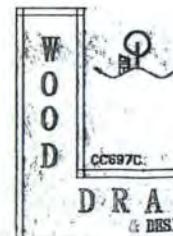
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FLOOR AREA
COTTAGE 96.0 m²
VERANDAH 11.2
DECK 18.4
TOTAL 125.6 m²

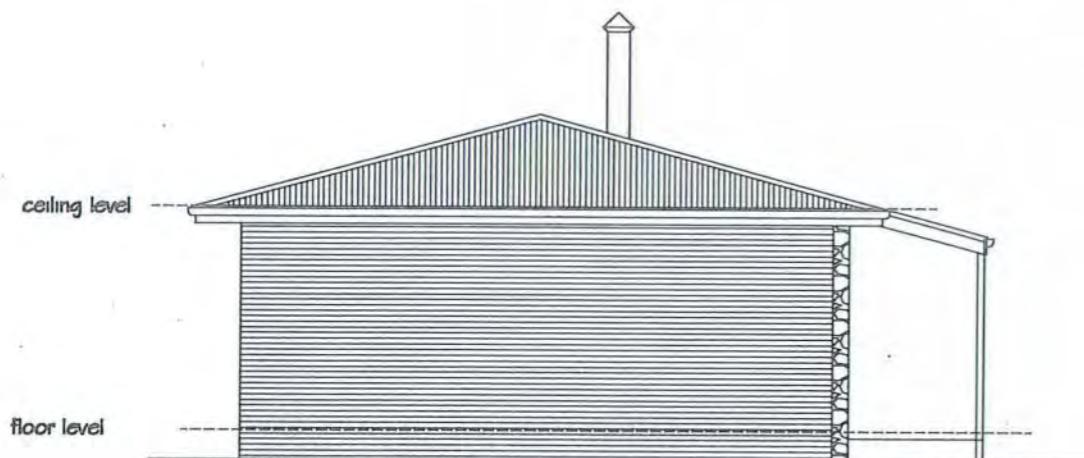
2 Bed Visitor COTTAGE Accommodation



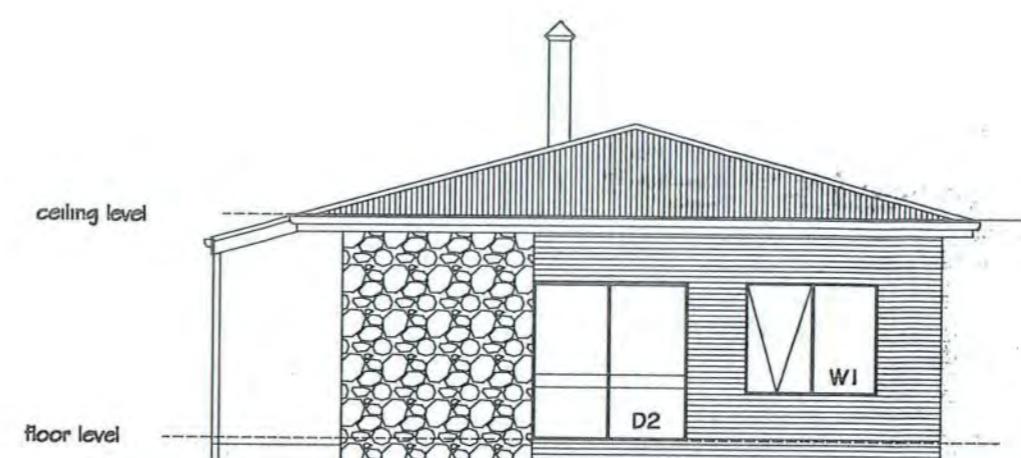
FLOOR PLAN



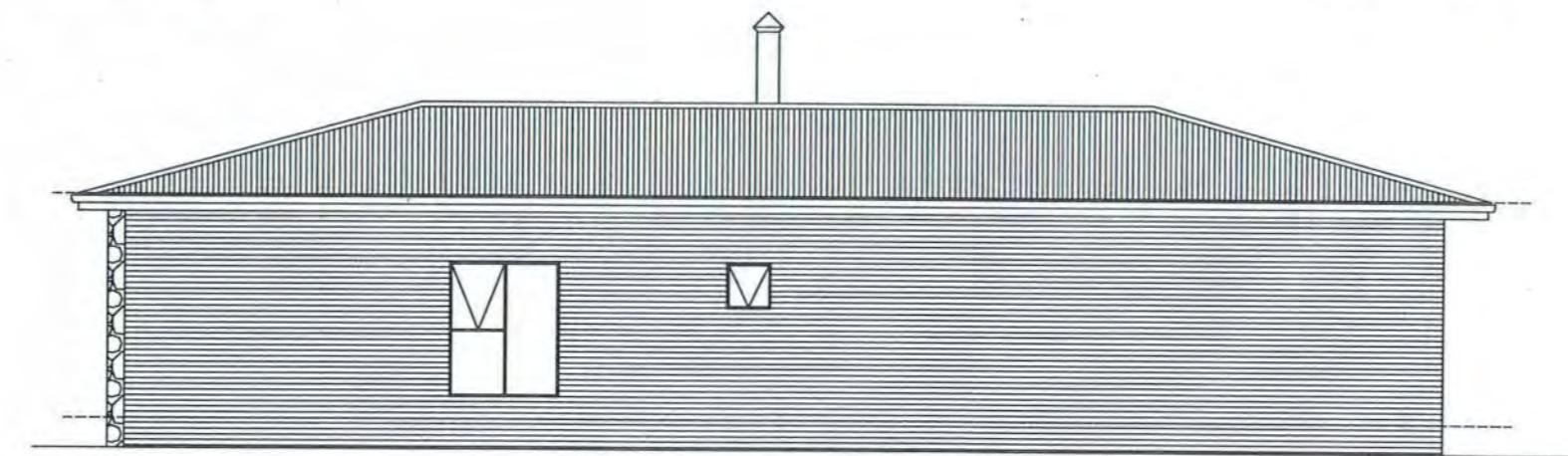
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STEWART SUPERANNUATION FUND PINE RD PENGUIN TAS 7316			
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SCALE	DATE	REV	DRAW NUMB
1:100	10.5.16	0	PS-1300
OF 10			



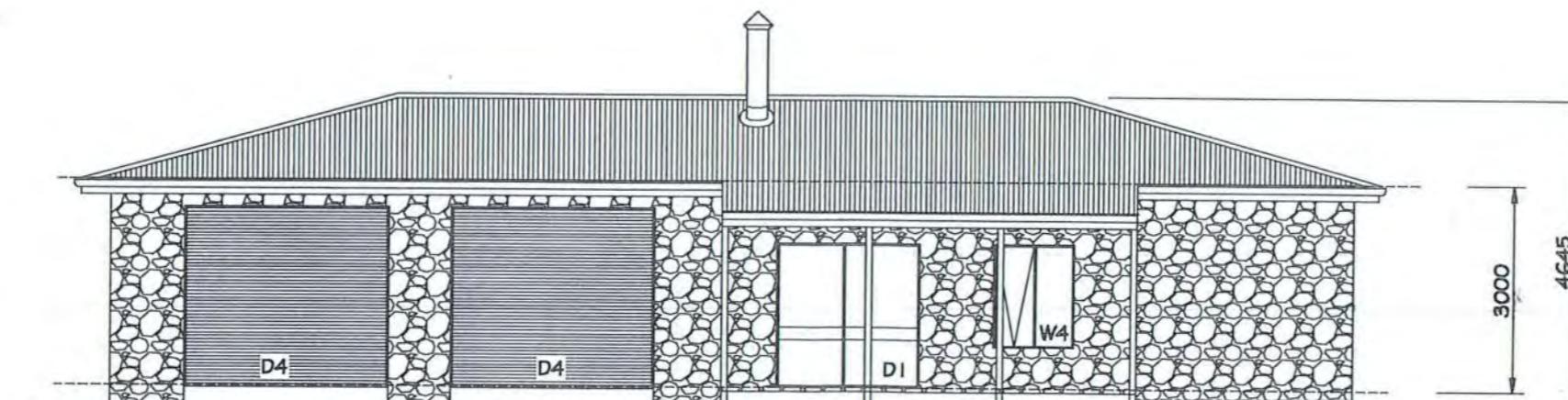
EAST ELEVATION



WEST ELEVATION

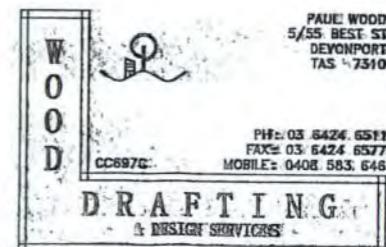
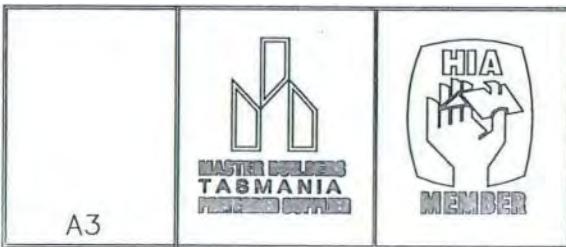


SOUTH ELEVATION



NORTH ELEVATION

2 Bed Visitor COTTAGE Accommodation



ELEVATIONS				SHEET
SCALE	DATE	REV	DRAW NUMB	3C
1:100	10.5.16	0	PS-1300	OF 10

LEGEND & NOTES - Window Schedule

Flyscreens to be fitted to all openable windows and doors.

Glazing Requirement as outlined in the attached Glazing Calculator can be achieved with the following, within a thermally broken aluminium frame:

WINDOW SCHEDULE						STEWART-1300-COTTAGE						RLW 3600						
WINDOW	HEIGHT	WIDTH	QTY	U Value	SHG	OPENING	WIND RATING N2 - BAL RATING LOW						GLAZING	FRAME	LINTEL	STUD	WALL	ORIENTATION
							TYPE											
W1	1.8	1.5	1	4.8	0.51	1.35	AWNING	Double	ALUMINIUM	140 x 45 -LVL hySPAN	Double	STUD	WEST					
							Grade A safety glass min - 4mm											
W2	1.8	1.5	1	4.8	0.51	1.35	AWNING	Double	ALUMINIUM	140 x 45 -LVL hySPAN	Double	STUD	SOUTH					
							Grade A safety glass min - 4mm											
W3	0.6	0.6	1	4.8	0.51	0.36	AWNING	Double	ALUMINIUM	140 x 45 -LVL hySPAN	Single	STUD	SOUTH					
							Grade A safety glass min - 4mm											
W4	1.5	1.2	1	4.8	0.51	0.9	AWNING	Double	ALUMINIUM	140 x 45 -LVL hySPAN	Double	STONE	NORTH					
							Grade A safety glass min - 4mm											

DOOR SCHEDULE						STEWART-1300-COTTAGE						RLW 3600						
DOOR	HEIGHT	WIDTH	QTY	U Value	SHG	OPENING	WIND RATING N2 - BAL RATING LOW						GLAZING	FRAME	LINTEL	STUD	WALL	ORIENTATION
							TYPE											
D1	2.1	2.1	1	4.8	0.59	2.205	SLIDING	Double	ALUMINIUM	140 x 45 -LVL hySPAN	Double	STONE	NORTH					
D2	2.1	2.1	1	4.8	0.59	2.205	SLIDING	Double	ALUMINIUM	140 x 45 -LVL hySPAN	Double	STUD	WEST					
D3	2.04	0.82	1				TIMBER PANEL					STUD						
D4	2.6	3	2				ROLLER			200 x 45 -LVL hySPAN		STONE	NORTH					

WINDOW SCHEDULE



A3

Type	Glazing	U-value	SHGC
Awning	4Clr / 12Ar / 4Clr	4.8	0.51
Fixed window	4 / 12Ar / 4	4.8	0.59
Sliding door	5Clr / 12Ar / 5 Clr	4.8	0.59

Alternative options from glazing supplier may be presented to the designer and Building Surveyor in the form of a new Glazing Calculation

Glazing types available in Tasmania can be accessed at www.wers.net

Shower screens

1800H Semi-frameless shower screens to comply with BCA Table 3.6.5 & AS1288. Minimum 4mm thick Grade A toughened safety glass, labelled to comply with industry standards.

Opaque bands

Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible as follows:

- Marking in the form of an opaque band not less than 20mm in height;
- The upper edge is not less than 700mm above the floor;
- The lower edge is not more than 1200mm above the floor;

Flashing to wall openings

All openings must be adequately flashed using materials that comply with AS/NZS 2904

refer to drawing A05 for window head and sill details. Flashing to be installed with glazing manufacturer's specifications for brick veneer construction

ALL GLAZED WINDOWS & DOORS ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288

RECEIVED 20 NOV 2018

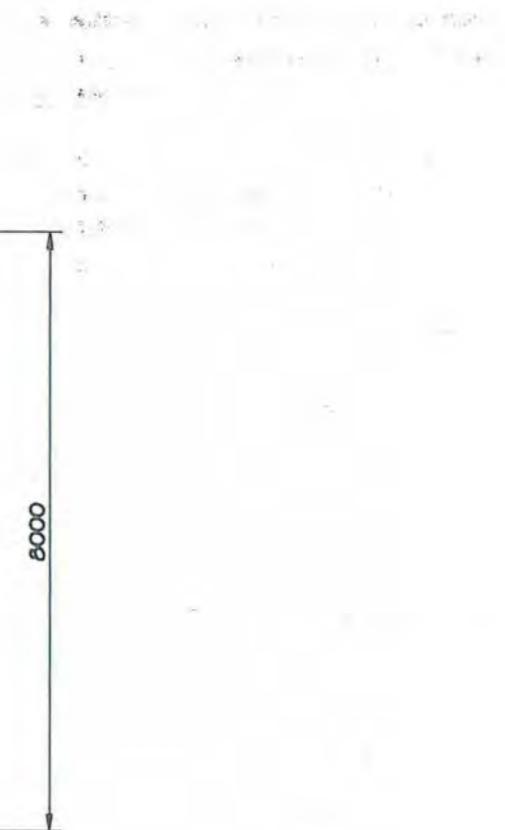
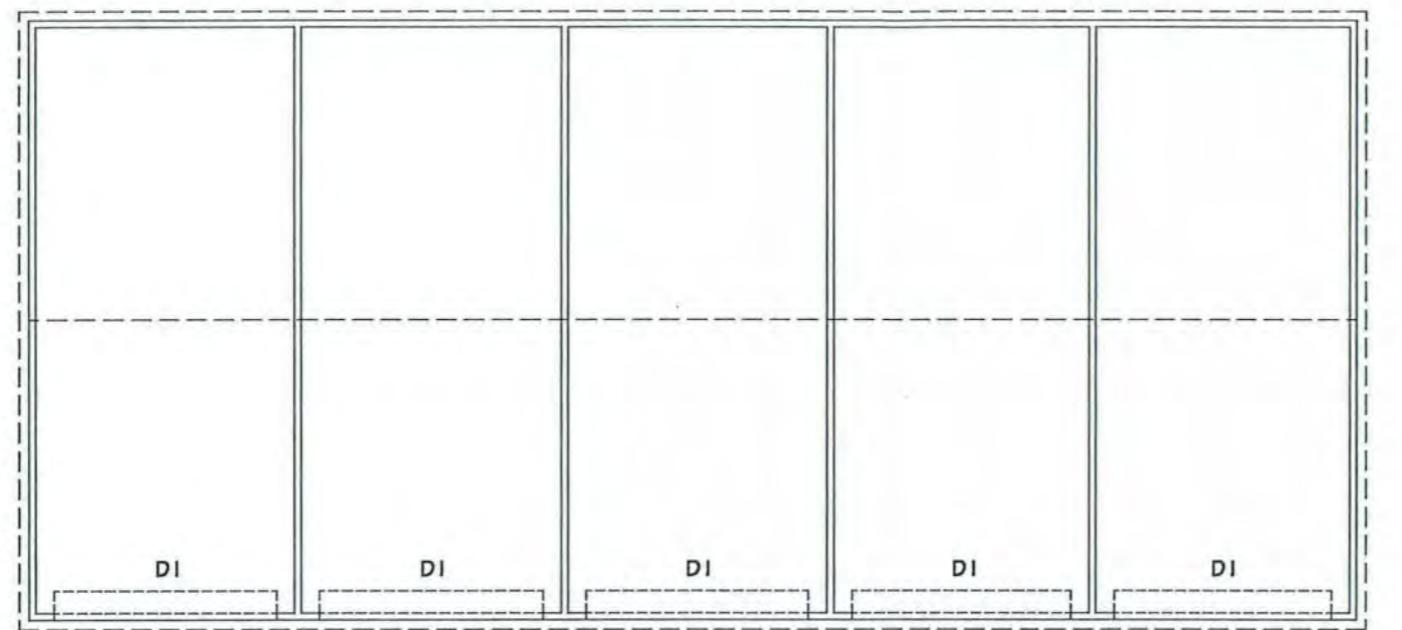
APPROVED DA 215218

2 Bed Visitor COTTAGE Accommodation

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STEWART SUPERANNUATION FUND FINE RD PENGUIN TAS 7316				
PHONE: 03 6424 6511 FAX: 03 6424 6577 MOBILE: 0408 583 646				
WINDOW SCHEDULE SHEET				
SCALE	DATE	REV	DRAW NUMB	3D
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D.R.A.F.T.I.N.G.
& DESIGN SERVICES

