
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2024082**

Location: **18 Berkshire Parade, Penguin**

Proposal: **Residential - multiple dwellings x 2**

Performance Criteria: **Setbacks and building envelope
for all dwellings**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au. Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the General Manager, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. *Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the Local Government (Meeting Procedures) Regulations 2015.*

The representation must be made on or before **9 May 2024**

Date of Notification: **24 April 2024**

CENTRAL COAST COUNCIL
PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



Land Use Planning and Approvals Act 1993
Central Coast Interim Planning Scheme 2013
PLANNING PERMIT APPLICATION

Office Use Only

Application No _____

Date Received _____


Zone _____

Fee \$ _____

Permitted

Discretionary

NPR

	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	28/03/2024
Application No:	DA2024082
Doc ID:	481633

Use or Development Site:

Site Address

Certificate of Title Reference

Land Area Heritage Listed Property NO

Applicant/s

First Name Middle Name

Surname or Company name Mobile

Postal Address: Phone No:

Email address:

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner (Note – if more than one owner, all names must be indicated)

First Name Middle Name

Surname Phone No

Postal Address:

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Residential

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$750,000..... Estimate/ Actual

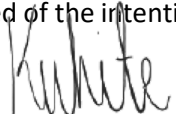
Total floor area of the developmentm²

Notification of Landowner

If land is NOT in the applicant's ownership

I, Karlieanne White, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant



Date 26/3/24

If the application involves land within a Strata Corporation

I, , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

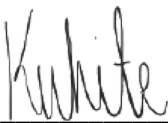
Central Coast Council consents to the making of this permit application.
 General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister
 responsible for the land, consent to the making of this permit application.
 Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.


Applicants Declaration

I/ we Karlieanne White
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.
 Signature of Applicant/s  Date 26/3/24

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 152052	FOLIO 41
EDITION 6	DATE OF ISSUE 28-Nov-2018



**CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 28/03/2024

Application No: DA2024082

Doc ID: 481632

SEARCH DATE : 02-Jan-2024
SEARCH TIME : 01.30 PM

DESCRIPTION OF LAND

Parish of ASHWATER Land District of DEVON
Lot 41 on Sealed Plan 152052
Derivation : Part of Lot 5706 100 Acres Gtd. to Joseph Ling
Prior CTs 236779/1 and 201659/1

SCHEDULE 1

M726129 TRANSFER to DANIEL THOMAS ANTHONY MCGLONE and EMILY
ELISE DICK Registered 28-Nov-2018 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP152052 EASEMENTS in Schedule of Easements
SP152052 COVENANTS in Schedule of Easements
SP152052 FENCING COVENANT in Schedule of Easements
E155037 MORTGAGE to Commonwealth Bank of Australia
Registered 28-Nov-2018 at 12.01 PM

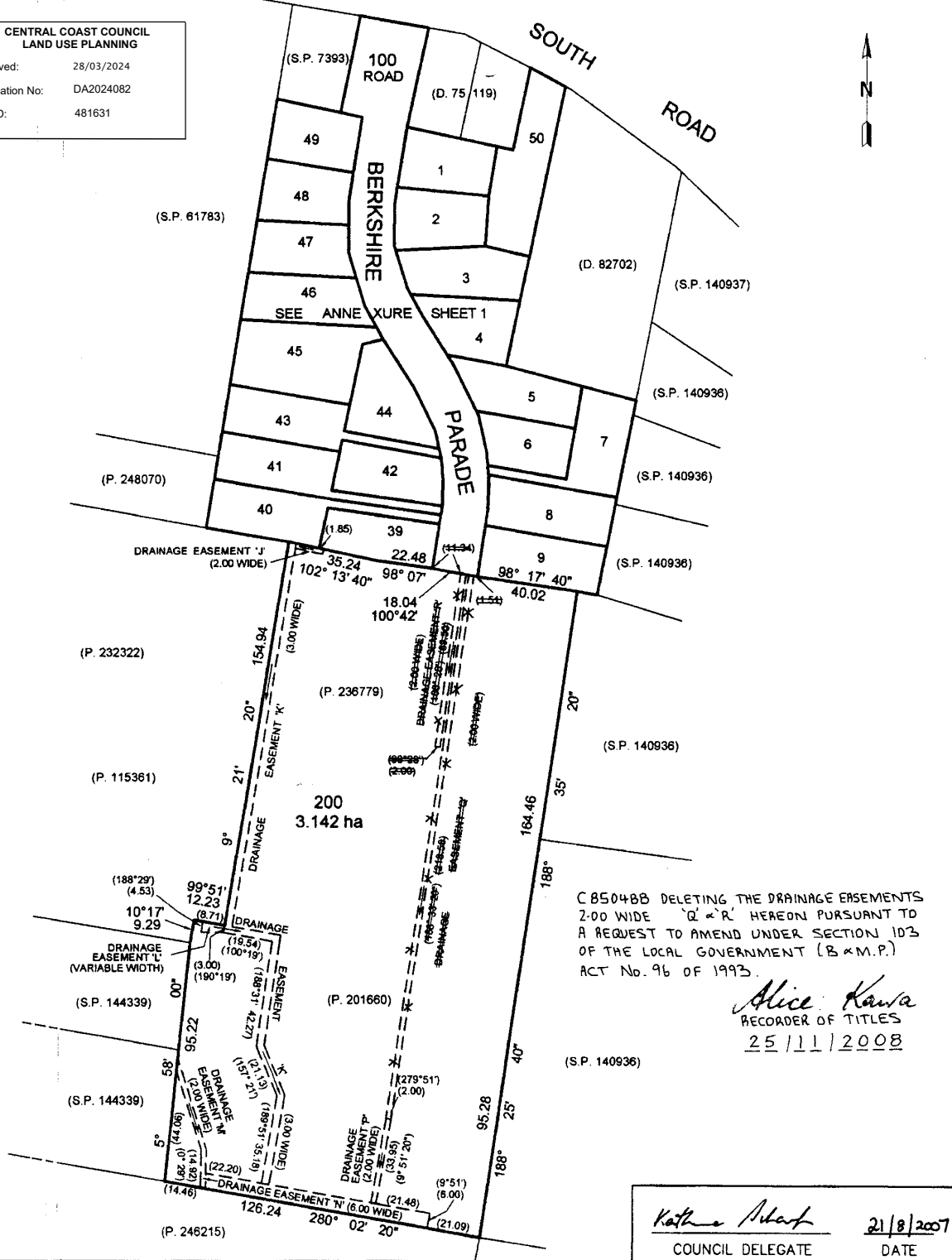
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