A



18000

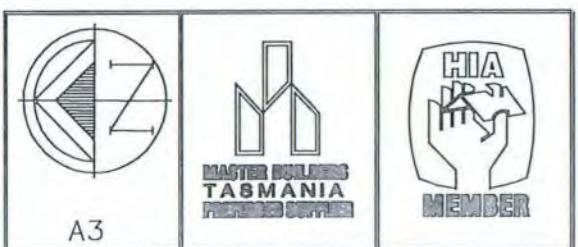
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90

- TILES
- CARPET
- VINYL
- PAINTED
- HAW TIMBER FLOOR BOARDS

A

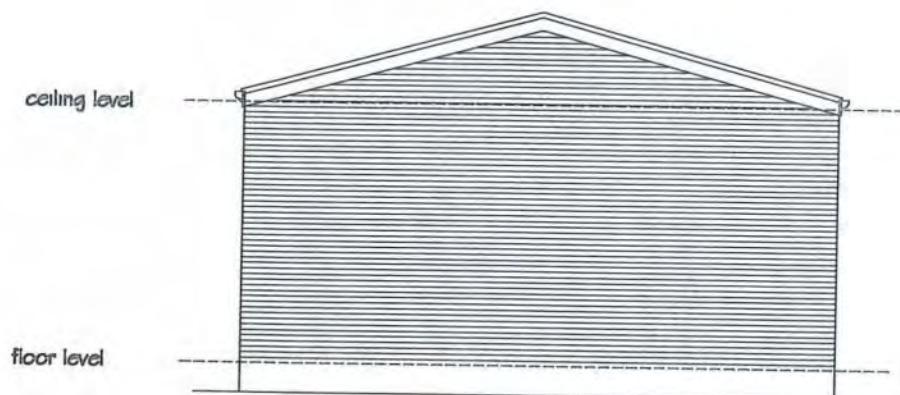
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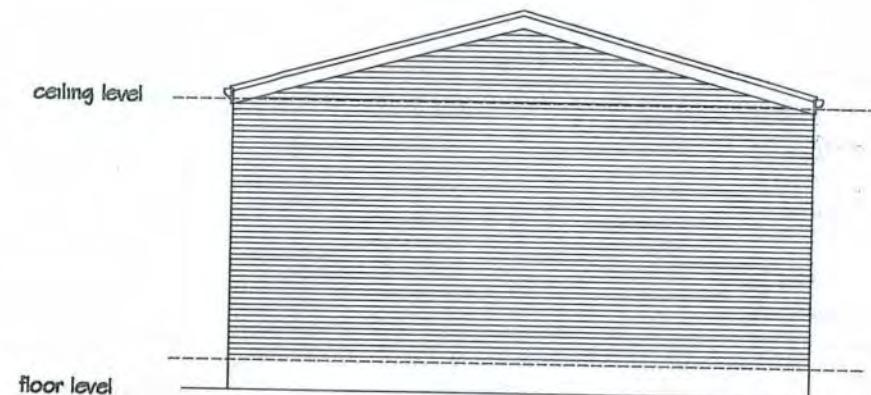
BOAT STORAGE SHED

 WOOD	Project: NEW VISITOR ACCOMODATION		
	STEWART SUPERANNUATION FUND FINE RD PENGUIN TAS 7316		
PH: 03 6424 6511 FAX: 03 6424 6577 MOBILE: 0408 583 646			
CC697C		FLOOR PLAN SHEET	
DRAFTING		& DESIGN SERVICES	
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			OF 10

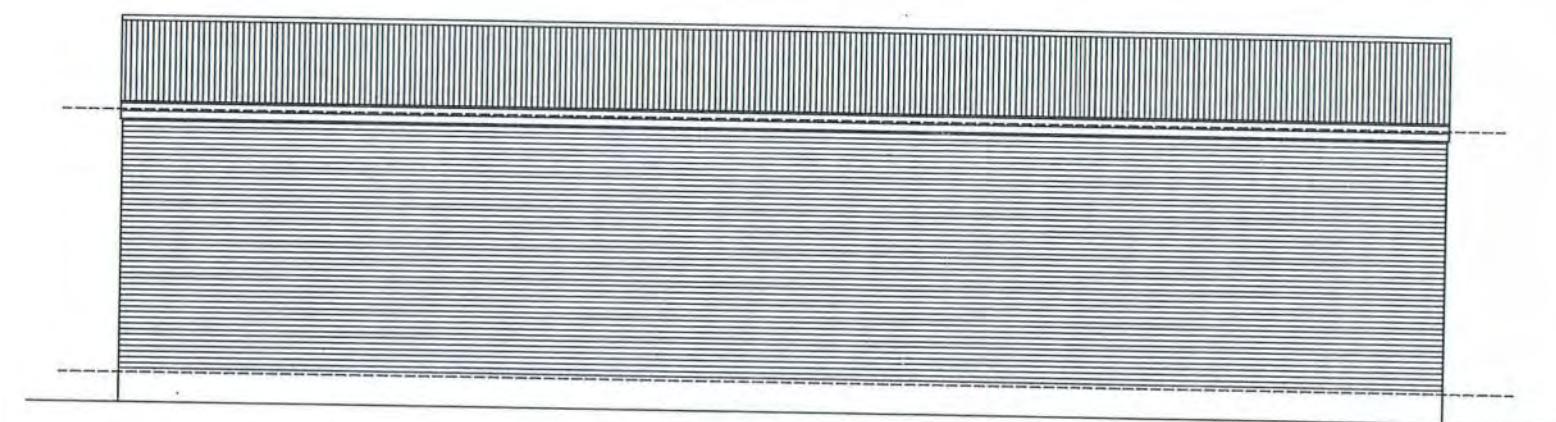
LEGEND & NOTES - Elevations



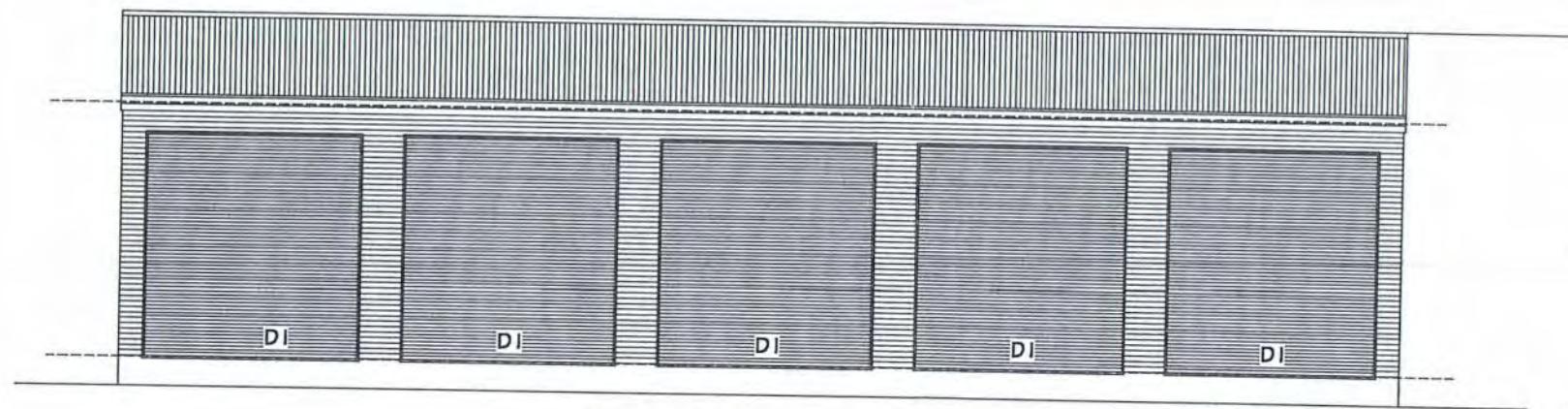
EAST ELEVATION



WEST ELEVATION

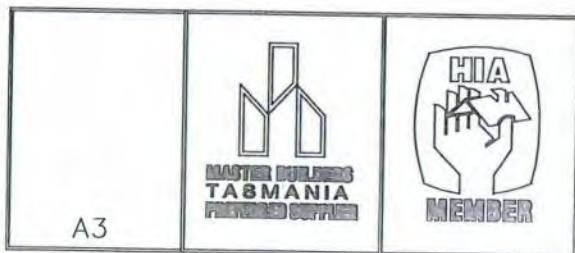


SOUTH ELEVATION



NORTH ELEVATION

BOAT STORAGE SHED



A3

PAUL WOOD
5/55 BEST ST
DEVONPORT
TAS 7310

PHONE: 03 6424 6511
FAX: 03 6424 6577
MOBILE: 0408 583 646

WOOD
CC697C

DRAFTING
& DESIGN SERVICES

Project: NEW VISITOR ACCOMODATION
STEWART SUPERANNUATION FUND
FINE RD
PENGUIN
TAS 7316

ELEVATIONS
SCALE DATE REV DRAW NUMB
1:100 10.5.16 0 PS-1300
4C



strata
geoscience and environmental

Land Capability Assessment for

**Lot 5 Pine Road
Penguin**

May 2016

CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES

Received: 30 MAY 2016

Application No: DA215218

Doc. ID: 238453

*Land Capability Assessment
Proposed Residential Development Lot 5 Pine Road Penguin*

Important Notes:

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1. Introduction and Legislative Context

1.1 Introduction

Strata Geoscience and Environmental P/L was commissioned by Phil Stewart to carry out a land capability assessment of Pine Road Penguin for the purposes of determining site suitability for residential development. This investigation has been triggered due to the site's location on or near rural land and seeks to identify issues associated with a residential development of the site given these classifications. This report should also be read in conjunction with the Preliminary Geotechnical Investigation prepared by Strata Geoscience and Environmental P/L.

1.2 Legislative context

The state policy on the protection of agricultural land 2009 has two objectives:

To enable the sustainable development of agriculture by minimising:

- (a) conflict with or interference from other land uses; and
- (b) non-agricultural use or development on agricultural land that precludes the return of that land to agricultural use.

The above objectives aim to protect prime agricultural land from conversion to other non agricultural uses, with prime land being defined as:

"Prime agricultural land" means agricultural land classified as Class 1, 2 or 3 land based on the class definitions and methodology from the Land Capability Handbook, Second Edition, C J Grose, 1999, Department of Primary Industries, Water and Environment, Tasmania.

This Policy applies to all agricultural land in Tasmania. A decision made in accordance with the provisions of a planning scheme; (a) approved under the Land Use Planning and Approvals Act 1993, as being in accordance with this Policy, or (b) amended in accordance with section 13 of the State Policies and Projects Act 1993, is taken to have been made in accordance with the Policy.

2. Investigation

The investigation incorporated the following:

- Desktop survey included investigation of land capability and geological mapping units, landslip zoning, relevant meteorological information, Land Title and Freedom of Information (FOI) searches where relevant.
- Field investigation involved site reconnaissance and intrusive geotechnical drilling using a vehicle based auger drilling rig characterising soils to 2.0m

The above desktop and site surveys were integrated into a detailed land capability assessment of the site according to the principles outlined in Grose (1999).

3. Results

3.1 Site Location and Planning Context

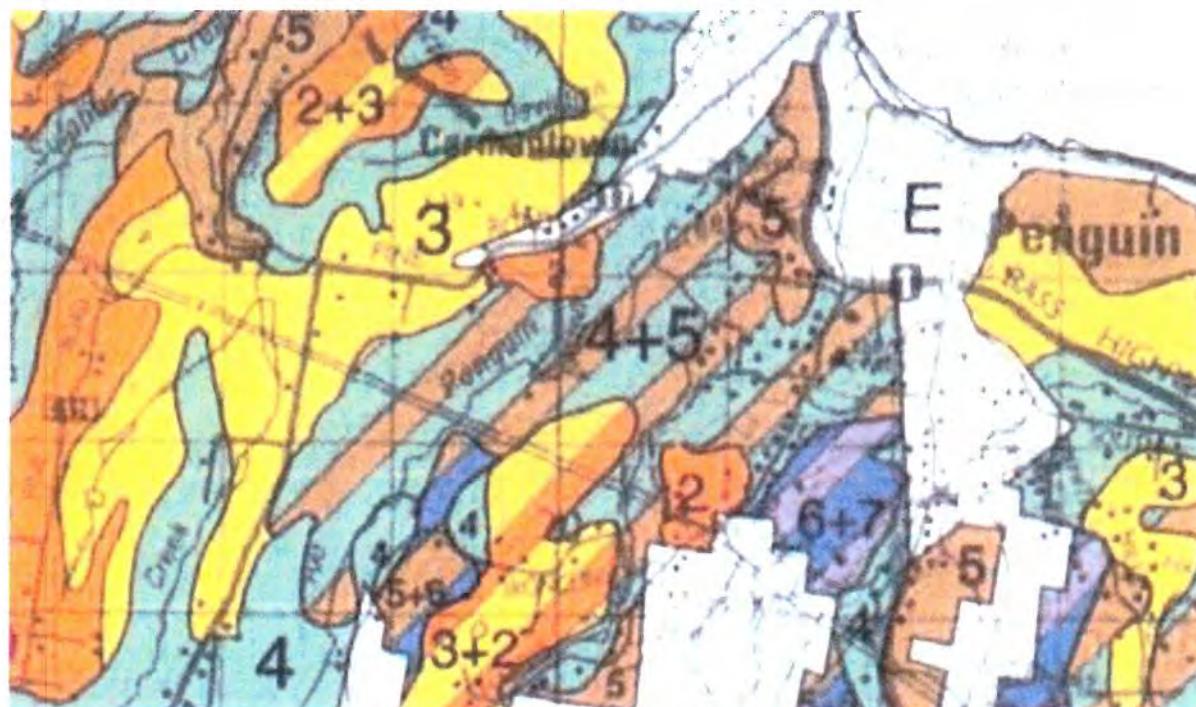
The 3.4 Ha site is located approximately 4 km south west of the township of Penguin on a north facing concavo-convex slope of approximately 5-20% between 140-160 m AHD. The site is bordered to the north by the Pine Road and consists of one title (91766/5). The site is zoned "Rural Resource" under the Tasmanian Interim Planning Scheme. Please refer to Appendix 1 and 2 for further site context.



Figure 1: Site Location (Listmap, 2016)

3.2 Land Capability Mapping

The land capability assessment undertaken by Moreton (1999) designates the subject property as Class 3/4. The delineation between the Class 3/4 designation runs in a NE/SW direction and appears to follow the ridgeline contour.



3 CLASS 3

Land suitable for cropping and intensive grazing. Cropping phase is normally limited to two to five years out of ten in rotation with pasture or equivalent, and/or the variety of crops that can be grown is significantly more restricted than on Class 1 and 2 land. Soil conservation practices and sound management are required to overcome the moderate limitations to cropping use.

4 CLASS 4

Land marginally suitable for cropping because of severe limitations which restrict the range of crops that can be grown and/or make major conservation treatment and careful management necessary. Cropping rotations should normally be restricted to one to two years out of ten in a rotation with pasture or equivalent. This land is well suited to intensive grazing.

Figure 2: Morton and Gross (1997) Land Capability Survey of Tasmania Forth 1:100000

It is noteworthy that the coarse scale 1:100000 Land Capability Mapping Series (Moreton and Gross 1997) has been utilised to help assign planning boundaries in the local area. Given that a 1:100000 scale mapping sheet has an error factor of approximately 400m, combined with the fact that a boundary between two classes is proximal to the property, a site specific land capability assessment is warranted.

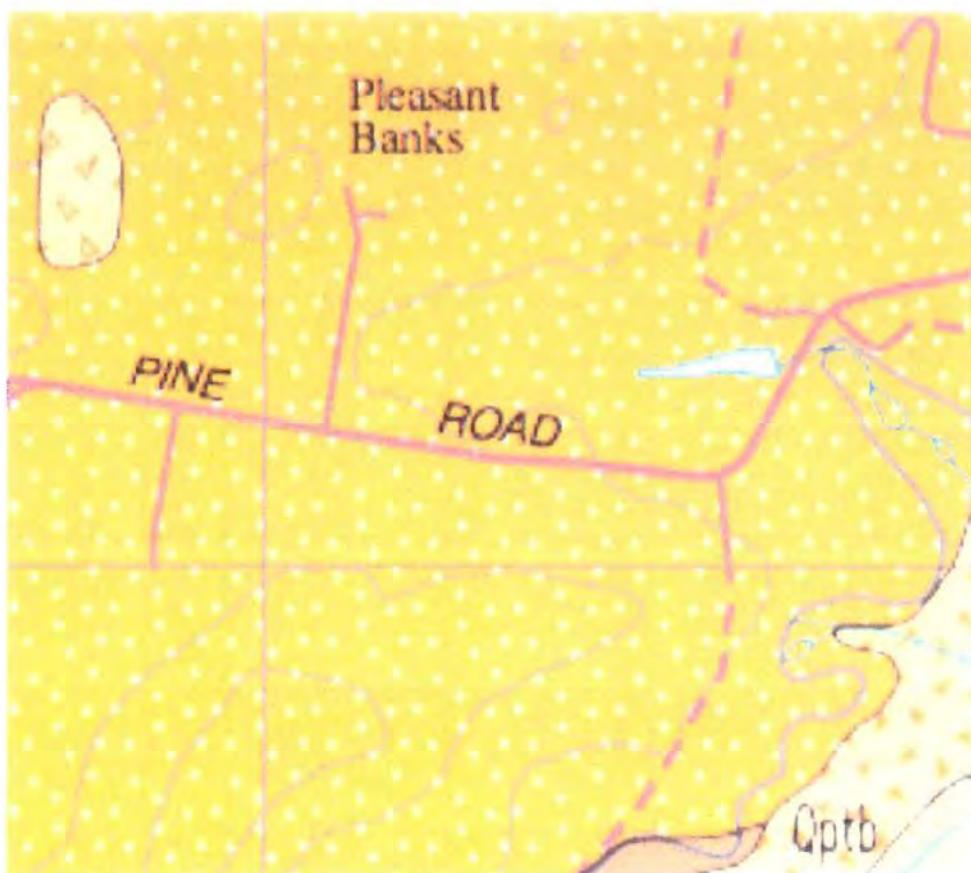
3.4 Geology, Geomorphology and Slope

The site exists as a north facing concavo-convex slope up to 20%.