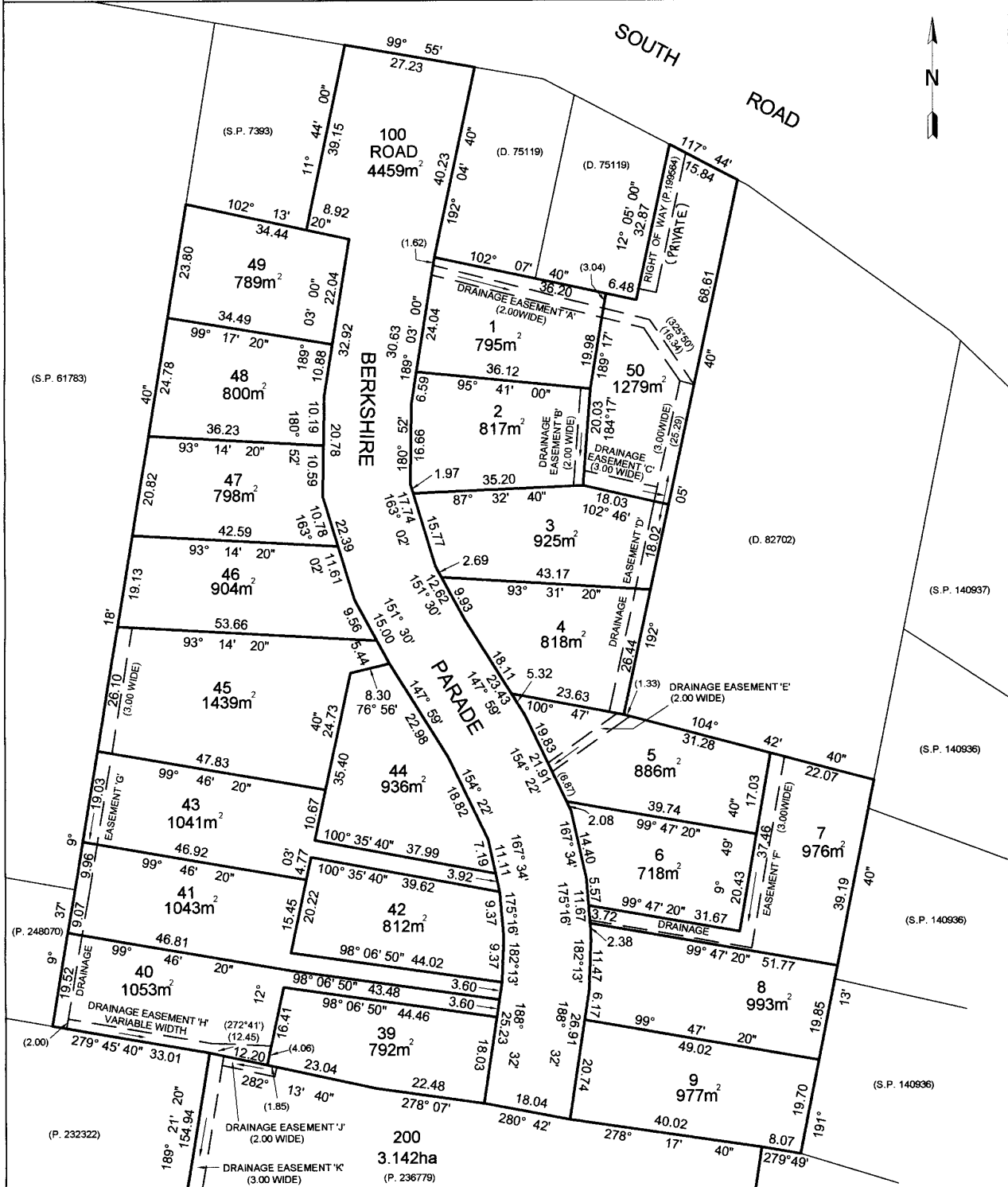
OWNER: PORKY & CO PTY LTD. FOLIO REFERENCE: C.T. 199564-1, C.T. 201659-1, C.T. 201660-1, C.T. 236779-1. GRANTEE: PART OF LOT 5706, 100° 00' 00," GRANTED TO JOSEPH LING.	PLAN OF SURVEY WOOLCOTT SURVEYS BY SURVEYOR BRETT RICHARD WOOLCOTT LOCATION: LAND DISTRICT OF DEVON PARISH OF ASHWATER SCALE 1: 1500 LENGTHS IN METRES	Registered Number SP 152052 APPROVED EFFECTIVE FROM 11 SEP 2007 <i>Alice Kawa</i> Recorder of Titles
---	--	---

MAPSHEET MUNICIPAL CODE No 104 (4244-2.1)	LAST EXWB65 EXW6Z UPI No EXWB6 EXW66	LAST PLAN No: P199564, P201660 P236779, P201659.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
---	--------------------------------------	--	---

CENTRAL COAST COUNCIL
LAND USE PLANNING
Received: 28/03/2024
Application No: DA2024082
Doc ID: 481631



<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>WOOLCOTT SURVEYS</p> <p>SHEET 1 OF 1 SHEETS</p>	<p>OWNER: PORKY & CO PTY LTD.</p> <p>FOLIO REFERENCE: C.T. 199564-1, C.T. 201659-1, C.T. 201660-1, C.T. 236779-1.</p> <p>GRANTEE: PART OF LOT 5706, 100^A 00^R 00^P, GRANTED TO JOSEPH LING.</p> <p>SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number</p> <p>REGISTERED NUMBER SP152052</p>
	<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>Kathene Mearns</i> 21/8/2007 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>D Woolcott</i> 19/07/2007 Registered Land Surveyor Date</p>



CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	17/04/2024
Application No:	DA2024082
Doc ID:	483247

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 152052

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Each ^{of the} lots on the Plan is subject to a right of drainage over the drainage easements shown on the plan as passing through such lot (if any) in favour of the Central Coast Council.

Lot 50 on the Plan is subject to a right of carriage way appurtenant to lot 20 on Diagram 353/25 over the piece of land shown as "Right of Way (P.199564)" on the Plan.
(PRIVATE)

Covenants

The owner of each of the lots on the Plan covenant with the Vendor and the owners of each other Lot on the Plan to the intent that the burden of this covenant will run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the Plan and each and every part thereof to observe the following stipulations:

- 1 No dwelling house the living area (exclusive of any garage, car port or outbuilding) is less than 125 square meters is to be erected or remain on such Lot.
- 2 ~~No person is to live in a caravan or other transportable home on such Lot~~ Not to use or allow to be used any caravan or other transportable home on such lot as a residence whether temporary or permanent.
- 3 No relocated or relocatable home or kit home is to be erected or remain on such Lot.
- 4 No building (other than a dwelling house of the kind permitted under paragraph 1 of these covenants) is to be occupied as a dwelling on such Lot.
- 5 No sign, poster, bill, hoarding or advertisement (except any notice or advertisement in the usual form for the sale or letting of such Lot or any building erected on it) is to be affixed or displayed on such Lot.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Porky and Co Pty Ltd FOLIO REF: Volume 199564 Folio 1, Volume 201569 Folio 1, Volume 201660 Folio 1 and Volume 236779 Folio 1 SOLICITOR & REFERENCE: Chris Chalmers 51862	PLAN SEALED BY: Central Coast Council DATE: 20 AUGUST 2007 SUB200610 REF NO.
 Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGE/S	Registered Number SP 152052
SUBDIVIDER: Porky and Co Pty Ltd FOLIO REFERENCE: 199564/1, 201659/1, 201660/1 & 236779/1	

- 6 No satellite dish that is visible from the street frontage of any such Lot is to be erected or remain on the Lot.
- 7 No fence is to be erected or remain on or within five (5) metres of the street boundary of any such Lot unless the fence is on a side boundary.

The Vendor reserve the right for themselves, the survivor of them and their successors and assigns to sell lease or otherwise deal any lot on the Plan subject to the above conditions and restrictive covenants or any one of them or not and subject to such modifications or amendments or full release thereof as they think fit.

The exercise of the said right in relation to any lot on the Plan shall not release the owner of any other lot from any of the conditions or covenants effected or imposed upon the lot on the Plan or give to the owner of any lot on the Plan any right of action against the Vendor or any other person or persons.


FENCING COVENANT

The owner of each Lot on the Plan covenants with the Vendor that the Vendor will not be required to fence.


Interpretation


In this Schedule of Easements:

“The Vendor” means Porky and Co Pty Ltd ACN ACN 111 428 954.

 CENTRAL COAST COUNCIL LAND USE PLANNING
Received: 17/04/2024 Application No: DA2024082 Doc ID: 483247

Executed by Porky and Co Pty Ltd the registered proprietor of the land comprised in Folios of the Register Volume 199564 Folio 1, Volume 201569 Folio 1, Volume 201660 Folio 1 and Volume 236779 Folio 1 under section 127(1) of the Corporations Act


Samuel John Heuze Hogg
 (Director)


Timothy John Hogg
 (Director)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 3 PAGE/S</p>	<p>Registered Number</p> <p>SP 152052</p>
<p>SUBDIVIDER: Porky and Co Pty Ltd FOLIO REFERENCE: 199564/1, 201659/1, 201660/1 & 236779/1</p>	

 <p>CENTRAL COAST COUNCIL LAND USE PLANNING</p>	<p>Received: 17/04/2024 Application No: DA2024082 Doc ID: 483247</p>
--	--

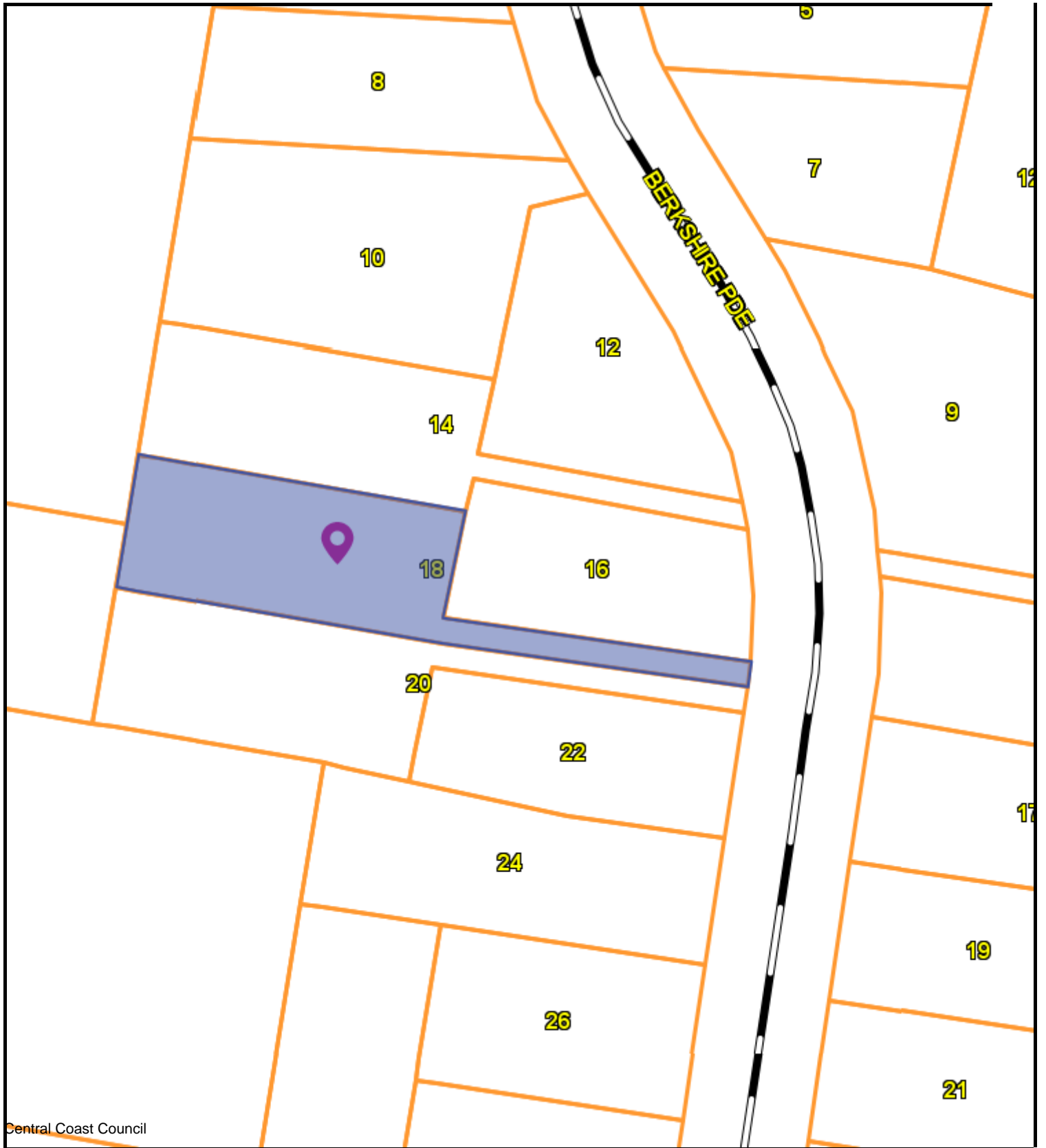
Witnessed by the NATIONAL AUSTRALIA BANK
 Witnessed by its Attorney *Gregory Wayne Latham*
 Power of Attorney No. *715-33* (who
 declares that he holds the office in the NATIONAL
 AUSTRALIA BANK LIMITED indicated under his
 signature and who declares that he has received no
 notice of revocation of the said Power) in the presence

[Signature]
 GREG LATHAM
 RELATIONSHIP MANAGER

[Signature]
 RYAN MADDOX
 CREDIT ANALYST
 1/46 St Johns St
 LAUNCESTON TAS 7250.

[Signature]
[Signature]

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



22-Apr-2024

**18 BERKSHIRE PARADE,
 PENGUIN
 DA2024082**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.


Disclaimer

This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2023.
 © Central Coast Council 2023.

20 m

Scale =
1:737.100

Client:
Kaitlan Rushton & Fletcher Looney
Lot 41 Berkshire Parade,
Penguin, Tasmania, 7316

 CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	11/04/2024
Application No:	DA2024082
Doc ID:	482664

ATT Planning,

Please see below supporting documentation in response to clause 8.4.2 *Setbacks and building envelope for all dwellings*.

P2

A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.

Response:

Unit one of the proposed development is situated 3.5m off the internal frontage boundary. This encroaches on the acceptable solution of a setback from a primary frontage of 5.5m.

In accordance with performance criteria P2 the proposed development can be seen to have a compatible frontage setback with existing garages in the same street. The existing dwelling at 42 Berkshire Parade has a similar design with the garage situated around 2.5m off the internal frontage of the property. With this precedent already existing the proposed development fits within the performance criteria of 8.4.2/P2.

P3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;
 - (ii) overshadowing the private open space of a dwelling on an adjoining property;
 - (iii) overshadowing of an adjoining vacant property; and
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and
- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:
 - (i) an adjoining property; or
 - (ii) another dwelling on the same site.

Response:

Please refer to the sun study plans (pages A12 to A14) of the planning application. These plans show that there is no unreasonable loss of amenity to any adjoining properties in regards to points (i), (ii), (iii) and (iv).

Separation between the proposed development and dwellings on adjoining properties is consistent with existing property setbacks in the area.

No unreasonable loss will occur to the existing solar panel installation on 20 Berkshire Parade. As shown on the shadow diagrams which are indicating the worst case scenario (shortest day of the year) there is still time during the day where the panels are receiving sunlight.

PROJECT:

PROPOSED MULTIPLE DWELLINGS X 2

CLIENT:

KAITLAN RUSHTON & FLETCHER LOONEY

LOCATION:

LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316


VOLUME: 152052
FOLIO: 41
DESIGN WIND SPEED: TBC - BY OTHER
SOIL CLASSIFICATION: TBC - BY OTHER
BUSHFIRE ASSESSMENT: TBC - BY OTHER
CLIMATE ZONE: 7
ALPINE AREA: NA

FLOOR AREA:
UNIT 1: 182.5m²
UNIT 2: 164.0m²

TOTAL: 346.5m²

REV: A PLANNING APPROVAL DATE: 10.04.2024

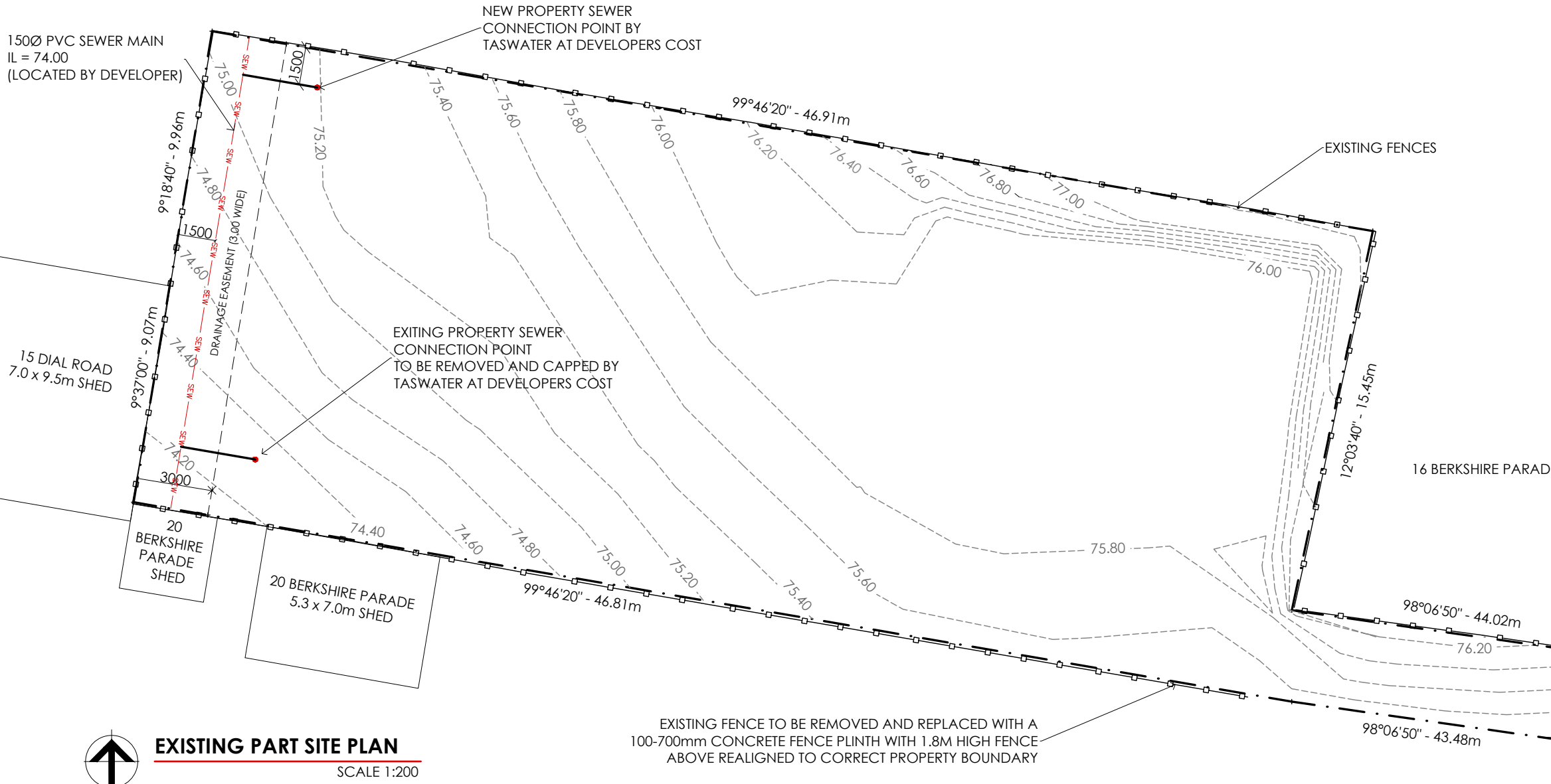
DRAWING SCHEDULE:		
SHEET No.	TITLE	REV #
A01	COVER SHEET	A
A02	EXISTING SITE PLAN	A
A03	SITE PLAN	A
A04	CAR PARK MANEUVER PLAN 1 of 2	A
A05	CAR PARK MANEUVER PLAN 2 of 2	A
A06	UNIT 1 - FLOOR PLAN	A
A07	UNIT 1 - ELEVATION 1 of 2	A
A08	UNIT 1 - ELEVATION 2 of 2	A
A09	UNIT 2 - FLOOR PLAN	A
A10	UNIT 2 - ELEVATION 1 of 2	A
A11	UNIT 2 - ELEVATION 2 of 2	A
A12 - A14	SUN STUDY	A