The Mineral Resources Tasmanian Geological Map Series 1:25000 Ulverstone sheet shows the underlying geology of the localised area to consist of Tertiary Basalt bedrock (Tbw) and Quaternary Landslide deposits predominantly derived from weathering Tertiary rocks (denoted as Qxt/Qpt). This is consistent with the field investigation of the site with deep Clayey SILTS (ML) and Silty CLAYS (CL/CH) weathering from inferred Basalt rocks observed in bores.

The basalt rocks have come from a large regional basalt flow over older geological surfaces. Where the basalt rocks have fractured into colluvial material and accumulated as weathering products on slopes, the Qxt/Qpt surfaces are formed.

*Land Capability Assessment
Proposed Residential Development Lot 5 Pine Road Penguin*



Tbw

Predominantly deeply-weathered basalt (Tbw).

Qxt

Landslide deposits predominantly derived from weathered Tertiary rocks (Qxt).

Opt

Talus (Opt); basalt talus (Optb); talus derived from chert (Optc); quartz sandstone and conglomerate talus derived from Owen Group correlates (Opto).

Figure 3 : Extracts from MRT 1:25000 Ulverstone Sheet

3.5 Soils

Geotechnical reconnaissance over the site revealed consistent soils type of Clayey SILTS (ML) parting to Silty CLAYS (CL/CH) to a characterised depth >2m. Bore logs are presented in Appendix 3. According to the Unified Soil Classification System (Isbell, 2003) soils are classified as Ferrosols being soils with free iron contents >5%.

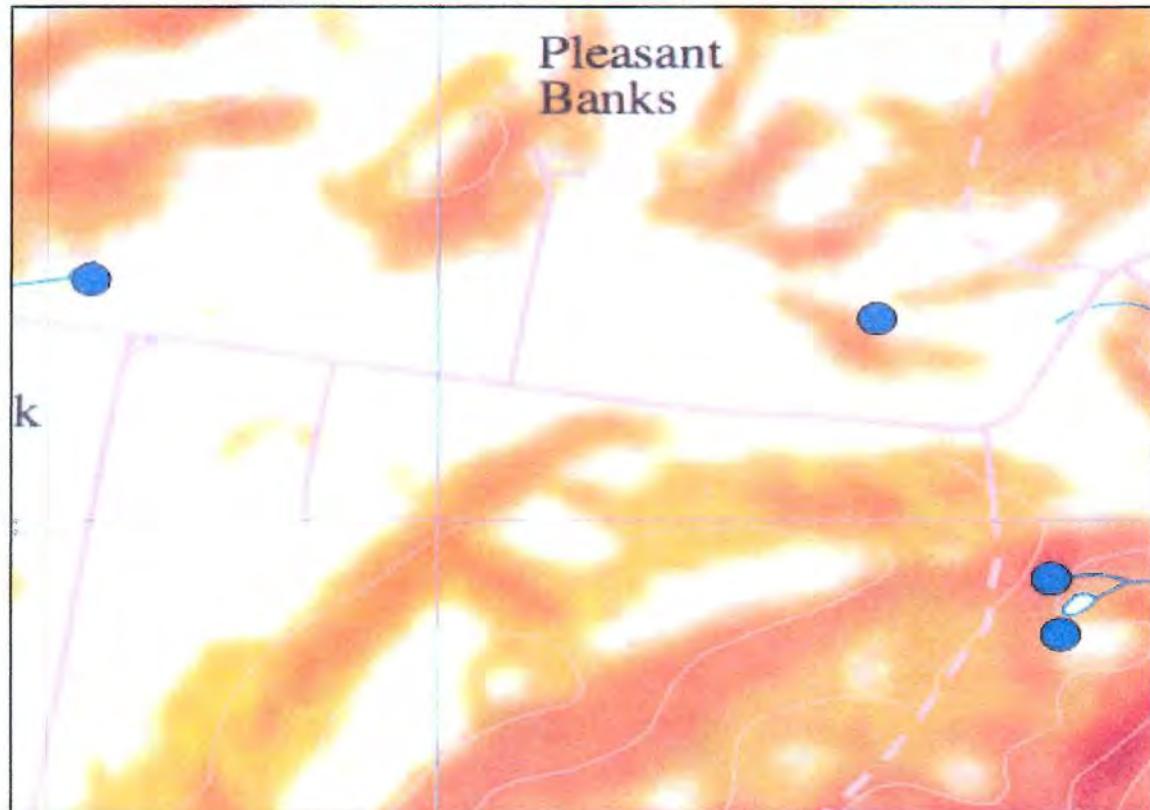
3.6 Landslide Zoning and Erosion Susceptibility

Reference was also made to the MRT Shallow Slide and Flow Susceptibility Ulverstone 1:25000 map series slide/flow zones categorised as low parting to moderate associated with steeper areas of the site.

It is notable where moderate risk areas on steeper slopes exist, the risk of slide/flow movement will be accentuated by soil disturbance. In an agricultural context disturbance may be triggered by some or all of the following activities:

1. Intensive cultivation and cropping
2. Intensive grazing and high stocking densities
3. Concentration of irrigation
4. Over cropping

Furthermore triggered slides and flows can lead to soil erosion, soil loss and soil structural degradation, further reducing the productive capability of the land.



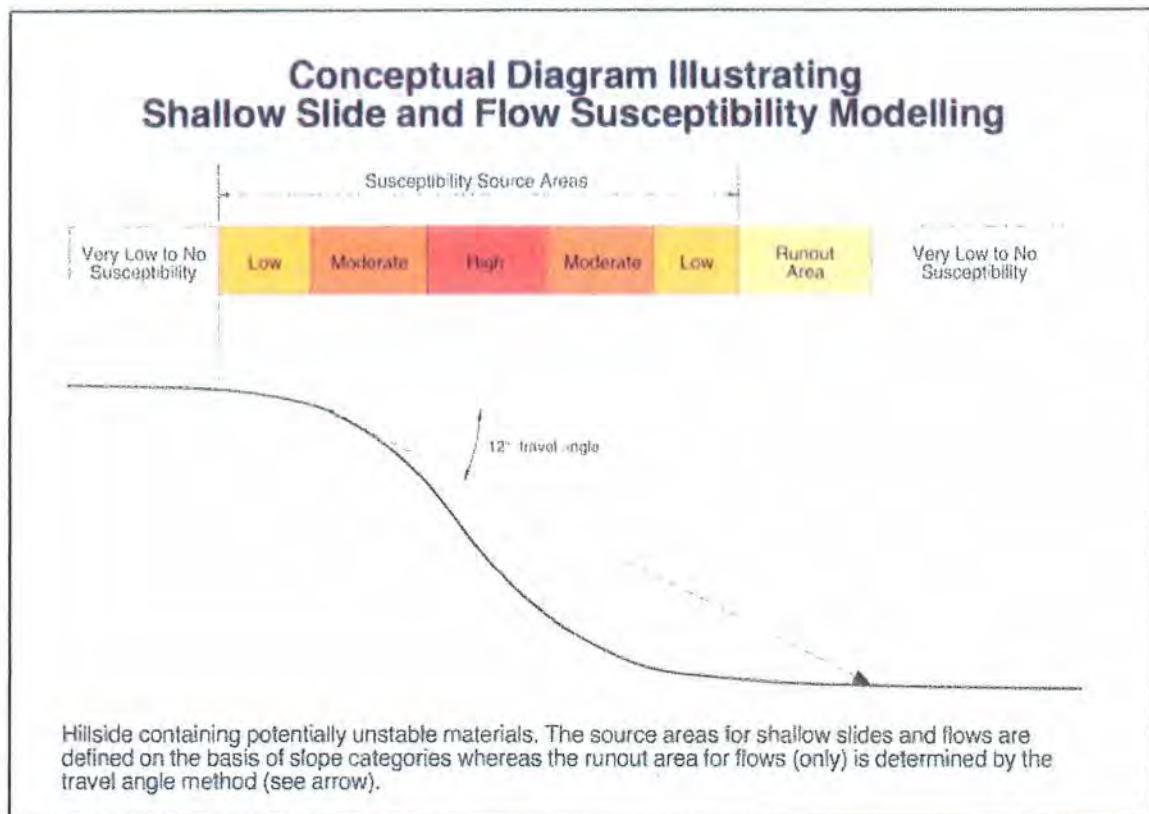


Figure: 4/5 Extracts from Shallow Slide/Susceptibility MRT 1:25000 Ulverstone Sheet

3.7 Climate

Climate data for the West Pine Station is presented in Appendix 3. Data reveals an annum rainfall of 1003 mm with falls predominantly based in the winter months when evapotranspiration rates are at their lowest. This rainfall distribution has the potential to create adverse soil moisture conditions leading to an increase in the risk for mass movement on slopes.

4. Agricultural Land Capability Assessment

4.1 Background

Agricultural Land Capability assessment has been developed in Tasmania by the Department of Primary Industries Water and Environment according to the guidelines described in Gross (1999).

The classification system in Tasmania is based primarily upon three permanent biophysical features of the landscape - soil, slope and climate, and their interactions. These three factors have a major influence in determining the capability of the land to support various levels of agricultural production. Other factors which must be taken into account are rock type, erosion hazard, range of crops that can be grown, management practices, soil conservation treatment, risk of flooding and past land use history (Gross, 1999)

The system is hierarchical and comprises seven classes, ranked in order of increasing degree of limitations to use, and in decreasing order of versatility. Class 1 land can produce a wider variety of crops and pastures at higher levels of production with lower costs, or with less risk of damage to the land, than any of the other classes of land. Class 2 land is similarly superior to classes 3 to 7, and so on. Class 4 land is considered the limit for cropping. It is restricted by severe hazards or limitations to production such that cropping can only occur one or two years out of ten without leading to degradation of the soil resource or is limited to only one or two crop types which require low inputs and management but which allow more frequent cropping. The capability class is therefore an indicator of the degree of versatility, level of productivity and risk of degradation for a particular area of land. The second level of classification, indicated by the subclass code, identifies the nature of the risk or the type of hazard or limitation present. Limitations may be defined as physical factors or constraints which affect the range of crops that can be grown or limit the frequency of cultivation. This information is usually only presented on maps of scale 1:50 000 or greater although limited subclass information is available for some of the more recently published maps. The subclass code is indicated by a letter following the class

code. Initially the system identified four major limitation groups - erosion, wetness, soils and climate. However, this approach is considered to provide only limited information to potential users and that subclass information could be made more valuable by increasing the range of limitations identified. The identification of a wider range of limitations is a new approach to mapping adopted for maps published from 1999 onwards. The third level of classification is the unit level, identified by a number following the subclass code. Unit level mapping is usually appropriate to 1:25 000 scale mapping or larger. The unit level takes into account the levels of production, management strategies and soil conservation requirements that the land may need in order to maintain that level of production without long-term degradation. The system considers degradation of the soil resource and does not take into account the possible effects of agricultural land use on water quality, aesthetics, wildlife, etc. (Gross, 1999)

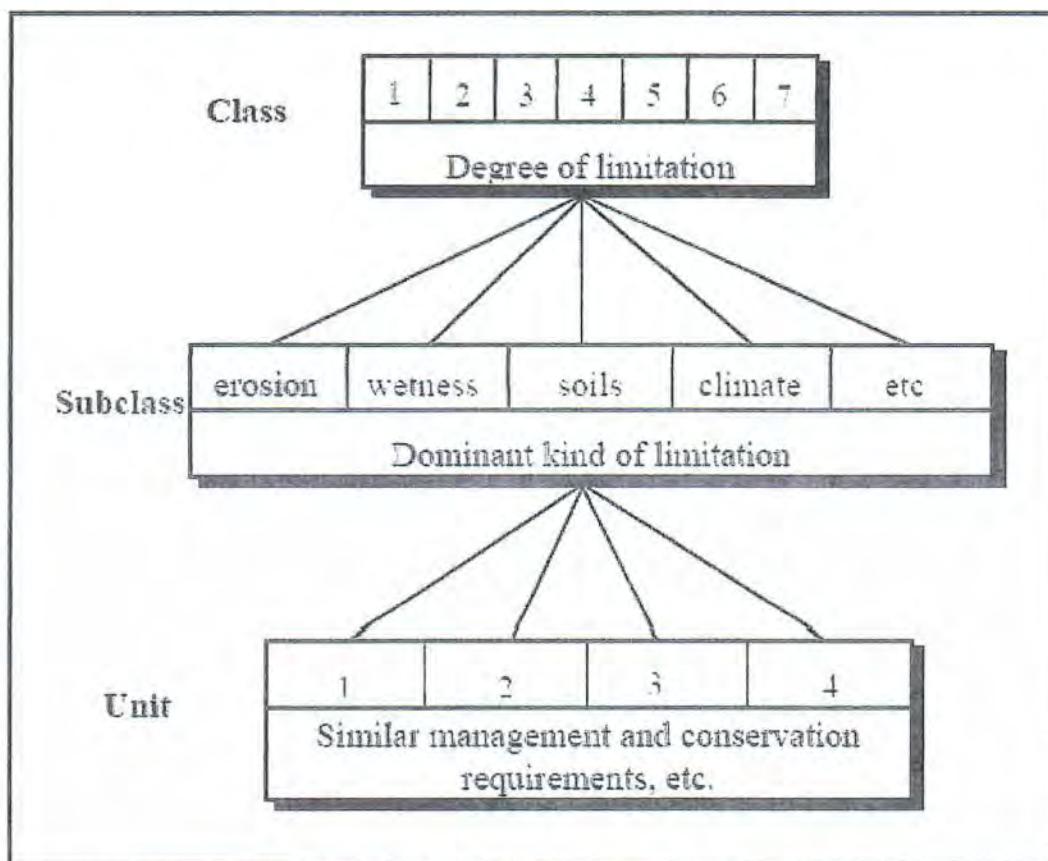


Figure 3. Levels of the land capability classification system.
(Adapted from: National Water and Soil Conservation Organisation, 1979,
Our Land Resources. (NWASCO), Wellington, New Zealand.)

4.2 Site Specific Agricultural Land Capability Assessment

4.2.1 Summary of Findings and Handbook Definitions

The land contained within the study area was the subject of a site specific land capability assessment according to the methodology of the land capability handbook of Gross (1999). Desktop and field survey has found that:

- The published map sheet for the area shows the property at a boundary between Class 3/4, however, due to the limitations of the 1:100 mapping scale and the associated 400m error in boundary delineation it is clear the published classification is not exact.
- Deep uniform Ferrosol soil types weathering from inferred Tertiary Basalt were observed from geotechnical drilling.
- Significant slopes up to 20% were observed over steeper areas of the site.
- Climate data reveals high winter rainfalls which may lead to adverse soil moisture relations increasing the risk of mass movement on slopes.

Referring to Gross (1999) a summary of land characteristics for Class 3 and 4 land is as follows:

CLASS 3 land has most or all of the following features:

- slopes may range up to 18%,
- high to moderately high levels of productivity under improved pasture species and crops,
- the range of crops is generally more restricted than on Class 1 or 2 land,
- soil depth and drainage can be variable,
- conservation measures are necessary under cropping,
- soil physical features and/or slope restrict the amount of cultivation the land will tolerate between pasture phases,
- adverse climatic conditions affect range of cropping options and/or productivity levels.

In addition they may have a range of limitations from among the following:

- erosion hazard,
- soil physical handicaps (e.g. stoniness, internal drainage, soil structure, nutrient deficiencies),
- salinity hazard,
- periodic flooding.

CLASS 4 land has a similar set of limitations to those described above for Class 3 but the limitations are more severe so that only occasional cropping is possible. Slopes may range up to 28%. Major soil conservation practices and careful management may be necessary under cropping.

Furthermore definitions of each class are as follows (Gross, 1999),

CLASS 3 Land suitable for cropping and intensive grazing. Moderate levels of limitation restrict the choice of crops or reduce productivity in relation to Class 1 or Class 2 land. Soil conservation practices and sound management are needed to overcome the moderate limitations to cropping use. Land is moderately productive, requiring a higher level of inputs than Classes 1 and 2. Limitations either restrict the range of crops that can be grown or the risk of damage to the soil resource is such that cropping should be confined to three to five years out of ten in a rotation with pasture or equivalent during normal years.

CLASS 4 Land primarily suitable for grazing but which may be used for occasional cropping. Severe limitations restrict the length of cropping phase and/or severely restrict the range of crops that could be grown. Major conservation treatments and/or careful management is required to minimise degradation. Cropping rotations should be restricted to one to two years out of ten in a rotation with pasture or equivalent, during 'normal' years to avoid damage to the soil resource. In some areas longer cropping phases may be possible but the versatility of the land is very limited. (NB some parts of Tasmania are currently able to crop more frequently on Class 4 land than suggested above. This is due

to the climate being drier than 'normal'. However, there is a high risk of crop or soil damage if 'normal' conditions return.)

4.2.2 Site Specific Land Capability Class

Given the above land area surveyed should be classified as predominantly Class 4 due to the existence of deep soils on slopes up to 20% which may be subject to site seasonal waterlogging.

The identified Land Capability Subclass therefore becomes erosion (e) due to the potential for landslip, slumping, soil creep or other forms of mass movement on slopes.

Site Land Capability Class:

Class 4e

5. Conclusions

This Land Capability Assessment has found that:

- The subject site contains Class 3-4 with respect to the mapping produced by Moreton (1999)
- That a site specific land capability assessment has determined that the site should be classified as **Class 4e** given that:
 - the site contains deep soils on slopes up to 20% which may be subject to site seasonal waterlogging.
 - The site therefore presents an erosion hazard due to the potential for landslip, slumping, soil creep or other forms of mass movement on slopes under intensive cultivation.

Given the potential of mass movement and erosion on steeper slopes intensive cultivation/cropping is not suitable.

Following the definitions of Gross 1999, Class 4 land is primarily suitable for grazing but which may be used for occasional cropping. Severe limitations restrict the length of cropping phase and/or severely restrict the range of crops that could be grown. Major conservation treatments and/or careful management is required to minimise degradation.

Given these conclusions the residential development of the land would not be in conflict with the intent of the planning scheme or the State Agricultural Land Policy regarding the protection of prime agricultural land for sustainable production.

*Land Capability Assessment
Proposed Residential Development Lot 5 Pine Road Penguin*

Lastly, to further facilitate planning decisions this report should be read in conjunction with the Preliminary Geotechnical Investigation for the site produced by Strata Geoscience and Environmental P/L.



*S Nielsen MEngSc CPSS
Geotechnical and Environmental Consultant
p 0413545358
e sven@strataconsulting.com.au
w www.strataconsulting.com.au*

6. References

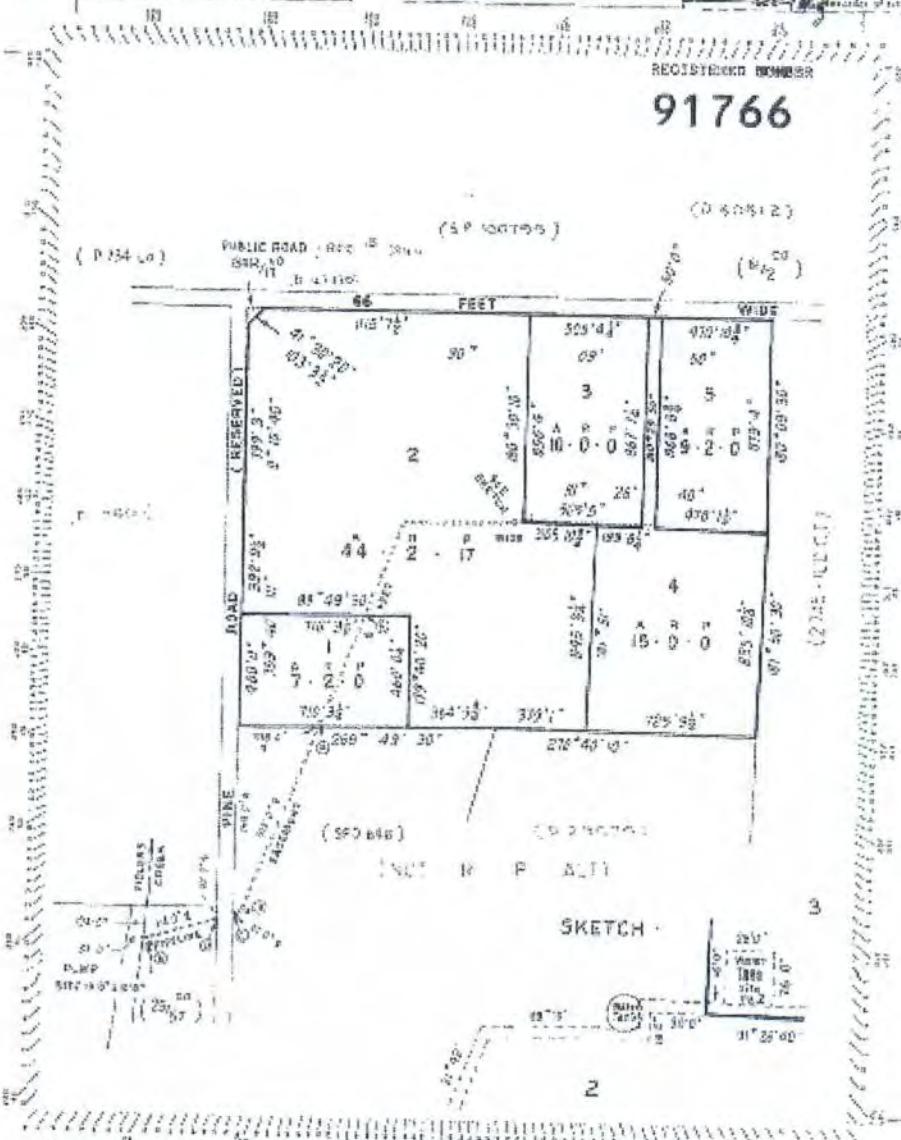
Isbell, R.F. (1996). The Australian Soil Classification. CSIRO Publishing.

Gross CJ (1999) Land Capability Survey Handbook. Department of Primary Industries, Water and Environment, Tasmania

Moreton, R. E. 1999. Land Capability Survey of Tasmania, Inglis report. Department of Primary Industries, Water and Environment, Tasmania

Land Capability Assessment
Proposed Residential Development Lot 5 Pine Road Penguin

Appendix 1 Title Plan

	<p style="text-align: center;">FOLIO PLAN RECORDER OF TITLES Issued Pursuant to the Land Titles Act 1980</p>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; padding: 5px;"> Owner: Donald Hugh Andrew Liddle, Raymond Charles Andrew Liddle Jack Andrew Liddle (deceased) </td> <td style="width: 40%; padding: 5px;"> PLAN OF SURVEY P. N. Anderson Surveyor 22/1/14 </td> <td style="width: 30%; padding: 5px;"> Registered Number: S.P. 4822 Effective from: 20/7/13 P/I </td> </tr> <tr> <td colspan="2" style="padding: 5px;"> Title Reference: C000 28/4822 Part of Br. 3 14 (LST 3206) Charles Liddle </td> <td style="padding: 5px;"> LAND DISTRICT OF DEVON PARISH OF ASHWATER </td> </tr> <tr> <td colspan="3" style="text-align: center; padding: 5px;"> Scale one foot to an inch REGISTERED NUMBER 91766 </td> </tr> </table>			Owner: Donald Hugh Andrew Liddle, Raymond Charles Andrew Liddle Jack Andrew Liddle (deceased)	PLAN OF SURVEY P. N. Anderson Surveyor 22/1/14	Registered Number: S.P. 4822 Effective from: 20/7/13 P/I	Title Reference: C000 28/4822 Part of Br. 3 14 (LST 3206) Charles Liddle		LAND DISTRICT OF DEVON PARISH OF ASHWATER	Scale one foot to an inch REGISTERED NUMBER 91766		
Owner: Donald Hugh Andrew Liddle, Raymond Charles Andrew Liddle Jack Andrew Liddle (deceased)	PLAN OF SURVEY P. N. Anderson Surveyor 22/1/14	Registered Number: S.P. 4822 Effective from: 20/7/13 P/I									
Title Reference: C000 28/4822 Part of Br. 3 14 (LST 3206) Charles Liddle		LAND DISTRICT OF DEVON PARISH OF ASHWATER									
Scale one foot to an inch REGISTERED NUMBER 91766											
											
Search Date: 24 May 2016 Search Time: 09:55 AM Volume Number: 101298 Revision Number: 01 Page 1 of 1 Department of Primary Industries, Parks, Water and Environment www.thelist.tas.gov.au											

Land Capability Assessment
Proposed Residential Development Lot 5 Pine Road Penguin



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
91760	5
EDITION	DATE OF ISSUE
1	28-Jul-1994

SEARCH DATE : 24-May-2016

SEARCH TIME : 09.54 AM

DESCRIPTION OF LAND

Parish of ASHWATER, Land District of DEVON
Lot 5 on Sealed Plan 91766 (formerly being SP4822)
Derivation : Part of Lot 2206, Gtd. to C. Lilllico.
Prior CT 3347/42

SCHEDULE 1

A606120 TRANSFER to JOSEPH EDWARD JONES and ANNIE MAY JONES

SCHEDULE 2

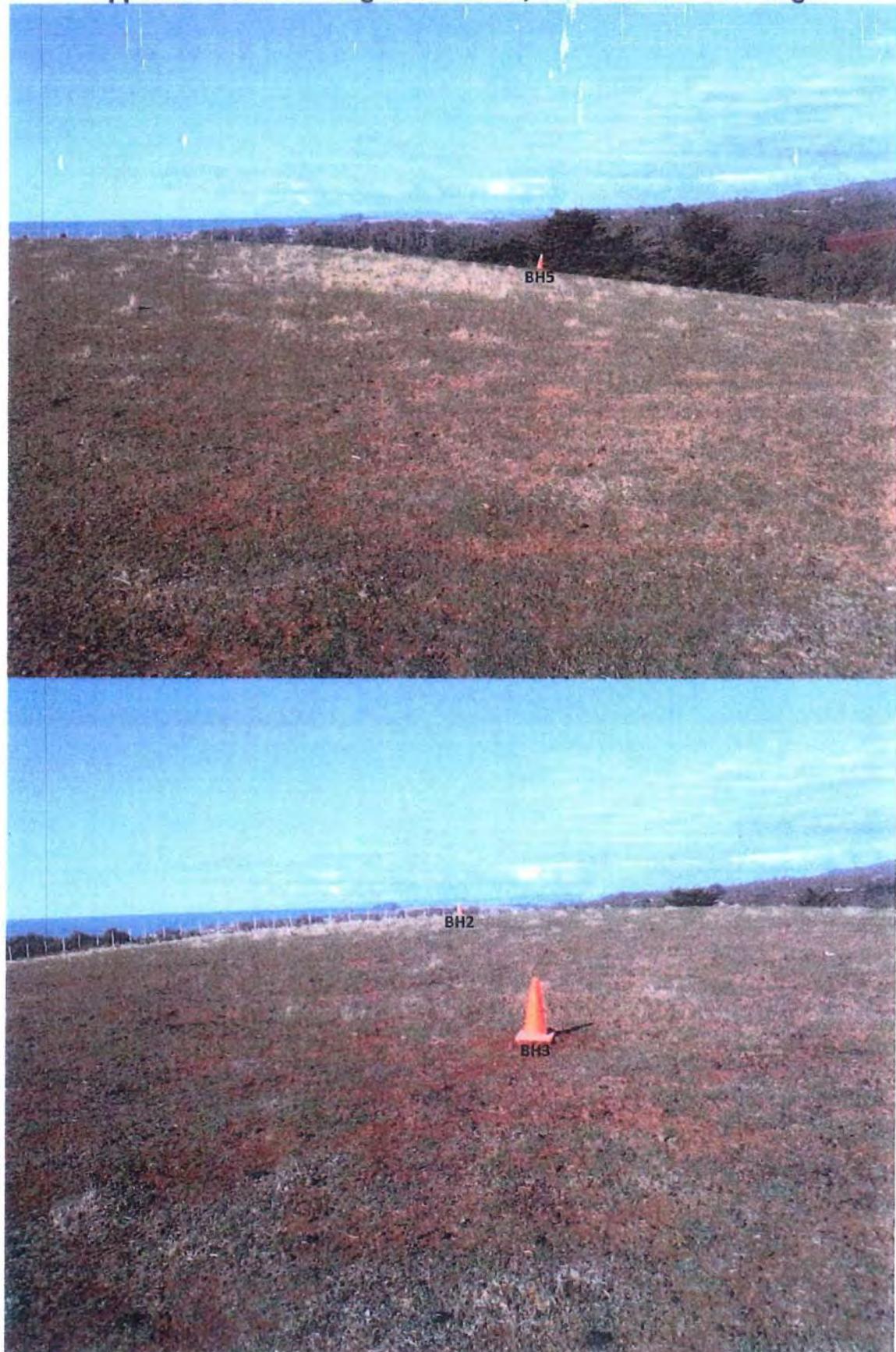
Reservations and conditions in the Crown Grant if any
SP 4822 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

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Appendix 2 Site Investigation Photos, Site Plan and Bore Logs



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BOREHOLE LOG

Borehole No:		BH 1		Client:		Strata Geoscience & Environmental Pty Ltd					
Logged By:		AM		Project:			Site Classification and Waste Water Assessment				
Date:		12-04-2016		Locality:			917655, Pine Road, Penguin				
Notes:		Drill Model:			Dnitech						
See attached		Hole Dimensions:			150mm						
Method	Support	Penetration Rate	Water	Samples	DCP	Depth	Classification Symbol	Material Description	Material Consistency	Notes	
AF	N					-	MH	CLAYEY SILT - High plasticity, orange-brown	D	L	
						0.25					
						0.50					
						0.75		red-brown	M	MD	V=180kPa
						1.00					
						1.25		Increased clay content, trace of fine-grained rounded gravel			V>140kPa
						1.50					
						1.75					
						2.00		Borehole terminated @ 2.0m depth			V>140kPa
						2.25					
						2.50					

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THE JOURNAL

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WITH THE LOG

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WAKEMAN LOG

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BOFE-1.9 LOG

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B199-119 LEGEND

Strata:	A.F.	Constituted Flora & Fauna Protection Area
	H.C.	Human Activity
Soil:	N	None
Water:		Seepage
		Stand by Water Level
Aspect:	D	Oblique Slope
	L63	Undulating Slope Slopes 60% or flatter
	L33	Undulating Slope Slopes 30% or flatter
Wind Exposure:	O	Open
	M	Most
	W	Wind
Conservancy:	C	Locate
	MC	Medium Density
	D	Dense
	S	Scattered
	F.T.	Forest
	SU	Scrub
	V.S.	Very Sparse
Trees:	V	Varied Species Diversity
	DSP	Dominant One Perchometer
	P.P.	Pocket Perchometer

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Appendix 2 – BOM Records (West Pine)

Monte Carlo tree search

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Breiter Winkelmaß 3510-0-001 17985-0-0 - d: 175-85x c: 175 - Länge: 175mm - Breite: 85mm - Höhe: 25mm

Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
1993													
1994	9.5	9.0	8.5		8.0	9.0	8.0	7.0	6.0	6.0	6.0	6.0	
1995	9.1	8.8	8.0	10.0	8.0	7.5	7.0	7.0	7.5	7.5	7.5	7.5	
1996	10.0	9.5	9.0	10.5	9.5	8.5	8.0	7.5	7.0	7.0	7.0	7.0	9.0
1997	9.0	8.5	8.0	9.0	8.5	8.0	7.5	7.0	6.5	6.5	6.5	6.5	8.25
1998	9.5	9.0	8.5	8.0	8.5	8.0	7.5	7.0	6.5	6.5	6.5	6.5	8.0
1999													
2000	8.5	8.0	7.5	7.0	7.5	7.0	6.5	6.0	5.5	5.5	5.5	5.5	7.0
2001													
2002	8.0	7.5	7.0	7.5	7.0	6.5	6.0	5.5	5.0	5.0	5.0	5.0	6.25
2003	7.5	7.0	6.5	7.0	6.5	6.0	5.5	5.0	4.5	4.5	4.5	4.5	6.0
2004	6.5	6.0	5.5	6.0	5.5	5.0	4.5	4.0	3.5	3.5	3.5	3.5	5.5
2005													
2006	5.5	5.0	4.5	5.0	4.5	4.0	3.5	3.0	2.5	2.5	2.5	2.5	4.0
2007	6.0	5.5	5.0	5.5	5.0	4.5	4.0	3.5	3.0	3.0	3.0	3.0	4.5
2008	5.5	5.0	4.5	5.0	4.5	4.0	3.5	3.0	2.5	2.5	2.5	2.5	3.5
2009	5.0	4.5	5.0	5.5	5.0	4.5	4.0	3.5	3.0	3.0	3.0	3.0	4.0
2010	4.5	4.0	3.5	4.0	3.5	3.0	2.5	2.0	1.5	1.5	1.5	1.5	2.5
2011	4.0	3.5	3.0	4.0	3.5	3.0	2.5	2.0	1.5	1.5	1.5	1.5	2.5
2012	3.5	3.0	2.5	3.0	2.5	2.0	1.5	1.0	0.5	0.5	0.5	0.5	1.5
2013	3.0	2.5	2.0	2.5	2.0	1.5	1.0	0.5	0.0	0.0	0.0	0.0	0.5
2014	2.5	2.0	1.5	2.0	1.5	1.0	0.5	0.0	0.0	0.0	0.0	0.0	0.5

Quality control: 12.3 Dose de soro fisiológico. N.º de controles de instrumentos



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James G. Stiglitz is the author of *The Price of Inequality: How Today's Divided Society Harm's Our Economy, Our Country, and Our Chance for Recovery*.

N. K. S. · 212

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Land Capability Report Version:

WEST PINE

S - Site No: 1300 3-15 17ML C7 - E:035.881 N:15.100 Lat: -31.783 Long: 145.028 Elevation: 12.0

Statistical summary for the station code: C7 C457 C 1 years of 2013.