 CENTRAL COAST COUNCIL	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	11/04/2024
Application No:	DA2024082
Doc ID:	482663



**70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310**

LICENSED DESIGNER: ROBERT JETSON #409212438
PH: 03 6424 6325
EMAIL: drafting@rfsprojects.com.au

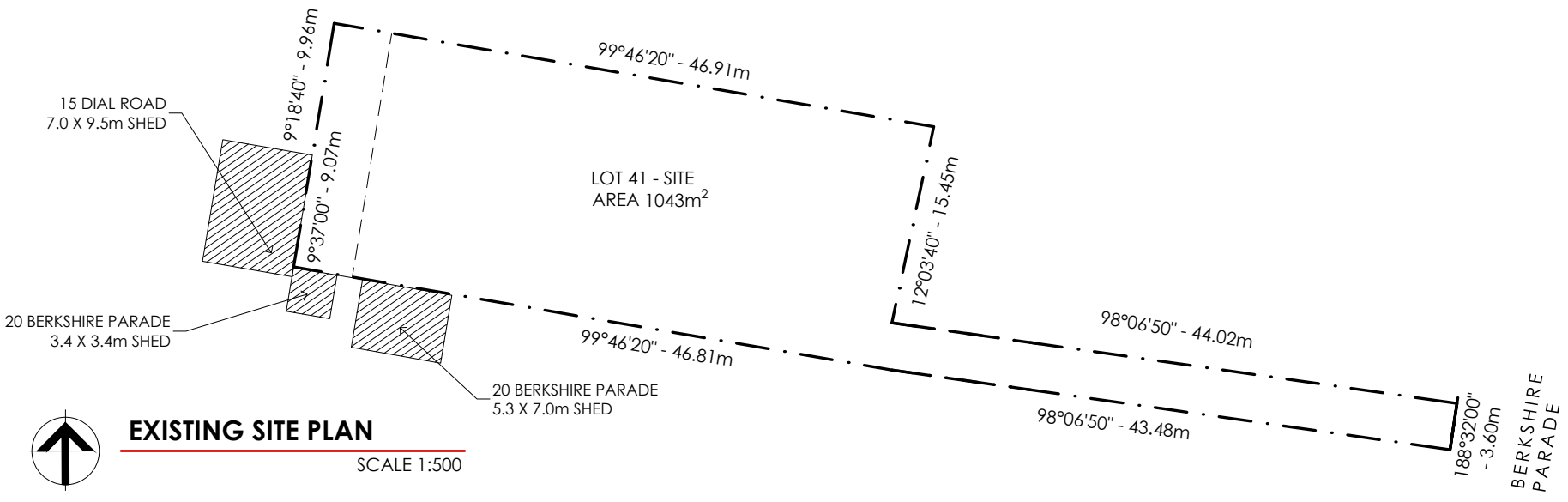


- LEGEND & NOTES**
1. THE BUILDER SHALL CHECK ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION.
 2. ALL CONTOURS TO BE CONFIRMED ON SITE.
 3. DRIVEWAY TO BE SUITABLY DRAINED AWAY FROM DWELLING.

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663

EXISTING PART SITE PLAN
 SCALE 1:200



EXISTING SITE PLAN
 SCALE 1:500

- ELECTRICAL TURRET
- TELSTRA PIT



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT: **PROPOSED MULTIPLE DWELLINGS X 2**

CLIENT: **KAITLAN RUSHTON & FLETCHER LOONEY**

LOCATION: **LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316**

DRAWING TITLE: **EXISTING SITE PLAN**

JOB NO: RUSHTON

DRAWN BY: M.A
 CHECKED BY: R.J

SCALE: 1:100 @ A3
 ISSUE: **DA**

DRAWING NO: **A02**
 / A14

- LEGEND & NOTES**
- ALL CONTOURS SHOULD BE CONFIRMED ON SITE.
 - DRIVEWAY TO BE SUITABLY DRAINED AWAY FROM DWELLING.
- PRIVACY SCREEN TO BE THE WIDTH OF THE WINDOW & 1.7M HIGH WITH A UNIFORM TRANSPARENCY OF NOT MORE THAN 25% SET BACK 1M FROM THE BUILDING LINE
 - RUBBISH BINS
 - 1.5m COLORBOND FENCE
 - STRATA TITLE BOUNDARY
 - GRASS
 - CONCRETE AREAS
 - GARDEN AREA
- TOTAL SITE AREA: 1043m²
 TOTAL BUILDING COVERAGE: 346.5m²
 TOTAL IMPERVIOUS AREA: 217.0m²
 SHARED COMMON SPACE: 369.0m²
- UNIT 1 STRATA TITLE 327.0m²
 UNIT 2 STRATA TITLE 347.0m²



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT: **PROPOSED MULTIPLE DWELLINGS X 2**
 CLIENT: **KAITLAN RUSHTON & FLETCHER LOONEY**
 LOCATION: **LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316**