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Avg.Lt
Mean	50.8	37.4	46.7	72.7	91.5	101.9	116.2	127.3	119.6	79.0	71.5	61.3	100.8
Lower	11.1	6.1	5.1	24.6	19.0	31.3	39.0	53.4	39.2	14.6	16.5	13.0	59.1
5th percentile	13.3	8.1	6.0	24.2	21.9	35.7	53.3	46.2	54.2	13.2	19.2	13.9	73.1
10th percentile	16.7	9.0	6.1	27.3	28.1	41.1	63.0	45.7	59.5	16.5	24.4	21.1	117.1
Median	55.5	41.1	44.8	69.2	75.3	96.6	114.4	119.1	114.7	72.8	65.4	46.2	92.3
90th percentile	114.1	56.8	91.4	115.8	145.4	175.1	161.6	215.4	162.8	124.5	123.5	141.6	124.1
95th percentile	175.1	67.4	103.5	126.5	170.9	179.5	177.0	231.4	179.0	151.6	143.0	164.4	1147.0
Hg. Lt	175.1	69.5	124.6	136.6	249.1	191.1	106.5	316.1	190.0	245.0	136.0	217.5	1525.0

1) Calculation of statistics

But very significant, other than the highest and lowest values, are only calculated.
There are at least 20 years of data available.

2) Gaps or missing data

Gaps may be caused by a damaged instrument, a temporary change to the site location, or due to the absence or illness of an observer.

3) Further Information

<http://www.bom.gov.au/climate/2013/20130521-21-day.htm>

Product code: DCA1C0001 | Last updated: 24/05/14 09:41:42 AM EST

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Prepared by the Climate Data Centre, Bureau of Meteorology, on 24/05/2014 09:41:42 AM EST.

Contact us at climate@bom.gov.au for further information.

We have taken all due care to provide an accurate and reliable forecast information.

Read our disclaimer at <http://www.bom.gov.au/climate/disclaimer.htm>

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Appendix 6 Terms and Conditions

Scope of Work

These Terms and Conditions apply to any services provided to you ("the Client") by Strata Geoscience and Environmental Pty Ltd ("Strata"). By continuing to instruct Strata to act after receiving the Terms and Conditions or by using this report and its findings for design and/or permit application processes and not objecting to any of the Terms and Conditions the Client agrees to be bound by these Terms and Conditions, and any other terms and conditions supplied by Strata from time to time at Strata's sole and absolute discretion. The scope of the services provided to the Client by Strata is limited to the services and specified purpose agreed between Strata and the Client and set out in the correspondence to which this document is enclosed or annexed ("the Services"). Strata does not purport to advise beyond the Services.

Third Parties

The Services are supplied to the Client for the sole benefit of the Client and must not be relied upon by any person or entity other than the Client. Strata is not responsible or liable to any third party. All parties other than the Client are advised to seek their own advice before proceeding with any course of action.

Provision of Information

The Client is responsible for the provision of all legal, survey and other particulars concerning the site on which Strata is providing the Services, including particulars of existing structures and services and features for the site and for adjoining sites and structures. The Client is also responsible for the provision of specialised services not provided by Strata. If Strata obtains these particulars or specialised services on the instruction of the Client, Strata does so as agent of the Client and at the Client's expense. Strata is not obliged to confirm the accuracy and completeness of information supplied by the Client or any third party service provider. The Client is responsible for the accuracy and completeness of all particulars or services provided by the Client or obtained on the Client's behalf. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever suffered by the Client or any other person or entity resulting from the failure of the Client or third party to provide accurate and complete information. In the event additional information becomes available to the Client, the Client must inform Strata in writing of that information as soon as possible. Further advice will be provided at the Client's cost. Any report is prepared on the assumption that the instructions and information supplied to Strata has been provided in good faith and is all of the information relevant to the provision of the Services by Strata. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever if Strata has been supplied with insufficient, incorrect, incomplete, false or misleading information.

Integrity

Any report provided by Strata presents the findings of the site assessment. While all reasonable care is taken when conducting site investigations and reporting to the Client, Strata does not warrant that the information contained in any report is free from errors or omissions. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from errors in a report. Any report should be read in its entirety, inclusive of any summary and annexures. Strata does not accept any responsibility where part of any report is relied upon without reference to the full report.

Project Specific Criteria

Any report provided by Strata will be prepared on the basis of unique project development plans which apply only to the site that is being investigated. Reports provided by Strata do not apply to any project other than that originally specified by the Client to Strata. The Report must not be used or relied upon if any changes to the project are made. The Client should engage Strata to further advise on the effect of any change to the project. Further advice will be provided at the Client's cost. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever where any change to the project is made without obtaining a further written report from Strata. Changes to the project may include, but are not limited to, changes to the investigated site or neighbouring sites, for instance, variation of the location of proposed building envelopes/footprints, changes to building design which may impact upon building settlement or slope stability, or changes to earthworks, including removal (site cutting) or deposition of sediments or rock from the site.

Classification to AS2870-2011

It must be emphasised that the site classification to AS2870-2011 and recommendations referred to in this report are based solely on the observed soil profile at the time of the investigation for this report and account has been taken of Clause 2.1.1 of AS2870 - 2011. Other abnormal moisture conditions as defined in AS2870 - 2011 Clause 1.3.3 (a) (b) (c) and (d) may need to be considered in the design of the structure. Without designing for the possibility of all abnormal moisture conditions as defined in Clause 1.3.3, distresses will occur and may result in non "acceptable probabilities of serviceability and safety of the building during its design life", as defined in AS2870 - 2011, Clause 1.3.1. Furthermore the classification is preliminary in nature and needs verification at the founding surface inspection phase. The classification may be changed at this time based upon the nature of the founding surface over the entire footprint of the project area. Any costs associated with a change in the site classification are to be incurred by the client. Furthermore any costs associated with delayed works associated with a founding surface inspection or a change in classification are to be born by the client. Where founding surface inspections are not commissioned the classifications contained within this report are void.

Subsurface Variations with Time

Any report provided by Strata is based upon subsurface conditions encountered at the time of the investigation. Conditions can and do change significantly and unexpectedly over a short period of time. For example groundwater levels may fluctuate over time, affecting latent soil bearing capacity and ex-situ/insitu fill sediments may be placed/removed from the site. Changes to the subsurface conditions that were encountered at the time of the investigation void all recommendations made by Strata in any report. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from any change to the subsurface conditions that were encountered at the time of the investigation. In the event of a delay in the commencement of a project or if additional information becomes available to the Client about a change in conditions becomes available to the Client, the Client should engage Strata to make a further investigation to ensure that the conditions initially encountered still exist. Further advice will be provided at the Client's cost. Without limiting the generality of the above statement, Strata does not accept liability where any report is relied upon after three months from the date of the report, (unless otherwise provided in the report or required by the Australian Standard which the report purports to comply

Land Capability Assessment
Proposed Residential Development Lot 5 Pine Road Penguin

(with), or the date when the Client becomes aware of any change in condition. Any report should be reviewed regularly to ensure that it continues to be accurate and further advice requested from Strata where applicable.

Interpretation

Site investigation identifies subsurface conditions only at the discrete points of geotechnical drilling, and at the time of drilling. All data received from the geotechnical drilling is interpreted to report to the Client about overall site conditions as well as their anticipated impact upon the specific project. Actual site conditions may vary from those inferred to exist as it is virtually impossible to provide a definitive subsurface profile which accounts for all the possible variability inherent in earth materials. This is particularly pertinent to some weathered sedimentary geologies or colluvial/alluvial clast deposits which may show significant variability in depth to refusal over a development area. Rock incongruities such as joints, dips or faults may also result in subsurface variability. Soil depths and composition can vary due to natural and anthropogenic processes. Variability may lead to differences between the design depth of bored/driven piers compared with the actual depth of individual piers constructed onsite. It may also affect the founding depth of conventional strip, pier and beam or slab footings, which may result in increased costs associated with excavation (particularly of rock) or materials costs of foundations. Founding surface inspections should be commissioned by the Client prior to foundation construction to verify the results of initial site characterisation and failure to insure this will void the classifications and recommendations contained within this report. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from any variation from the site conditions inferred to exist.

Strata is not responsible for the interpretation of site data or report findings by other parties, including parties involved in the design and construction process. The Client must seek advice from Strata about the interpretation of the site data or report.

Report Recommendations

Any report recommendations provided by Strata are only preliminary. A report is based upon the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until earthworks and/or foundation construction is almost complete. Where variations in conditions are encountered, Strata should be engaged to provide further advice. Further advice will be provided at the Client's cost. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever if the results of selective point sampling are not indicative of actual conditions throughout an area or if the Client becomes aware of variations in conditions and does not engage Strata for further advice.

Geo-environmental Considerations

Where onsite wastewater site investigation and land application system designs are provided by Strata, reasonable effort will be made to minimise environmental and public health risks associated with the disposal of effluent within site boundaries with respect to relevant Australian guidelines and industry best practise at the time of investigation. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from:

- (i) changes to either the project or site conditions that affect the onsite wastewater land application system's ability to safely dispose of modelled wastewater flows; or
- (ii) seepage, pollution or contamination or the cost of removing, nullifying or clearing up seepage, polluting or contaminating substances; or
- (iii) poor system performance where septic tanks have not been de-sludged at maximum intervals of 3 years or AWTS systems have not been serviced in compliance with the manufacturers recommendations; or
- (iv) failure of the client to commission both interim and final inspections by the designer throughout the system construction; or
- (v) the selection of inappropriate plants for irrigation areas; or
- (vi) damage to any infrastructure including but not limited to foundations, walls, driveways and pavements; or
- (vii) land instability, soil erosion or dispersion; or
- (viii) design changes requested by the Permit Authority.

Furthermore Strata does not guarantee septic trench and bed design life beyond 5 years from installation, given the influence various household chemicals have on soil structural decline and premature trench failure in some soil types. Sand filters are not warranted for more than 2 years given the large impact pre-filtration and septic tank loading and de-sludging has on sand filter performance.

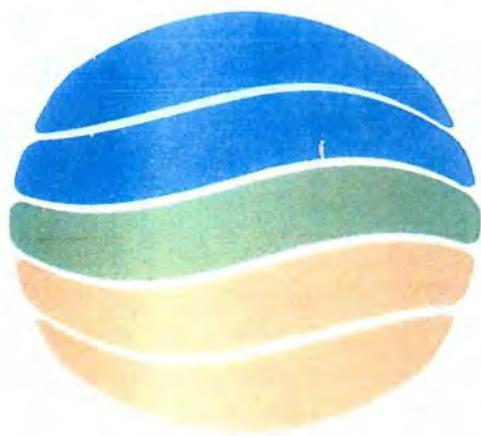
Strata does not consider site contamination, unless the Client specifically instructs Strata to consider the site contamination in writing. If a request is made by the Client to consider site contamination, Strata will provide additional terms and conditions that will apply to the engagement.

Copyright and Use of Documents

Copyright in all drawings, reports, specifications, calculations and other documents provided by Strata or its employees in connection with the Services remain vested in Strata. The Client has a licence to use the documents for the purpose of completing the project. However, the Client must not otherwise use the documents, make copies of the documents or amend the documents unless express approval in writing is given in advance by Strata. The Client must not publish or allow to be published, in whole or in part, any document provided by Strata or the name or professional affiliations of Strata, without first obtaining the written consent of Strata as to the form and context in which it is to appear.

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- (i) the Client must not use, infringe or otherwise appropriate the same other than for the purpose of the project without first obtaining the written consent of Strata; and
- (ii) the Client is entitled to a royalty free licence to use the same during the life of the works comprising the project.



strata
geoscience and environmental

**Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater
System Design for**

**Lot 5 Pine Road
Penguin**

May 2015

**CENTRAL COAST COUNCIL
DEVELOPMENT & REGULATORY SERVICES**

Received: 30 MAY 2016

Application No: DA215218

Doc ID: 238453

Important Notes:

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Strata Geoscience and Environmental reserves the right to submit this report the relevant regulatory agencies where it has a responsibility to do so.

1. Introduction

Strata Geoscience and Environmental Pty Ltd was commissioned to perform a limited scope geotechnical and environmental investigation for:

Client and Site Details	
Client Name	Phil Stuart
Site Address	Lot 5 Pine Road Penguin
Proposed Development	New 5 bed equivalent dwellings

The investigation was reference to Australian Standards AS2870-2011 – Residential Slabs and Footings, AS 4055-2006 – Wind Load for Houses, AS1547-2012 Onsite Domestic Wastewater Management and also follows the principles outlined in AS1726-1993 Geotechnical Site Investigations and AS1289 Methods for Testing Soils for Engineering Purposes.

2. Summary of Investigation

The investigation's key findings were:

SSE and Design Outcomes	
General Comments	Site suitable for development with treatments to limit risk
Key Geotechnical Limitations	Slope, upper profile bearing capacity
Site Classification AS2870-2011	Class P
Key Site and Soil Limitations to Wastewater System Design	Soil permeability
Summary of Proposed System Specification	Primary Treatment: 4000L DP Septic Tank Secondary Treatment: In ground septic trenches

3. Project Specific Criteria

Site plans (if available) are presented in Appendix 1.

4. Investigation

Please refer to Appendix 2 for the results of field investigation including bore logs, bearing capacity and other relevant data.

5. Interpretation

The site is underlain by a deep clay soil developing from Tertiary Basalt. The clay fraction is likely to show moderate ground surface movement and the soil is likely to be highly variable in depth with large boulders and some surface bedrock outcrops to be expected throughout soil profiles over the site.

There are several possible general geotechnical risk factors associated with site development, each is analysed below with respect to the results of this investigation:

Slope Stability Risks – Desktop survey revealed that the site has a moderate risk of shallow slide/debris flow on slopes. These risks will increase with site development. Site cutting/disturbance MUST be minimised and deepened foundations to 1.2m should be employed.

Bearing Capacity – Bearing capacity results loadings up to 100Kpa under foundations should be acceptable at 1.2m. Adequate drainage works MUST be installed over the site.

Erosion potential – No surface or sub-surface erosion was observed over the site. Furthermore soils are not suspected to be dispersive and as a result elements of Water Sensitive Urban Design that allow for the admission of stormwater to the soil together with subsurface wastewater disposal are acceptable onsite provide adequate soil depth is available. Development/cultivation of steeper slopes may lead to slope instability and erosions and is not therefore recommended.

Surface and Subsurface Drainage- No surface or subsurface water was encountered throughout this investigation however the areas of the site adjacent to hardstands may experience runoff through heavy rainfall events or as snow melt. As a result some upslope interceptor drainage is necessary around footings areas.

Fill Deposits –No fill was encountered throughout geotechnical reconnaissance. Where fill is encountered it **MUST NOT** be used as a founding substrate and the underlying competent bedrock should be sort out as a founding medium.

With respect to the sustainability of long term disposal of wastewater within the site boundaries the following comments are made:

Soils - These soils will have a low to moderate permeability for the acceptance of wastewater flows and will show a moderate to high cation exchange complex for the absorption of nutrients from effluent.

Environmental Sensitivities – The site is slightly sloping with nearest surface water body is located approximately 250+ m down slope of the proposed residence. Groundwater was not intersected throughout geotechnical investigation and is anticipated to be several meters beneath the existing ground surface contained within fractured rock. However it may flow over clayey subsoils as a perched watertable throughout wet periods. **Upslope interceptor drainage is not necessary given the localised flat area proposed for the septic beds.**

Given the above, the general environmental risk associated with the site is regarded as low provided adequate setback distances and other controls are adopted.

Please refer to Trench summaries and specific design notes and diagrams contained within this report for further information regarding the issues raised above.

5. Site Classification

In consideration of the above desktop, field and laboratory results and according to the prescriptions of AS 2870-1996 - Residential Slabs and Footings, the natural soils on site are classified as:

CLASS P*

* As alert to the potential to an erate slope instability and erosion on steeper slopes with increasing site development/disturbance. It is imperative that the limitations of this investigation as stipulated in Appendix 3 and Section 7 are noted, particularly with respect to any aspect of site development which may significantly affect conditions encountered at the time of this investigation including, but not limited to, cut and fill activities.

According to AS 4055-2006 – Wind Load for Houses the site is classified as:

N3

7. Onsite Wastewater Flow and Land Application Area Modelling

Results of the SSE (Appendix 4) found the following typical soil profile on site:

	Topsoils (A1-A3)	Subsoils (B1-B3)
Description	Silty SAND (SM)	Clayey SILT (ML)Silty CLAY (CH)
Soil Category (AS1547-2011)	2	4
Indicative Permeability (m/d)	1.5-2.0	0.5
Recommended DIR (mm/d)/DLR (L/D)	5/30	3.5/12

pH	6.1	5.8
EC	2.2	4.2
Emmerson Class	8	5

6.2 Risk Management of Site and Soil Constraints

Key site and soil constraints as well as their risk management:

Site/Soil Constraint	Risk Mitigation Measure
Rocky Soil Profiles	<ul style="list-style-type: none">Identify area of deeper soils pre construction via geotechnical test pitting
Clay subsoils have low hydraulic conductivities	<ul style="list-style-type: none">Appropriate DLRSite drainage

6.3 Proposed Wastewater System Concept Design

It is therefore recommended that the following system be adopted:

Treatment Train Component	Proposed Concept Design
Primary Treatment	<ul style="list-style-type: none">Dual Purpose Septic Tank
Secondary Treatment	<ul style="list-style-type: none">Septic Bed
LAA Design	<ul style="list-style-type: none">Septic Bed

7.4 Effluent Flow and Land Application Area Modelling

The development proposal is for the construction of a five bedroom equivalent house on tank water with standard water savings fixtures. Therefore under AS1547-2012 the calculated effluent flows and required disposal area is as follows:

Wastewater System Modelling	
Number of Proposed Bedrooms	5
Number of Equivalent Persons	8
Water Source (Tank/Mains)	Tank
Daily Loading (L/per person/D)	120
Total Daily Loading (L/D)	960
Adopted Amended Soil Category (AS1547-2012)*	4
Indicative Permeability (m/d)	0.5
Adopted Amended DLR/DIR (mm/d OR L/m ² /d)*	10
Required LAA (m ²)	96

The absorption area could be catered for by three 20 x 1.6 m² gravity dosed beds installed as shown on the site plan with adequate room for a 100% reserve if required (see Appendix 1). Refer to Appendix 2/3 for more detailed calculations as well as specific design and construction notes.