DRAWING TITLE: SITE PLAN		
JOB NO: RUSHTON		
DRAWN BY: M.A	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY: R.J		

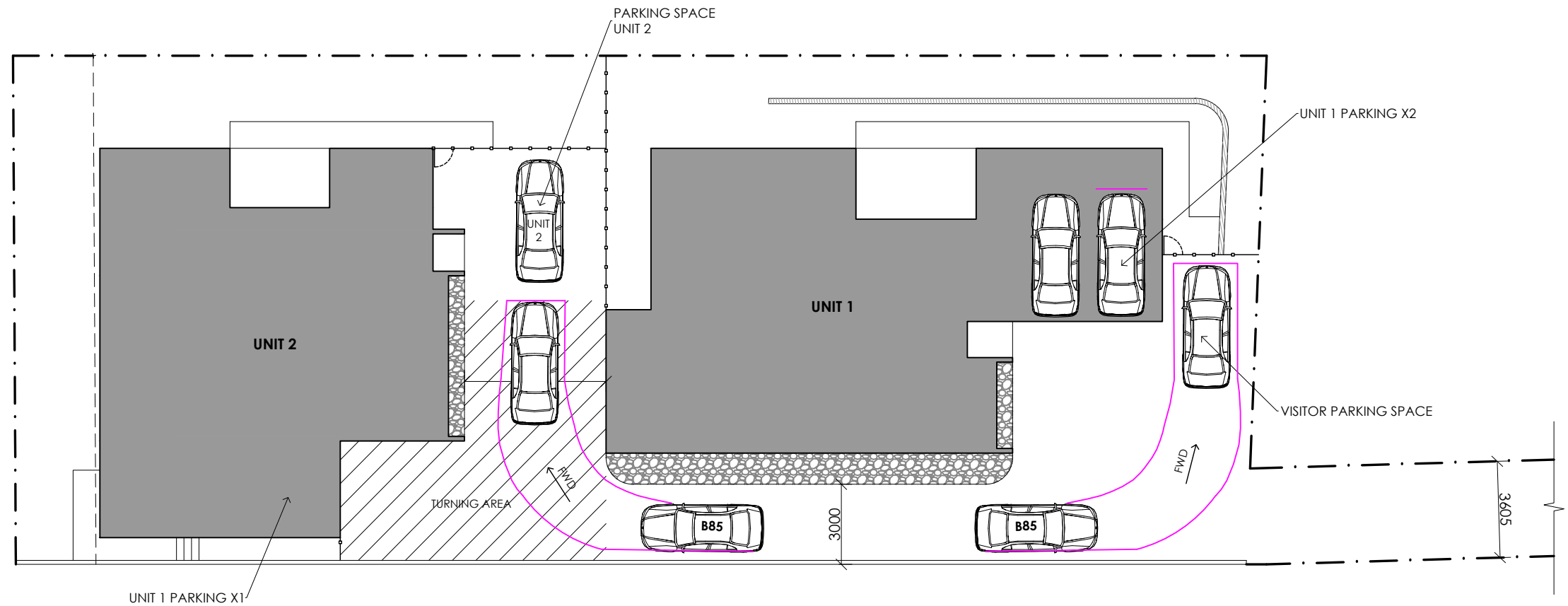
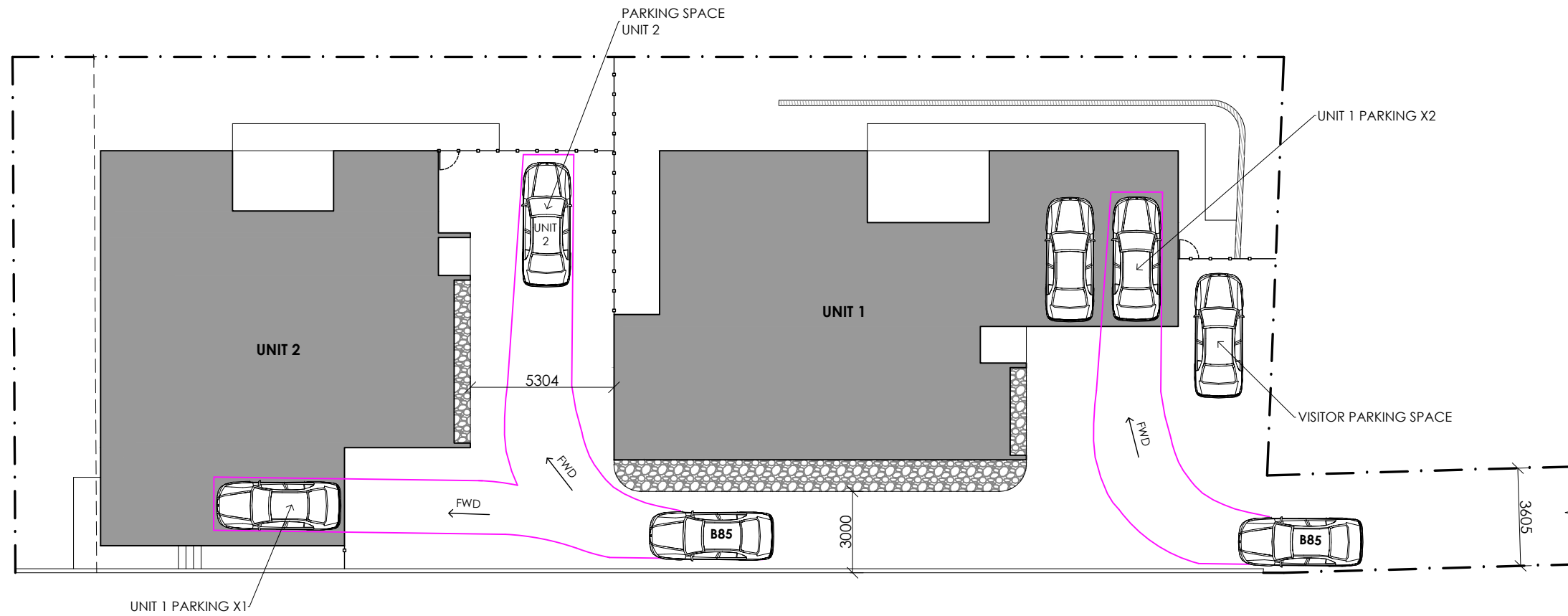
DRAWING NO:
A03
 / A14

LEGEND & NOTES

1. THE BUILDER SHALL CHECK ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION.
2. ALL CONTOURS TO BE CONFIRMED ON SITE.
3. DRIVEWAY TO BE SUITABLY DRAINED AWAY FROM DWELLING.

CENTRAL COAST COUNCIL
CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663



FORWARD ENTRY MANEUVER PLAN
 SCALE 1:200



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: draffing@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT: **PROPOSED MULTIPLE DWELLINGS X 2**
 CLIENT: **KAITLAN RUSHTON & FLETCHER LOONEY**
 LOCATION: **LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316**