7.5 System Specification

The system has the following specification (see Appendix 1-3 for further details):

- Min DN100 gravity fed sewer pipe
- Min 4000L Dual Purpose Septic Tank (with outlet filter)
- Min 96m² gravity dosed bed
- Provision for 100% reserve area (must remain free from development)

7.6 Performance Requirements

Nutrient, bacterial and viral reduction performance should be inline with the prescriptions of AS1547-2012 for primary treated effluent. It is noteworthy that the distances from ephemeral drainage lines and watertable will serve to further reduce the risk of residual nutrients, bacterial or viruses entering any waterway.

7.7 Management Requirements

It is imperative that regular servicing of the treatment unit compliant with the prescriptions of the manufacturer and Council permit occur.

To ensure that the treatment system functions adequately and provides effective treatment and disposal of effluent over its design life, asset owners have the following responsibilities:

- Suitably qualified maintenance contractors must be engaged to service the system, as required by Council under the approval to operate.
- Keep as much fat and oil out of the system as possible; and
- Conserve water.

To ensure that the land application area (LAA) functions adequately and provides effective treatment and disposal of effluent over its design life, asset owners have the following responsibilities:

- LAA should be checked regularly to ensure that effluent is draining freely, including flushing of lines and cleaning of inline filters (if fitted).

- All vehicles, livestock and large trees should be excluded from around the irrigation area;
- Low sodium/phosphorous based detergents should be used to increase the service life of irrigation area;
- Regularly harvest (mow) vegetation within the LAA and remove this to maximise uptake of water and nutrients;
- Not to erect any structures over the LAA;
- Ensure that the LAA is kept level by filling any depressions with good quality topsoil (not clay).

Excessive surface dampness, smell or growth of vegetation around the LAA may indicate sub-optimal performance and professional advice should be sought.

8. Construction Recommendations

8.1 Pre Construction

Prior to construction it is highly recommended that:

- Soils will show expected ground surface movement commensurate with Class M under AS2870-2011. Footings MUST be deepened to 1.2 m and loaded up to a maximum of 100kPa.
- The results of this investigation MUST be confirmed when detailed development plans are finalised. Failure to ensure this will void the recommendations/classifications contained within this report.
- This investigation did not determine rock strength parameters of the refusing substrate (if found) and therefore no comment is made about the excavatability of rock at depth. Hard rock may be encountered which may be difficult to excavate and would therefore increase the costs associated with bulk earthworks.
- Rocks may be liberated from bulk earthworks or vertical boring. Where large rocks are liberated this may impact upon the ability to cost effectively build on the site and further advice should be sought from Strata. Such profiles may also significantly increase earthworks costs and or materials cost in foundations.
- Abnormal moisture conditions as defined in AS2870-2011 Clause 1.3.3 (a-d) may need to be considered in the design of competent footings. Without such consideration distresses of foundations may occur and result in non acceptable performance as defined in AS2870-2011 Clause 1.3.1.
- The recommendations of CSIRO Building Technology File 18 be adopted.
- Design depth to refusal for bored pier/driven pile designs may show variability over the site and may need to be considered in any contractor quotation.

- An apron of paving around the building perimeter sloping away from foundations with a minimum fall of 1:60 be considered for Class M, H-1, H-2, E and P sites.

8.2 During Construction

Throughout construction it is highly recommended that:

- Geotechnical test pitting is recommended prior to construction to determine site excavatability.
- Inspection of the natural soil surface after footings excavation but prior to construction is recommended by Strata Geoscience and Environmental in accordance with Appendix D of AS 2870-2011. Failure to comply with this recommendations will void the classifications and recommendations contained in this report. The site classification may be changed at this time which is dependant in part on foundation design.
- Fill MUST NOT be used as a founding substrate. Such fill may be created after site investigation as part of site levelling activities.
- If site cutting occurs below 500mm occurs then reclassification be commissioned.
- All earthworks onsite must follow the recommendations of AS 3798-2007.
- Consideration should be given to drainage and sediment control on site during and after construction. Specifically upslope interceptor drainage must be placed around footings areas and downpipes must be directed away from discharging into founding areas.
- All colluvial rocks and boulders in founding zones should be removed
- All large trees near the building envelope must be removed. If construction takes place in summer or autumn then moisture

conditions should be stabilised by soaking of dry areas around the former tree.

- Shrinkage cracking is almost inevitable in concrete slabs and is associated with the drying process. Therefore care must be taken where brittle or sensitive floor coverings are proposed, or where a polished slab is planned. The risk of damage can be reduced by not installing floor coverings until after shrinkage has occurred, which can take in excess of 3 months, or by using flexible mortars and appropriate sheeting material.
- Vertical barriers to prevent root incursions around founding zones should be considered in areas where gardens are to be established near foundations.

8.3 Post Construction

After construction there are certain practices that the owner/occupier should be aware of to prevent excessive foundation movements. The owner will be responsible for any damage or loss associated with disregard for the recommendations contained in CSIRO Building Technology Files 18 "Foundation Maintenance and Footings Performances: A Homeowners Guide available through CSIRO.

It is furthermore recommended that:

- Gardens or large shrubs or trees must not be established immediately adjacent to foundations
- Garden beds or lawn near foundations must not be excessively watered.
- Leaking underground services and downpipes or gutters must be fixed immediately.



S Nielsen MEngSc CPSS-2

Director

Strata Geoscience and Environmental Pty Ltd

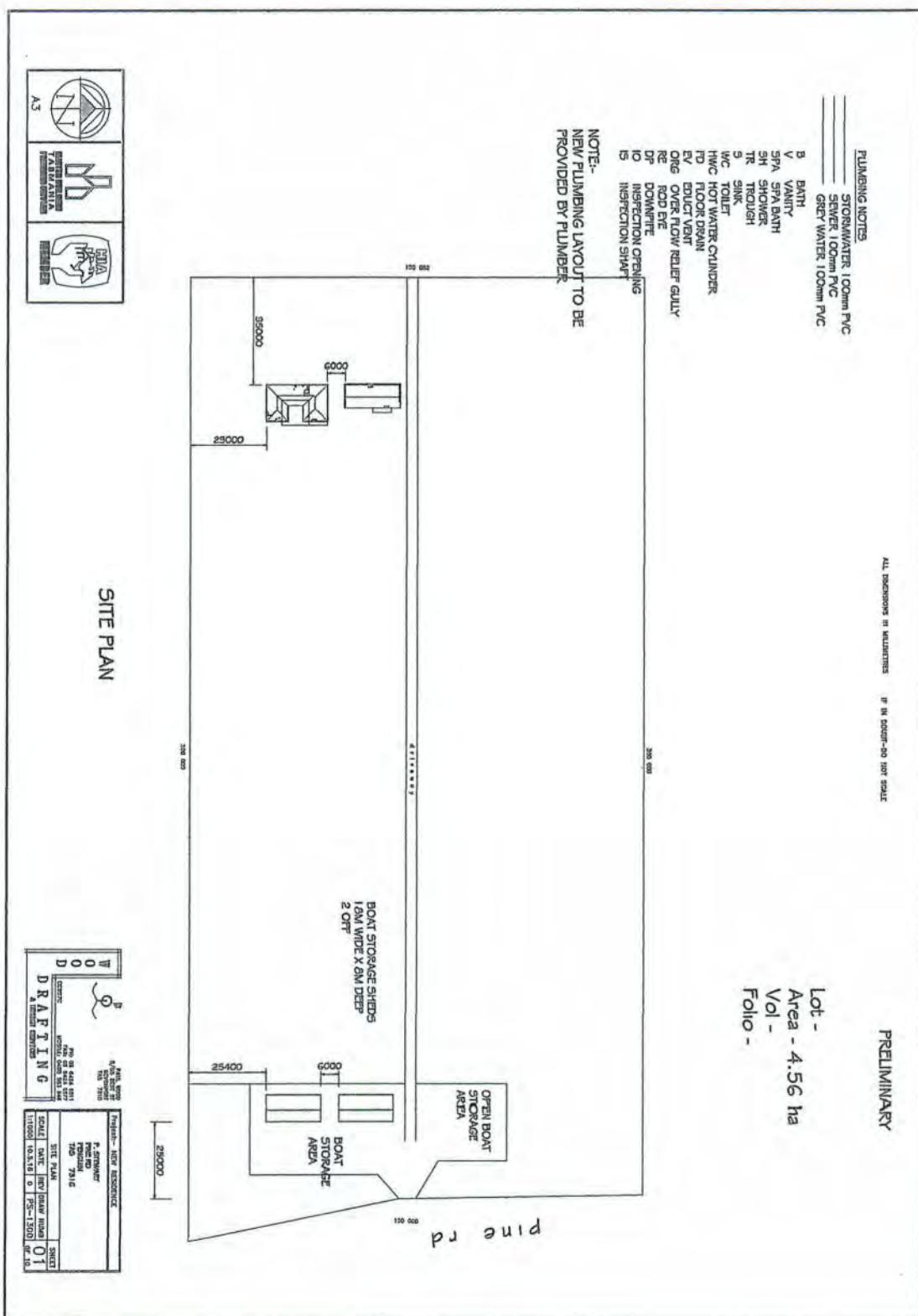
E:sven@strataconsulting.com.au

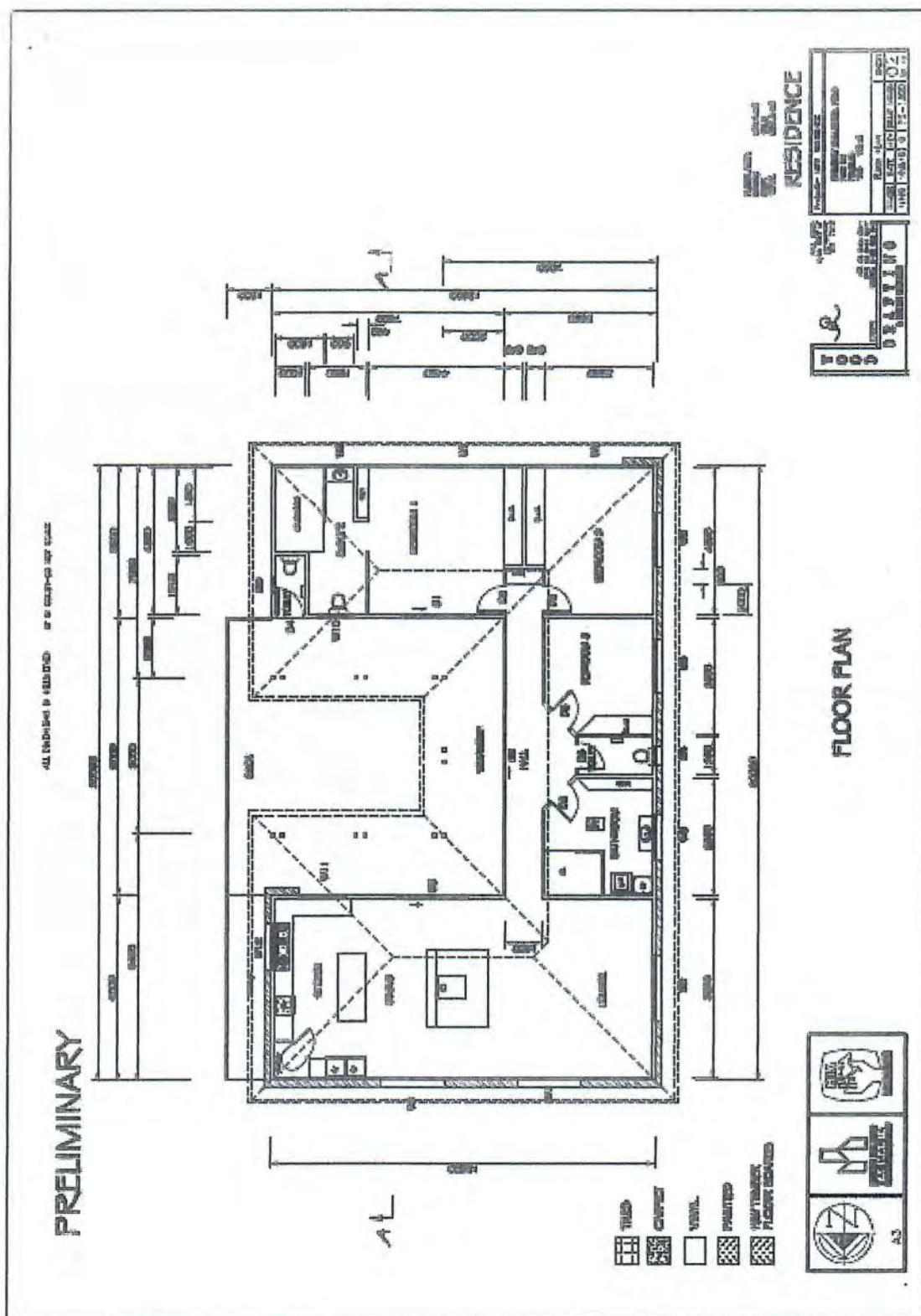
9. References

- AS1726-1993- Geotechnical Site Investigations
- AS2870-2011– Residential slabs and footings – construction
- AS1289–Method of Testing Soils for Engineering Purposes
- AS3798-2007- Guidelines for Earthworks on commercial and residential subdivision”
- “Foundation Maintenance and Footing Performance: A Homeowners Guide” CSIRO Information sheet BTF 18
- Marzengarb, C (2004) Tasmanian Landslide Hazard Series Maps. Mineral Resources Tasmania. Department of Infrastructure, Energy and Resources Hobart.
- AS 1547-2012 Onsite Wastewater Disposal
- Bureau of Meteorology Website- Monthly Climate Statistics

Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin

Appendix 1 Development Plans



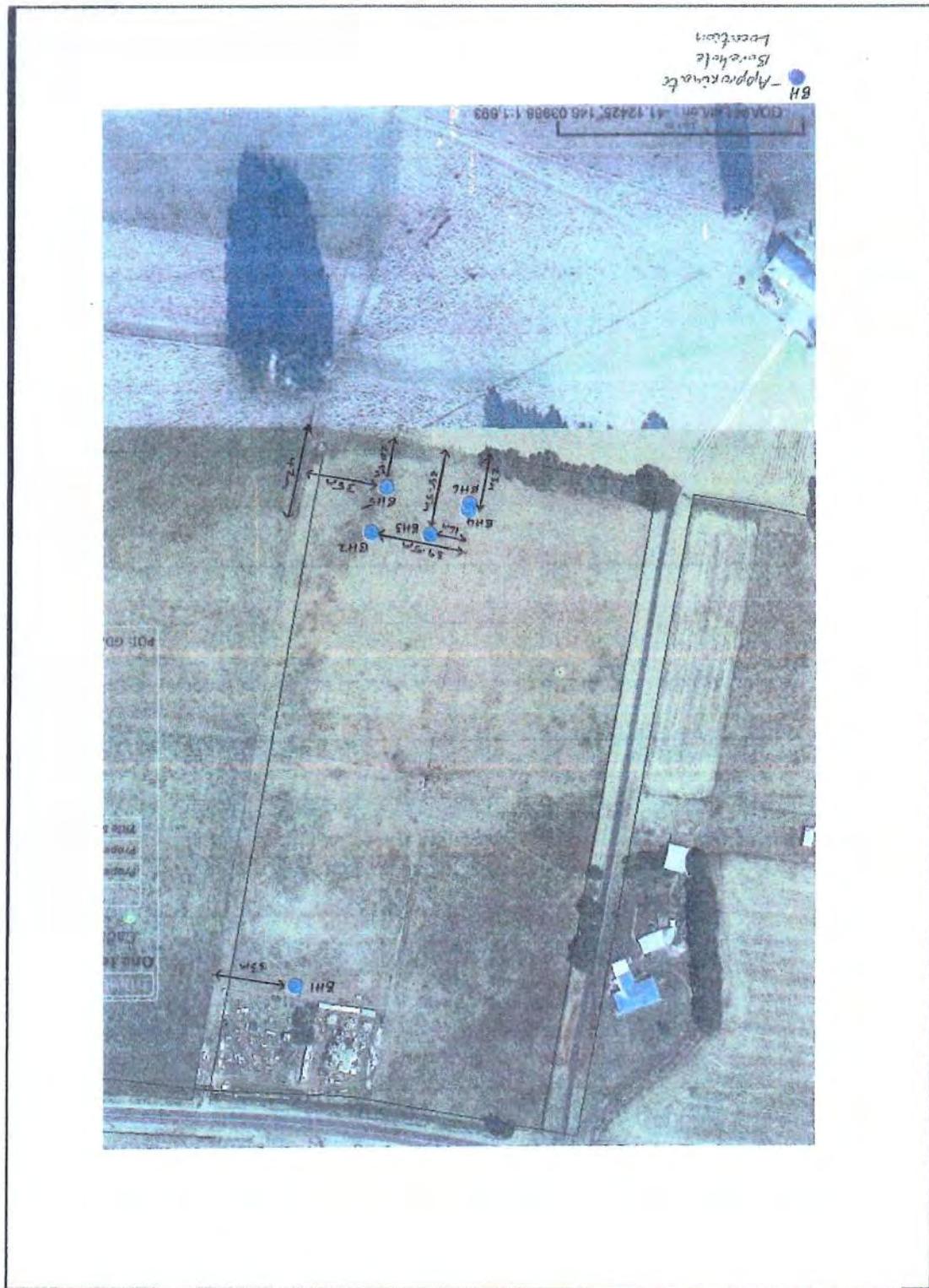


Appendix 2 Field Investigation Notes

Notes on Drilling at 17/63, Pine Road, Penguin, 12 April 2016

- Poten is a property owner Mr Stewart was involved in the indication of where the proposed new buildings and waste water disposal areas would be. He has also marked his proposed locations for the corner site.
- Note that the Soil & Sewerage Test Pit Plan provided is not a scale.
- The larger part of the site was located on a gentle northeast facing hillside.
- The footprint for the proposed new house was located near the crest of a ridge. Borehole BH2 was drilled in the vicinity of the proposed new house. The ground surface in the vicinity of BH2 had a fall of approximately 3 degrees towards the north-northeast.
- Borehole BH3 was drilled in the vicinity of the proposed new cottage. The ground surface in the vicinity of BH3 had a fall of approximately 4 degrees towards the west-northwest.
- The footprint of the proposed boat storage sheds was not easily accessible due to a number of small animal enclosures in the vicinity. Borehole BH1 was drilled to the south of the proposed boat storage shed area. The ground surface in its vicinity of BH1 had a fall of approximately 7 degrees towards the north-northeast.
- Boreholes BH4 and BH6 were drilled in the vicinity of the waste water disposal area preferred by Mr Stewart. The ground surface in the vicinity of Borehole BH4 had a gentle fall towards the northwest. Further to the south, the ground surface had a fall towards the south west.
- Borehole BH5 was drilled in an alternative waste water disposal area. The ground surface in this area had a fall of approximately 10 degrees towards the south. A few fill boulders were located on the southeastern corner of the site.
- Boreholes BH1, BH2, BH3, BH4 and BH5 were drilled by a 4WD-mounted auger drilling rig. Borehole BH6 was drilled by hand auger for the purpose of conducting a permeability test.
- An *in situ* permeability test was conducted in Borehole BH6 using a modified Civilia's Constant Head Permeameter. A permeability (K) of approximately 0.81 m/day was calculated from measurements taken during a brief test.
- Samples of the materials encountered were collected for subsequent laboratory analysis if required.
- Shear Vane readings were taken down boreholes.
- The locations of the boreholes are marked by orange witches hats in the photographs.
- The approximate locations of the boreholes were recorded using a GPS receiver in a mobile telephone at the following coordinates:
 - BH1: -41.123627°, 146.038764°
 - BH2: -41.125259°, 146.038441°
 - BH3: -41.125227°, 146.037952°
 - BH4: -41.125422°, 146.038013°
 - BH5: -41.125586°, 146.03837°
- The approximate locations of the boreholes are shown on the Site Plan.
- Soil composition was classified using field techniques. Composition should be considered preliminary and may need to be verified by laboratory analysis.

Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin



*Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin*



**Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin**

BODEN-LOG

Project Name		Site Description		Pore Water	
Logged By:		Site Code:		Depth (m)	
Date:		Location:		Temperature (°C)	
Site No.		Drill Hole		Pore Water	
Sample	Date	Sample	Description	Temp (°C)	Note
1	12/04/2006	11214	CLAYEY SIL - high plasticity, orange-brown	10	V = 0.03g
2		11215	red-brown	10	V = 4.03g
3		11216	increased clay content, trace of re- grained sand in interstices	10	V = 4.13g
4		11217	Benthic forams 12'63' C 2.0m depth	10	V = 0.13g
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WITNESS LOG

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Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin

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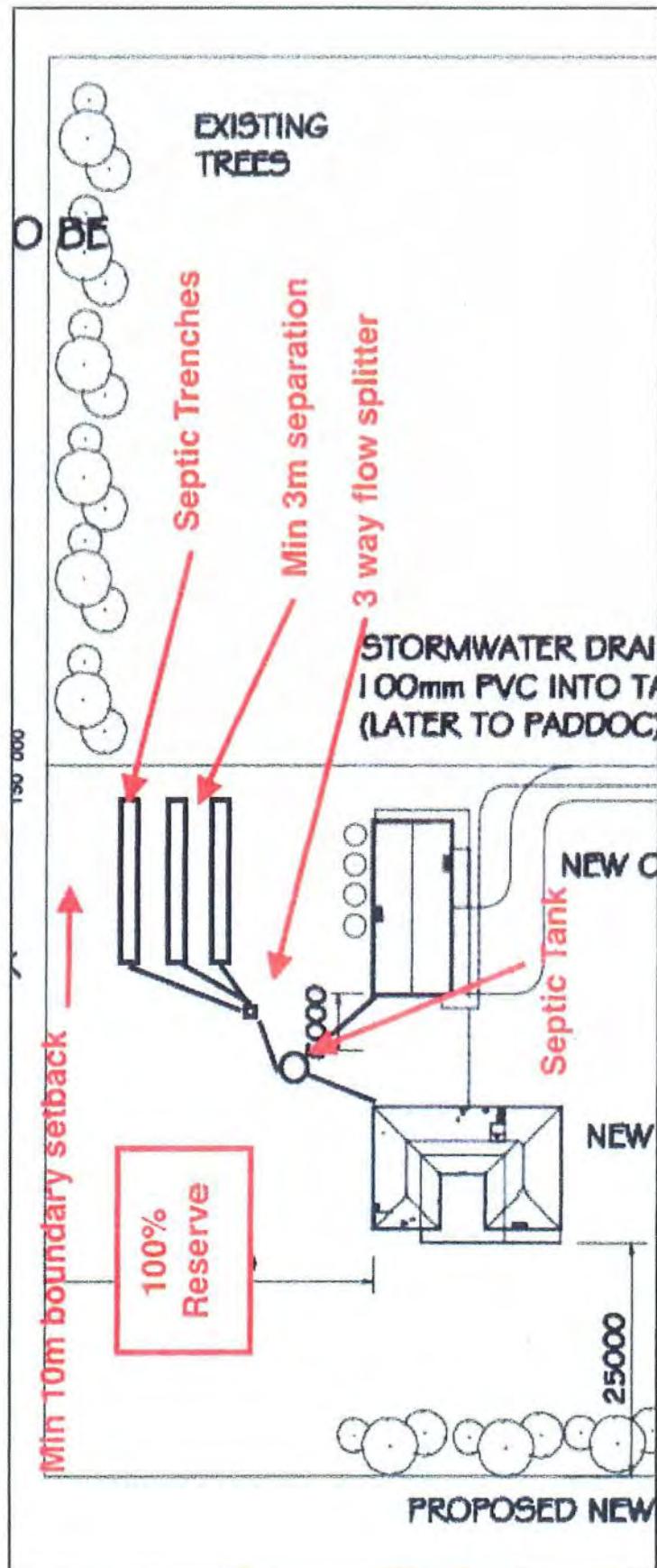
Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin

BCP3-113-073

Appendix 3 Detailed Wastewater Design Calculations

Wastewater Loading Certificate*	
System Capacity	8EP at 120L/person/day = 960 L/D
Design Summary	
• Effluent Quality	Primary
• Adopted Soil category	4
• Amended Adopted Soil Category	NA
• Adopted DLR/DIR (mm/d OR L/m ² /d)	10
• LAA Design	Trench
• Primary LAA Requirement	30m ²
• Reserve Area	Min 100% reserve LAA must be maintained in an undeveloped state near the primary system as identified on the site plan
Fixtures	Assumes Std Water saving fixtures inc 6/3L dual flush toilets, aerator forceps, Washing/dishwashing machines with min WELS rating 4.5 star
Consequences of Variation in Effluent Flows	<ul style="list-style-type: none"> • High Flows The system should be capable of buffering against flows of up to 110% in a 24 hr period of 100% over a 7 day period. System not rated for spa/sinkerator installation. • Low Flows Should not affect system performance
Consequences of Variation in Effluent Quality	Residence to avoid the installation of sink disposal systems (eg "sinkerators"), or the addition of large amounts of household cleaning products or other solvents. These can overload system BOD or affect effluent treatment by system biota.
Consequences of Lack of Maintenance and Monitoring Attention	<p>Owners should maintain the system in compliance with Home Owners Manual.</p> <p>Septic tanks should be de-sludged every three years.</p> <p>Outlet filters should be cleaned every three months.</p> <p>All livestock, vehicles and persons to be excluded from the LAA.</p> <p>Failure to ensure the above may lead to infection of waterways, bores or the spread of disease, as well as production of foul odours, attraction of pests and excessive weed growth.</p>

Appendix 4 Land Application Design and Construction Notes



Septic System Design and Construction Notes

Septic Tank and Trench Design and Construction Notes

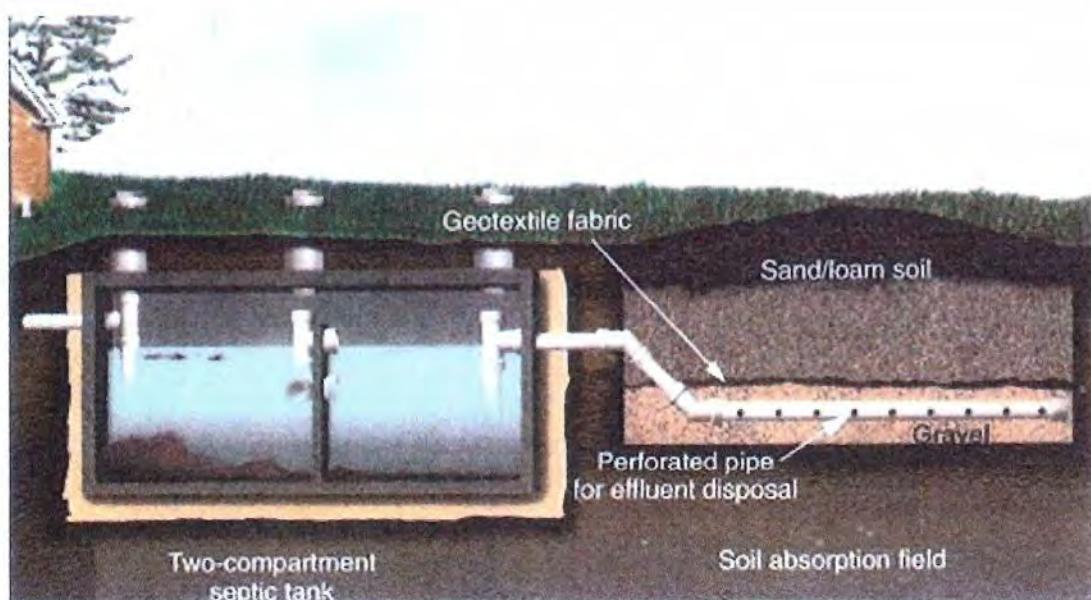


Figure 1 Septic Tank and Trench cross section

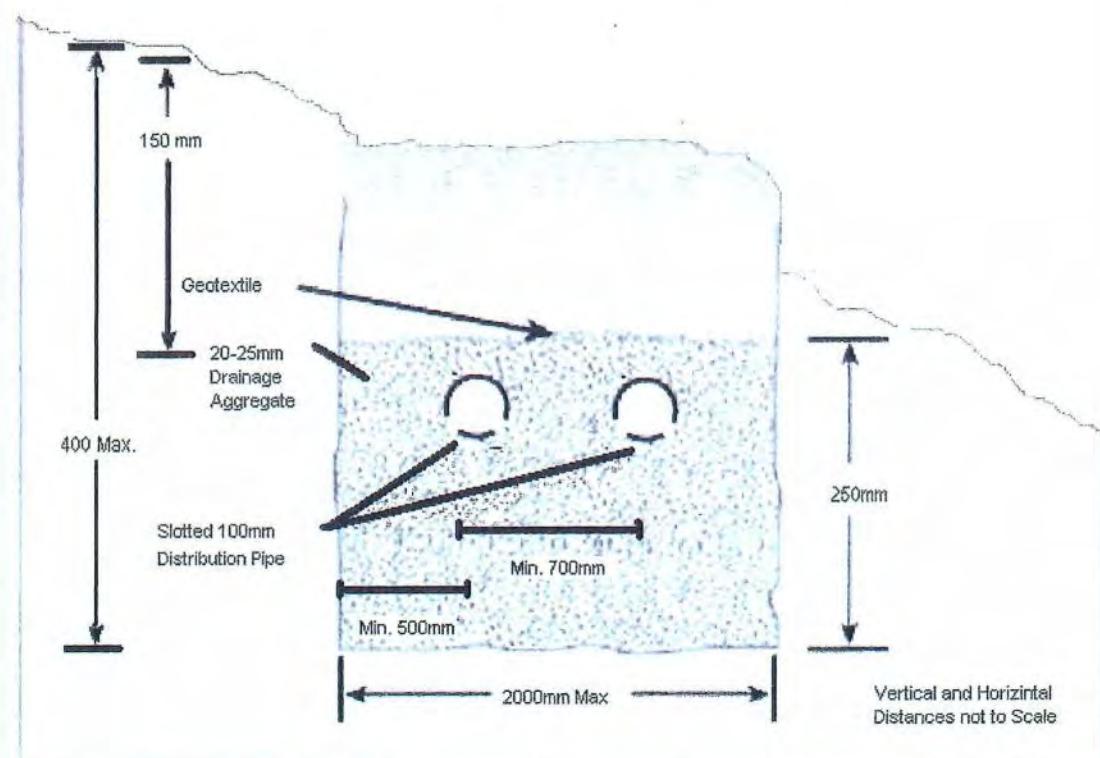


Figure 2 Gravity dosed septic trench cross section

Septic Tank Installation

1. Septic Tanks should be installed in firm ground and/or on a uniform layer of sand of minimum thickness 100mm.
2. Septic Tanks should be surrounded by sand or compacted soil by watering and tamping to the firmness of the surrounding soil.
3. The influent pipe should be installed with a minimum grade of 1.65% or 1 in 60.
4. It is recommended that septic tanks are installed a minimum of 3 meters from foundations and for systems utilising a pump well, away from bedrooms.
5. Fiberglass or plastic tanks set in urban or Aboriginal Housing in Remote Area Communities shall be fitted with concrete lids or collars.
6. All vehicles and livestock should be excluded from septic tank areas.
7. The Septic Tank **MUST** be a dual purpose design with a minimum capacity compliant with the stipulations of AS1547-2000 Appendix 4.3 A
8. An outflow filter shall be connected to the outflow of the septic tank.

Septic Trench Design and Construction Notes

1. Each trench has the dimensions of 20.0 m X 1.6m X 0.5 m.
2. There are three trenches in total as located on site plan giving a total basal area of 96 m² (See Appendix 1)
3. Trenches must be positioned parallel with the contours of the land and the base of the trench **MUST** be excavated evenly and level. In clay soils smearing of walls and floors of bed **MUST** be avoided and should be scoured to a depth of 5-10 mm to reduce base and sidewall sealing after applying Gypsum at a rate of 0.5Kg/m².
4. The lower 400mm is to be filled with 20-25mm aggregate.
5. 100mm PVC pipes slotted in the 8'o'clock and 4'o'clock positions to be placed on top of aggregate as shown. The distribution pipe **MUST** be level to ensure flow of effluent to all areas of the trench. Failure to ensure this may cause preferential overloading of the trench and the potential for bed overflow.
6. A further 50mm of aggregate can be added around/over the grid before overlaying with geo-textile to prevent soil from clogging gravels/lateral slots. For sandy soils the sides of the trench should also be lined.
7. Backfilling of the bed to 50 - 75mm above original ground surface level with endemic topsoil (if a sand/loam) or imported loam should proceed. Do not mechanically compact this layer.
8. An inspection outlet should be placed on each distribution pipe.
9. Vehicles and livestock **MUST** be excluded from the trench area.

Appendix 5 Forms 55/35B

CERTIFICATE OF SPECIALIST OR OTHER PERSON (BUILDING WORK)		Regulation 19
To:	Phil Stewart	Owner/Agent Address: Form 55 Suburb/Towncode
Certifier details:		
From:	Sven Nielsen	Phone No: 0413346328
Address:	17 Little Arthur Street North Hobart	Fax No:
Accreditation No: (if applicable)	AQ1443/OCG133K	Email address: sven@strataaco-consulting.com.au
Organisation and insurance details:	Masters Engineering Sciences CPSS-2 Professional Indemnity Cover Public Liability Contact for details	(Description from Column 2 of Schedule 4 of the Director of Building Control's Determination)
Specialty area of expertise:	Site Classification to AS2870-2011/AS4055-2006	(Description from Column 4 of Schedule 4 of the Director of Building Control's Determination)
Details of work:		
Address:	Lot 5 Pine Road Penguin	Lot No: Certificate of Title No:
The lot(s) related to this certificate:	Strata Report 02176	(Description of the work or part work being certified)
Certificate details:		
Certificate type:	(Description from Column 1 of Schedule 4 of the Director of Building Control's Determination)	
This certificate is in relation to an application for a new building permit 1/06 <input checked="" type="checkbox"/>		
This certificate is in relation to any stage of building work before completion. <input type="checkbox"/>		
In issuing this certificate the following matters are relevant -		
Document:	Strata Report 02176	

**Site Classification to AS2870-2011/AS4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin**

Relevant
AS/NZS 3600

See report re what is relevant

Referenced

AS2870-2011, AS4055-2006 AS1726-1993, CSIRO BTP-18

SUFFICIENCY OF CERTIFICATE (and if this is subject to audit)

Site Classification to AS2870-2011 AND AS4055-2006

SCOPE AND LIMITATIONS

See recommendations and web links and conditions contained within the relevant report.