DRAWING TITLE: **SITE PLAN**

JOB NO: RUSHTON

DRAWN BY: M.A
 CHECKED BY: R.J

SCALE: 1:100 @ A3
 ISSUE: **DA**

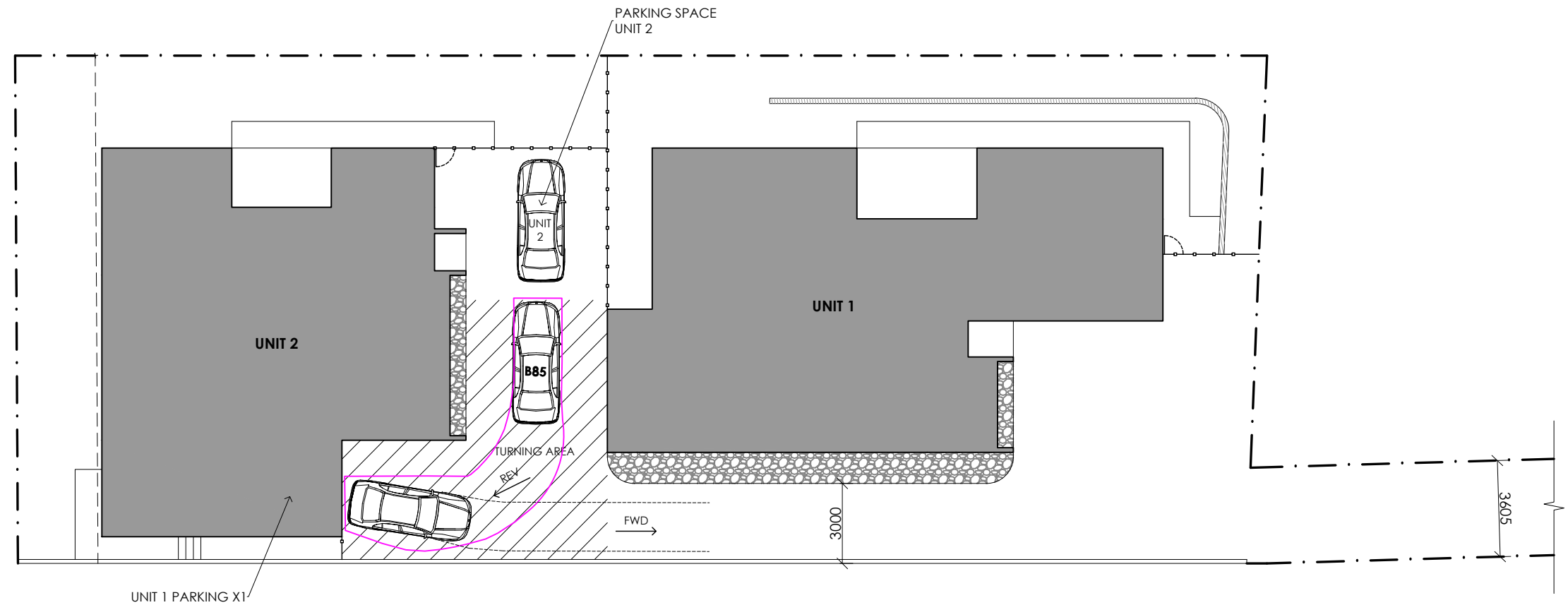
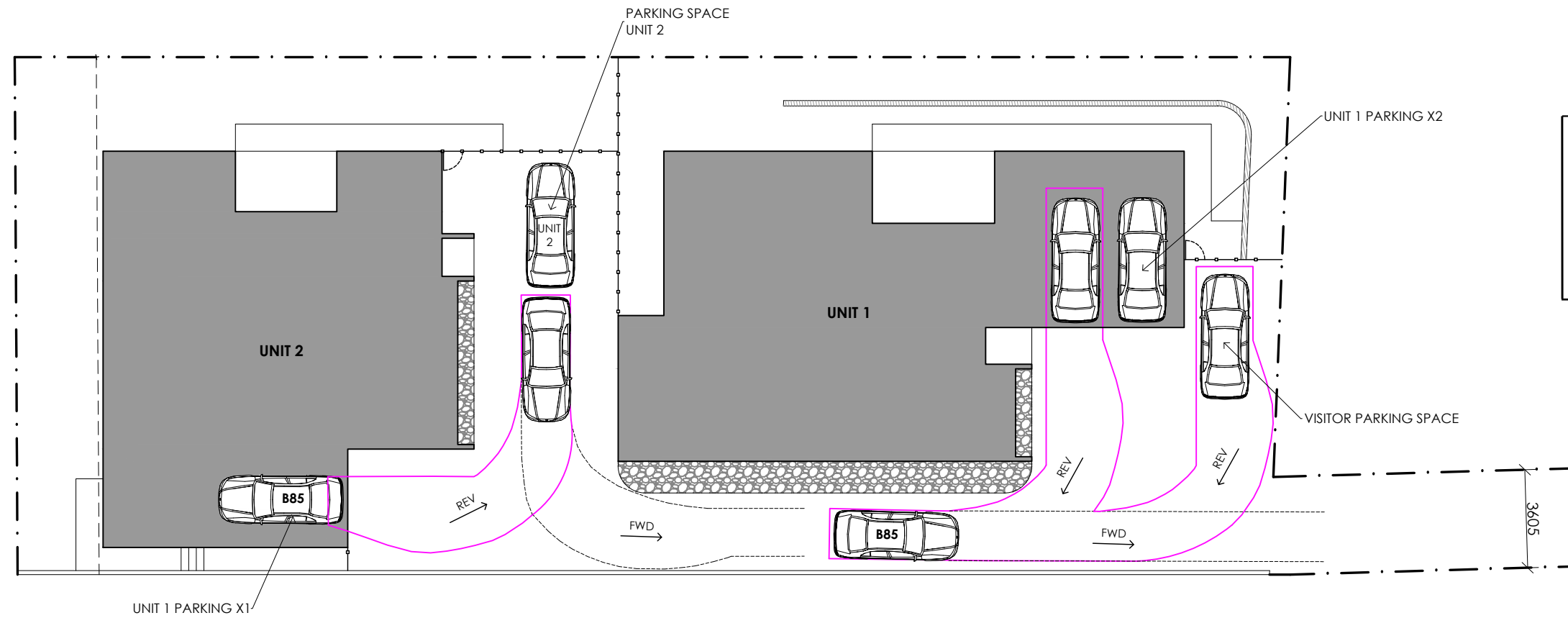
DRAWING NO: **A04**
 / A14

LEGEND & NOTES

1. THE BUILDER SHALL CHECK ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION.
2. ALL CONTOURS TO BE CONFIRMED ON SITE.
3. DRIVEWAY TO BE SUITABLY DRAINED AWAY FROM DWELLING.

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663



EXIT MANEUVER PLAN
 SCALE 1:200



70 TUGRAH RD
 DEVONPORT, TASMANIA
 AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT:
PROPOSED MULTIPLE DWELLINGS X 2

CLIENT:
KAITLAN RUSHTON & FLETCHER LOONEY

LOCATION:
LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316

DRAWING TITLE: SITE PLAN		
JOB NO: RUSHTON		
DRAWN BY: M.A	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY: R.J		

DRAWING NO:
A05
 / A14



CENTRAL COAST COUNCIL LAND USE PLANNING

Received: 11/04/2024
Application No: DA2024082
Doc ID: 482663

LEGEND & NOTES:

- LIFT OFF DOOR HINGES REQUIRED ON FULLY ENCLOSED SANITARY COMPARTMENT DOORS IF CLEAR SPACE IS LESS THAN 1.2m (AS PER HPS PART 10.4.2).
- R2.5 INSULATION REQUIRED TO WALLS SEPARATING GARAGE FROM DWELLING. NO OTHER INSULATION IS REQUIRED TO EXTERNAL GARAGE WALLS OR CEILING.
- LINEN/ROBES ARE 600mm DEEP UNLESS STATED OTHER

FLOOR AREA
 NEW RESIDENCE - 182.50m²
 ALFRESCO - 12.5m²
 PORCH - 2.5m²

ROOFING:
 CUSTOM ORB - MEDIUM
 FASCIA - MEDIUM
 GUTTER - MEDIUM

FACADE:
 BRICK TYPE - MEDIUM

ALUMINIUM FRAMED WINDOWS:
 COLOUR - MEDIUM
 GLAZING - DOUBLE

CARPET UNDERLAY - (CU)
 FLOOR AREA APPROX - 43m²

VINYL PLANK - (VP)
 FLOOR AREA APPROX - 73m²

TILES - (TI)
 FLOOR AREA APPROX - 19m²

CONCRETE - (CON)
 EXPOSED CONCRETE, NO SURFACE FINISH REQUIRED



FLOOR PLAN UNIT 1

SCALE 1:100



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
PH: 03 6424 6325
EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT:
PROPOSED MULTIPLE DWELLINGS X 2

CLIENT:
KAITLAN RUSHTON & FLETCHER LOONEY

LOCATION:
**LOT 41, BERKSHIRE PARADE, PENGUIN
TASMANIA, 7316**

DRAWING TITLE:
FLOOR PLAN UNIT 1

JOB NO: RUSHTON

DRAWN BY: M.A

CHECKED BY: R.J

SCALE:
1:100 @ A3

ISSUE: **DA**

DRAWING NO:

A06

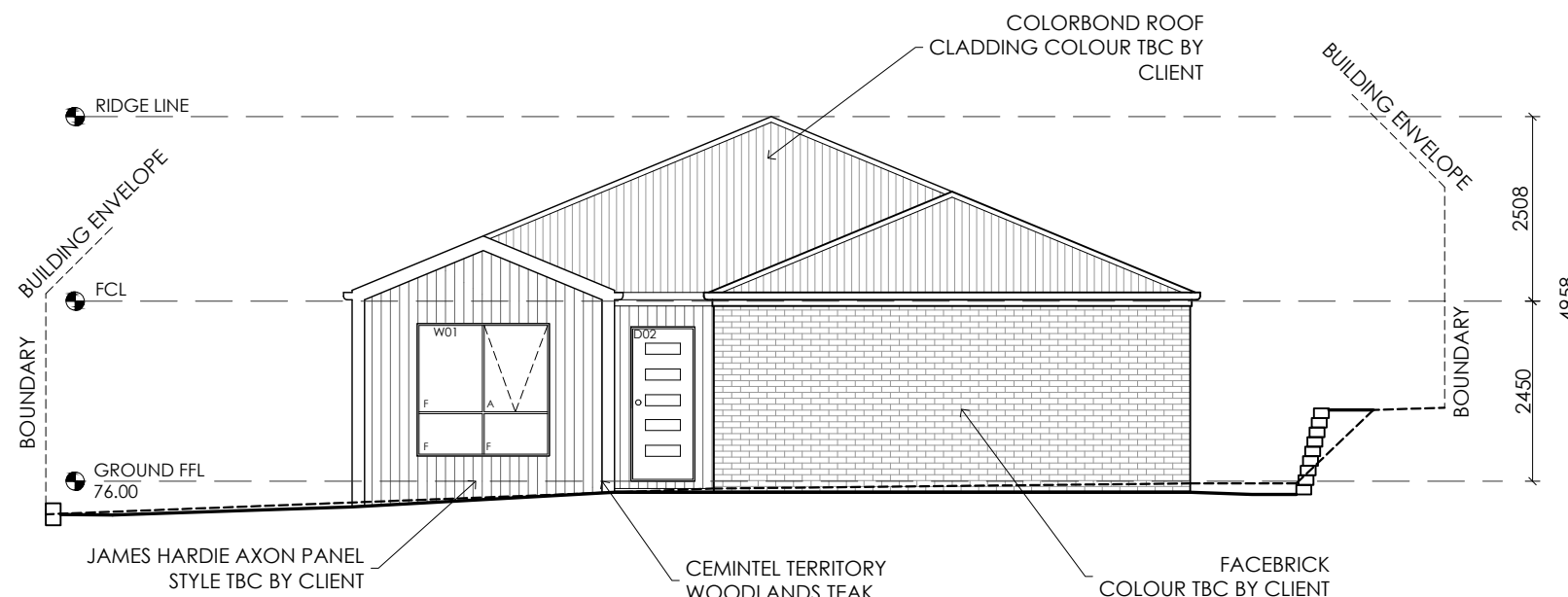
/ A14

LEGEND & NOTES:

1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.

EAST ELEVATION

SCALE 1:100

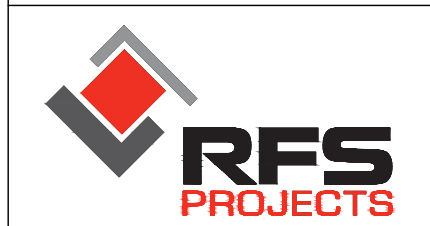
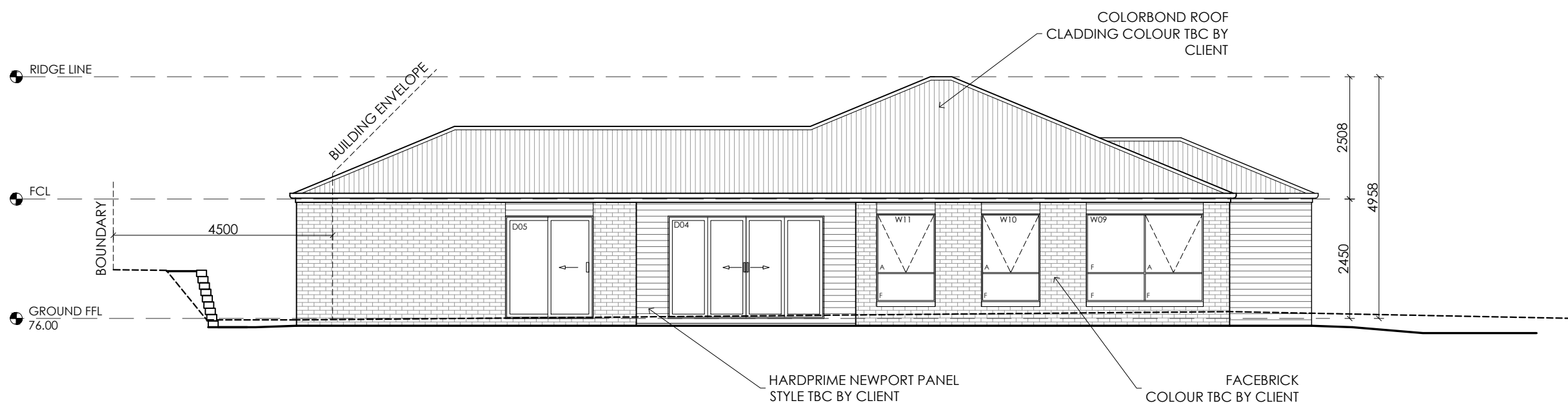


CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663

NORTH ELEVATION

SCALE 1:100



**70 TUGRAH RD
 DEVONPORT, TASMANIA
 AUSTRALIA, 7310**

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

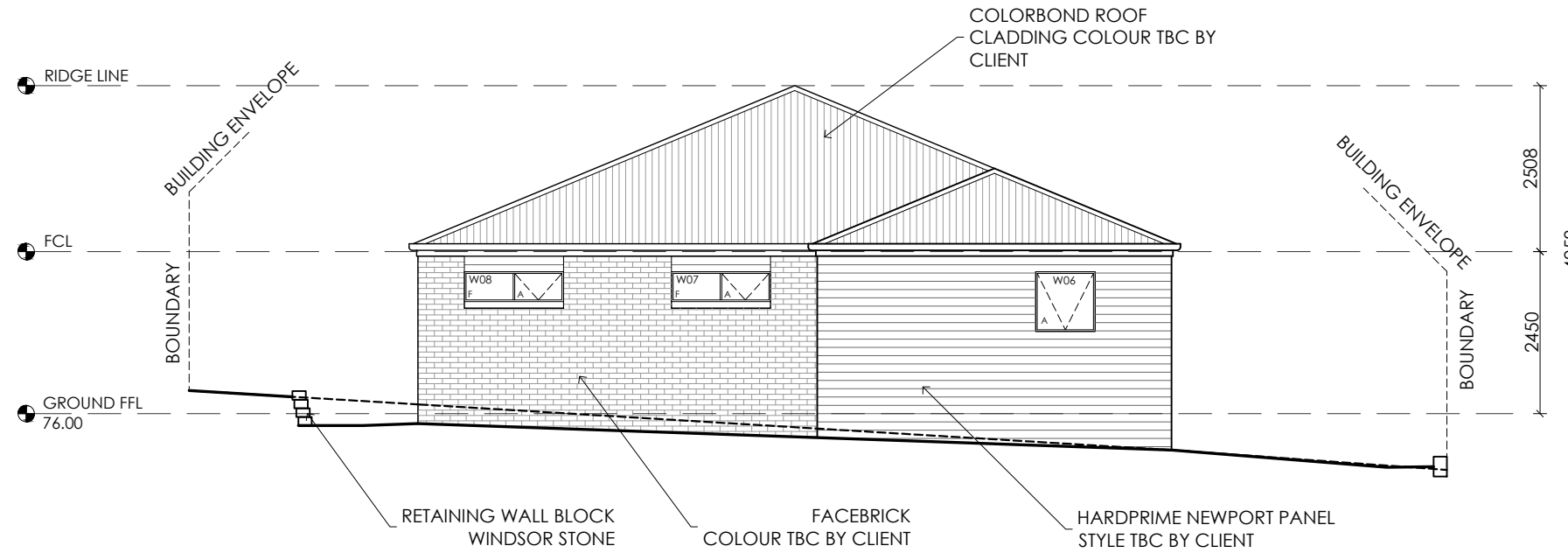
PROJECT: **PROPOSED MULTIPLE DWELLINGS X 2**
 CLIENT: **KAITLAN RUSHTON & FLETCHER LOONEY**
 LOCATION: **LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316**

DRAWING TITLE: ELEVATIONS 1 of 2 (UNIT 1)		
JOB NO: RUSHTON		
DRAWN BY: M.A	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY: R.J		

DRAWING NO:
A07
 / A14

LEGEND & NOTES:

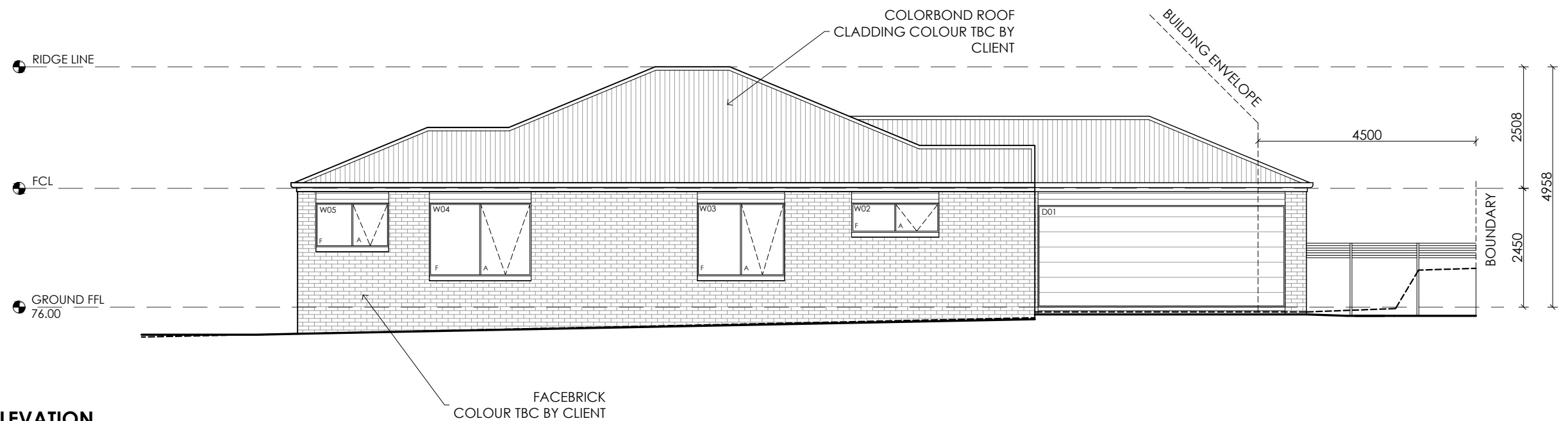
1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.