I certify the matters described in this certificate.

Director of Building Control - Date Approved : July 22/4:

Bulldog Fragile Items 2014 - Approved Form No. 35

Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin

Date Issued:	2017/02/01	Expiry Date:	16/01/18	Report No:	02170201
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CERTIFICATE OF THE RESPONSIBLE DESIGNER (PLUMBING WORK)		Section 80C(1)(b)		
To:	Central Coast Council [Redacted] [Redacted]	Comments: Address: Schedule No.: [Redacted]		
35B				
Designer details:				
Name:	S Nielsen	Category: Hydraulics Domestic		
Business name:	Strata Geoscience and Environmental Pty Ltd	Phone No.: 04 354888		
Business address:	17 Little Arthur Street North Hobart	Fax No.: [Redacted]		
Accreditation or License No.:	GC6111K	Inv. Address: 8/301/2 Strata Geoscience Pty Ltd		
Details of the proposed works:				
Owner/Applicant:	Phil Stewart	Design project reference No.: [Redacted]		
Address:	Lot 5 Pine Road Penguin	[Redacted]		
Type of work:	On-site wastewater management New System			
Description of the Design Work (Scope, limitations or exclusions):				
Design-to-Site:	<input checked="" type="checkbox"/>	Alternative solution:	<input type="checkbox"/>	Not fit-for-purpose bits
See Design and terms and conditions of appropriate report				
[Redacted]				
[Redacted]				
Design documents provided:				
The following documents are provided with this Certificate -				
Document Details:				
Drawing numbers:	Strata Report Prepared by: S Nielsen 02174	Date:	16/3/16	
Schedule:	Prepared by:	Date:		
Specification:	Strata Report 01/74 Prepared by: S Nielsen	Date:	16/3/16	
Consultation:	Strata Report 01/74 Prepared by: S Nielsen	Date:	16/3/16	
Alternative solution proposals:	Strata Report 02/74 Prepared by: S Nielsen	Date:	16/3/16	
Test reports:	Strata Report 02/74 Prepared by: S Nielsen	Date:	16/3/16	

Document ref: 02174 - date approved: Apr '16 4:

Building Act 2000 - Approved Form No. 225

Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin



Appendix 6 Terms and Conditions

Scope of Work

These Terms and Conditions apply to any services provided to you ("the Client") by Strata Geoscience and Environmental Pty Ltd ("Strata"). By continuing to instruct Strata to act after receiving the Terms and Conditions or by using this report and its findings for design and/or permit application processes and not objecting to any of the Terms and Conditions the Client agrees to be bound by these Terms and Conditions, and any other terms and conditions supplied by Strata from time to time at Strata's sole and absolute discretion. The scope of the services provided to the Client by Strata is limited to the services and specified purpose agreed between Strata and the Client and set out in the correspondence to which this document is enclosed or annexed ("the Services"). Strata does not purport to advise beyond the Services.

Third Parties

The Services are supplied to the Client for the sole benefit of the Client and must not be relied upon by any person or entity other than the Client. Strata is not responsible or liable to any third party. All parties other than the Client are advised to seek their own advice before proceeding with any course of action.

Provision of Information

The Client is responsible for the provision of all legal, survey and other particulars concerning the site on which Strata is providing the Services, including particulars of existing structures and services and features for the site and for adjoining sites and structures. The Client is also responsible for the provision of specialised services not provided by Strata. If Strata obtains these particulars or specialised services on the instruction of the Client, Strata does so as agent of the Client and at the Client's expense. Strata is not obliged to confirm the accuracy and completeness of information supplied by the Client or any third party service provider. The Client is responsible for the accuracy and completeness of all particulars or services provided by the Client or obtained on the Client's behalf. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever suffered by the Client or any other person or entity resulting from the failure of the Client or third party to provide accurate and complete information. In the event additional information becomes available to the Client, the Client must inform Strata in writing of that information as soon as possible. Further advice will be provided at the Client's cost. Any report is prepared on the assumption that the instructions and information supplied to Strata has been provided in good faith and is all of the information relevant to the provision of the Services by Strata. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever if Strata has been supplied with insufficient, incorrect, incomplete, false or misleading information.

Integrity

Any report provided by Strata presents the findings of the site assessment. While all reasonable care is taken when conducting site investigations and reporting to the Client, Strata does not warrant that the information contained in any report is free from errors or omissions. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from errors in a report. Any report should be read in its entirety, inclusive of any summary and annexures. Strata does not accept any responsibility where part of any report is relied upon without reference to the full report.

Project Specific Criteria

Any report provided by Strata will be prepared on the basis of unique project development plans which apply only to the site that is being investigated. Reports provided by Strata do not apply to any project other than that originally specified by the Client to Strata. The Report must not be used or relied upon if any changes to the project are made. The Client should engage Strata to further advise on the effect of any change to the project. Further advice will be provided at the Client's cost. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever where any change to the project is made without obtaining a further written report from Strata. Changes to the project may include, but are not limited to, changes to the investigated site or neighbouring sites, for instance, variation of the location of proposed building envelopes/footprints, changes to building design which may impact upon building settlement or slope stability, or changes to earthworks, including removal (site cutting) or deposition of sediments or rock from the site.

Classification to AS2870-2011

It must be emphasised that the site classification to AS2870-2011 and recommendations referred to in this report are based solely on the observed soil profile at the time of the investigation for this report and account has been taken of Clause 2.1.1 of AS2870 - 2011. Other abnormal moisture conditions as defined in AS2870 – 2011 Clause 1.3.3 (a) (b) (c) and (d) may need to be considered in the design of the structure. Without designing for the possibility of all abnormal moisture conditions as defined in Clause 1.3.3, distresses will occur and may result in non "acceptable probabilities of serviceability and safety of the building during its design life", as defined in AS2870 - 2011, Clause 1.3.1. Furthermore the classification is preliminary in nature and needs verification at the founding surface inspection phase . The classification may be changed at this time based upon the nature of the founding surface over the entire footprint of the project area. Any costs associated with a change in the site classification are to be incurred by the client. Furthermore any costs associated with delayed works associated with a founding surface inspection or a change in classification are to be borne by the client. Where founding surface inspections are not commissioned the classifications contained within this report are void. Classification is based upon a range of expected ground surface movement as indicated in AS2870-2011. Where the range of movement exceeds the stipulations for the nominated classification Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever suffered by the Client or any other person.

Slope Instability Risks

Where comment, modelling or treatment options are suggested to limit the risk of slope instability Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from actual slope instability or mass movement over the site at any point over the design life of any structures or neighbouring structures.

Subsurface Variations with Time

Any report provided by Strata is based upon subsurface conditions encountered at the time of the investigation. Conditions can and do change significantly and unexpectedly over a short period of time. For example groundwater levels may fluctuate over time,

***Site Classification to AS2870-2011/4055-2006 and Onsite Wastewater System Design
Lot 5 Pine Road Penguin***

affecting latent soil bearing capacity and ex-situ/insitu fill sediments may be placed/removed from the site. Changes to the subsurface conditions that were encountered at the time of the investigation void all recommendations made by Strata in any report. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from any change to the subsurface conditions that were encountered at the time of the investigation. In the event of a delay in the commencement of a project or if additional information becomes available to the Client about a change in conditions becomes available to the Client, the Client should engage Strata to make a further investigation to ensure that the conditions initially encountered still exist. Further advice will be provided at the Client's cost. Without limiting the generality of the above statement, Strata does not accept liability where any report is relied upon after three months from the date of the report, (unless otherwise provided in the report or required by the Australian Standard which the report purports to comply with), or the date when the Client becomes aware of any change in condition. Any report should be reviewed regularly to ensure that it continues to be accurate and further advice requested from Strata where applicable.

Interpretation

Site investigation identifies subsurface conditions only at the discrete points of geotechnical drilling, and at the time of drilling. All data received from the geotechnical drilling is interpreted to report to the Client about overall site conditions as well as their anticipated impact upon the specific project. Actual site conditions may vary from those inferred to exist as it is virtually impossible to provide a definitive subsurface profile which accounts for all the possible variability inherent in earth materials. This is particularly pertinent to some weathered sedimentary geologies or colluvial/alluvial clast deposits which may show significant variability in depth to refusal over a development area. Rock incongruities such as joints, dips or faults may also result in subsurface variability. Soil depths and composition can vary due to natural and anthropogenic processes. Variability may lead to differences between the design depth of bored/driven piers compared with the actual depth of individual piers constructed onsite. It may also affect the founding depth of conventional strip, pier and beam or slab footings, which may result in increased costs associated with excavation (particularly of rock) or materials costs of foundations. Founding surface inspections should be commissioned by the Client prior to foundation construction to verify the results of initial site characterisation and failure to insure this will void the classifications and recommendations contained within this report. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from any variation from the site conditions inferred to exist.

Strata is not responsible for the interpretation of site data or report findings by other parties, including parties involved in the design and construction process. The Client must seek advice from Strata about the interpretation of the site data or report.

Report Recommendations

Any report recommendations provided by Strata are only preliminary. A report is based upon the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until earthworks and/or foundation construction is almost complete. Where variations in conditions are encountered, Strata should be engaged to provide further advice. Further advice will be provided at the Client's cost. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever if the results of selective point sampling are not indicative of actual conditions throughout an area or if the Client becomes aware of variations in conditions and does not engage Strata for further advice.

Geo-environmental Considerations

Where onsite wastewater site investigation and land application system designs are provided by Strata, reasonable effort will be made to minimise environmental and public health risks associated with the disposal of effluent within site boundaries with respect to relevant Australian guidelines and industry best practise at the time of investigation. Strata is not liable, and accepts no responsibility, for any claim, demand, charge, loss, damage, injury or expense whatsoever resulting from:

- (i) changes to either the project or site conditions that affect the onsite wastewater land application system's ability to safely dispose of modelled wastewater flows; or
- (ii) seepage, pollution or contamination or the cost of removing, nullifying or clearing up seepage, polluting or contaminating substances; or
- (iii) poor system performance where septic tanks have not been de-sludged at maximum intervals of 3 years or AWTS systems have not been serviced in compliance with the manufacturers recommendations; or
- (iv) failure of the client to commission both interim and final inspections by the designer throughout the system construction; or
- (v) the selection of inappropriate plants for irrigation areas; or
- (vi) damage to any infrastructure including but not limited to foundations, walls, driveways and pavements; or
- (vii) land instability, soil erosion or dispersion; or
- (viii) design changes requested by the Permit Authority.

Furthermore Strata does not guarantee septic trench and bed design life beyond 5 years from installation, given the influence various household chemicals have on soil structural decline and premature trench failure in some soil types

Strata does not consider site contamination, unless the Client specifically instructs Strata to consider the site contamination in writing. If a request is made by the Client to consider site contamination, Strata will provide additional terms and conditions that will apply to the engagement.

Copyright and Use of Documents

Copyright in all drawings, reports, specifications, calculations and other documents provided by Strata or its employees in connection with the Services remain vested in Strata. The Client has a licence to use the documents for the purpose of completing the project. However, the Client must not otherwise use the documents, make copies of the documents or amend the documents unless express approval in writing is given in advance by Strata. The Client must not publish or allow to be published, in whole or in part, any document provided by Strata or the name or professional affiliations of Strata, without first obtaining the written consent of Strata as to the form and context in which it is to appear.

If, during the course of providing the Services, Strata develops, discovers or first reduces to practice a concept, product or process which is capable of being patented then such concept, product or process is and remains the property of Strata and:

- (i) the Client must not use, infringe or otherwise appropriate the same other than for the purpose of the project without first obtaining the written consent of Strata; and
- (ii) the Client is entitled to a royalty free licence to use the same during the life of the works comprising the project.

Digital Copies of Report

If any report is provided to the Client in an electronic copy except directly from Strata, the Client should verify the report contents with Strata to ensure they have not been altered or varied from the report provided by Strata.



WALSH DAY JAMES MIHAL

BARRISTERS AND SOLICITORS

Enquiries to: Alexander Tate or Eleanor James

Our Ref: 160410

19 August 2016

The General Manager
Central Coast Council
19 King Edward Street
Ulverstone TAS 7315

Copy sent by email to: admin@centralcoast.tas.gov.au

Copy delivered

Dear Madam

OBJECTION TO PLANNING APPLICATION DA215218, PINE ROAD, PENGUIN

We act for Noel Robert Ling and Gaye Elizabeth Ling, who own 2 blocks of land (Certificate of Title references 91766/4 and 221745/1) which directly border the land affected by planning application DA215218 on the southern and western boarders respectively.

Our clients use their property for agricultural purposes and are concerned that planning application DA215218 ("the application") will affect their use of their property and its value. Particularly they are concerned that the proximity of the planned dwellings and proposed new trees to the shared boundary will impact on their property interfering with their ability to spray farming chemicals to the boundary of their property, by draining soil nutrient levels and interfering with farming through root intrusion.

Our clients further object to the application on the following grounds:-

26.3.1 Requirements for discretionary non-residential use to locate on rural resources land – the application does not meet the standard. Particularly, the application does not meet performance criterion (c(iii)), as the proposal is not for the purposes of accessing a product of primary industry from the use of the suite or adjacent land. There is no aquaculture to support the proposed use of the property on the site or adjacent land.

26.4.3 Location for development of sensitive uses – the application does not meet either the performance criterion or the acceptable solution. The proposal will constrain or interfere with our

18 King Edward Street | PO Box 199 | Ulverstone Tasmania 7315 | DX 70509
Telephone: (03) 6425 2077 | Facsimile: (03) 6425 5910 | Email: mail@walshday.com.au
Walsh Day James Mihal Pty ABN 12 088 438 519

Directors
ELEANOR ESME JAMES B.A., LL.B.

ANTHONY PHILLIP MIHAL B.A. (HONS), LL.B. (HONS)

AJT:PLING N1 160410 1.DOC

Associates
RAFAEL THOMAS OSIK SZUMER LL.B., (HONS)

ALEXANDER JAMES TATE B.A., LL.B.

Conveyancing Clerks
KERRIE-ANNE GRAHAM
TERRI BARAN

Probate Clerk
KRISTI HUBBLE

clients' existing primary industry use of their property. As to the acceptable solution, the sensitive uses are nowhere near the required setback of 200 metres from our clients' agricultural land.

Please note that our clients are not entirely opposed to the application. Were the planned dwellings and proposed new trees set back by at least 35 metres from all shared boundaries our clients would consider withdrawing their objection to the application.

If you have any questions or concerns to any of the above please contact the author.

Yours faithfully
WALSH DAY JAMES MIHAL
Per



Alexander Tate
Lawyer
alexandertate@walshday.com.au

Annexure 4



Pine Road (CT 91766/5) – Portion of the land that is used to keep chickens, sheep and pigs.



Pine Road (CT 91766/5) – Portion of the land that is used for broader scale resource production.



Pine Road (CT 91766/5). Aerial View of subject property and surrounding land.

Annexure 5

8 August 2016

Our ref.: DA215218, paa:kaa
Doc ID: 239462

Mr P Stewart
6 Anglers Crescent
MIENA TAS 7030

Dear Mr Stewart

**LOCAL GOVERNMENT (HIGHWAYS) ACT 1982 AND URBAN DRAINAGE ACT 2013
STATEMENT OF COMPLIANCE FOR VEHICULAR ACCESS AND DRAINAGE ACCESS
VISITOR ACCOMMODATION & BOAT STORAGE – PINE ROAD, PENGUIN**

I refer to your application DA215218 for Visitor Accommodation at Pine Road, Penguin, and based on the information supplied with the application make the following determination in respect to vehicular access and the disposal of stormwater.

Access can be provided to the road network at Pine Road, Penguin, subject to the following:

- R1 The existing vehicular access (3.6m wide) on the eastern side of the Pine Road frontage must be upgraded in accordance with Standard Drawing TSD-R03-v1 Rural Roads – Typical Property Access and Standard Drawing TSD-R04-v1 Rural Roads – Typical Driveway Profile (copies enclosed);
- R2 Any work associated with roads, road verges or roadside vegetation will be undertaken by the Council, unless alternative arrangements are approved by the Council's Director Infrastructure Services or his representative;
- R3 Any damage or disturbance to roads, road verges, roadside vegetation or other existing services resulting from activity associated with the development must be rectified;
- R4 All works or activity listed above must be completed to the satisfaction of the Council's Director Infrastructure Services or his representative;
- R5 All works or activity listed above will be at the developer's/property owner's cost;

- R6 A separate conditioned approval from the Council acting in its capacity as the Road Authority will be required for any works or activity in the road reservation, and must be arranged prior to any work associated with the development being undertaken. Please contact the Council Public Safety Coordinator.

Access cannot be provided to the Council's stormwater network for Pine Road, Penguin. The disposal of concentrated stormwater drainage from buildings and hard surfaces should be contained on-site and be dealt with by in-ground absorption, unless otherwise required and approved by the Council's Regulatory Services Group Leader or his representative.

This 'Statement of Compliance' is not an approval to work on any access or in the road reservation, nor is it a planning permit for the development. This 'Statement of Compliance' is valid for a period of 2 years from the date shown above.

A copy of this 'Statement of Compliance' has been provided to the Council's Land Use Planning Group for consideration with planning permit application DA215218.

Please contact me on tel. 6429 8977 should you have any further enquires.

Yours sincerely



Philip Adams
ENVIRONMENTAL ENGINEER

Encl.

✓ Administrative Assistant – Planning
Public Safety Coordinator

A M & J Jones
89 Pine Road
PENGUIN TAS 7316

A COPY FOR YOUR INFORMATION