WEST ELEVATION
SCALE 1:100

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
Application No: DA2024082
Doc ID: 482663



SOUTH ELEVATION
SCALE 1:100



**70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310**

LICENSED DESIGNER: ROBERT JETSON #409212438
PH: 03 6424 6325
EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT: **PROPOSED MULTIPLE DWELLINGS X 2**
CLIENT: **KAITLAN RUSHTON & FLETCHER LOONEY**
LOCATION: **LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316**

DRAWING TITLE:
ELEVATIONS 2 of 2 (UNIT 1)

JOB NO: RUSHTON

DRAWN BY: M.A

CHECKED BY: R.J

SCALE:
1:100 @ A3

ISSUE: **DA**

DRAWING NO:

A08
/ A14

CENTRAL COAST COUNCIL
LAND USE PLANNING

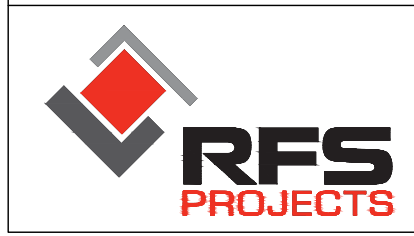
Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663

- LEGEND & NOTES:**
- LIFT OFF DOOR HINGES REQUIRED ON FULLY ENCLOSED SANITARY COMPARTMENT DOORS IF CLEAR SPACE IS LESS THAN 1.2m (AS PER HPS PART 10.4.2).
 - R2.5 INSULATION REQUIRED TO WALLS SEPARATING GARAGE FROM DWELLING. NO OTHER INSULATION IS REQUIRED TO EXTERNAL GARAGE WALLS OR CEILING.
 - LINEN/ROBES ARE 600mm DEEP UNLESS STATED OTHER

- FLOOR AREA**
- NEW RESIDENCE - 164m²
 - ALFRESCO - 9.0m²
 - PORCH - 3.0m²
- ROOFING:**
- CUSTOM ORB - MEDIUM
 - FASCIA - MEDIUM
 - GUTTER - MEDIUM
- FACADE:**
- BRICK TYPE - MEDIUM
- ALUMINIUM FRAMED WINDOWS:**
- COLOUR - MEDIUM
 - GLAZING - DOUBLE
- CARPET UNDERLAY - (CU)**
- FLOOR AREA APPROX - 51m²
- VINYL PLANK - (VP)**
- FLOOR AREA APPROX - 66m²
- TILES - (TI)**
- FLOOR AREA APPROX - 15m²
- CONCRETE - (CON)**
- EXPOSED CONCRETE, NO SURFACE FINISH REQUIRED



FLOOR PLAN UNIT 2
 SCALE 1:100



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT: **PROPOSED MULTIPLE DWELLINGS X 2**

CLIENT: **KAITLAN RUSHTON & FLETCHER LOONEY**

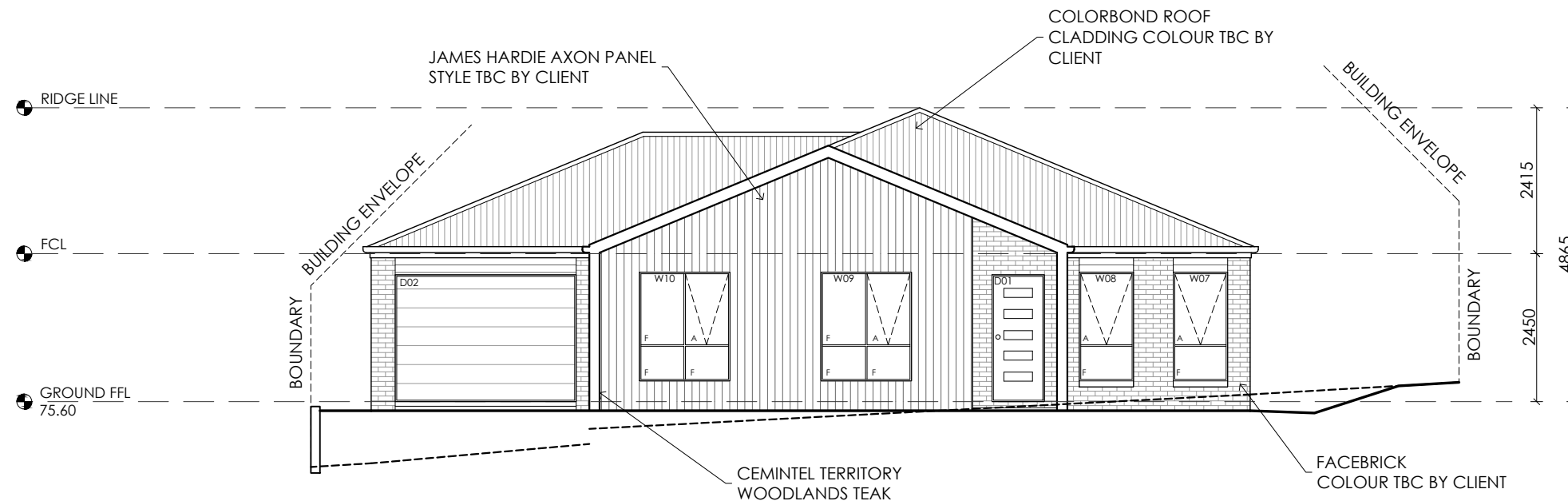
LOCATION: **LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316**

DRAWING TITLE: FLOOR PLAN UNIT 2		
JOB NO: RUSHTON		
DRAWN BY: M.A	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY: R.J		

DRAWING NO:
A09
 / A14

LEGEND & NOTES:

1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.

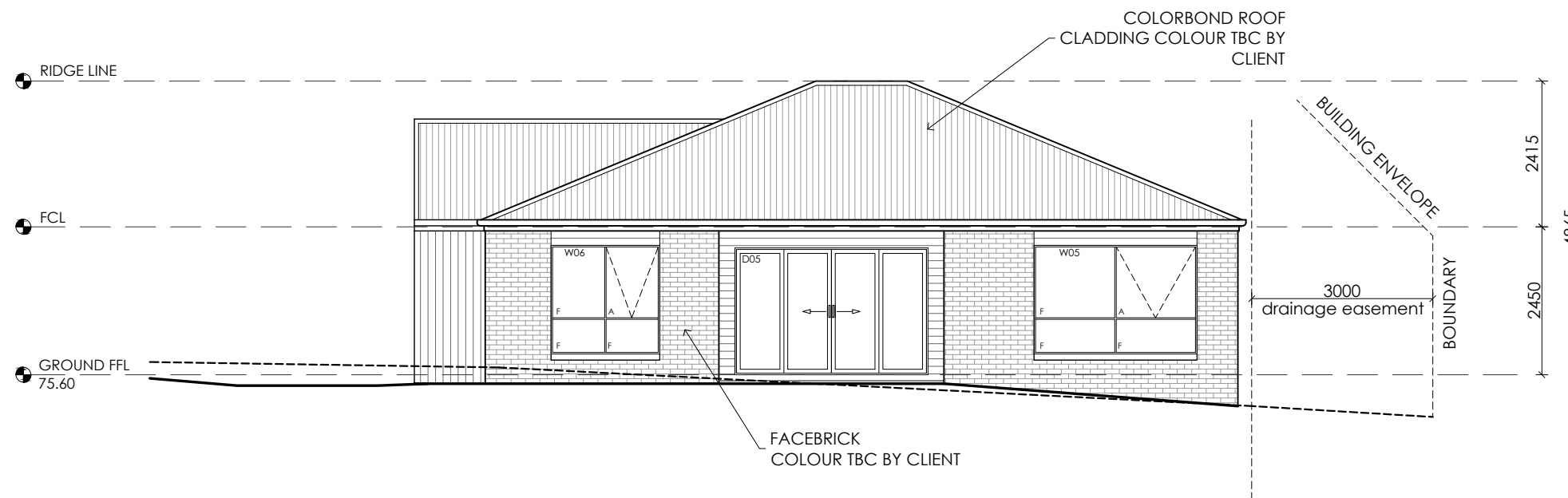


EAST ELEVATION

SCALE 1:100

CENTRAL COAST COUNCIL
CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663



NORTH ELEVATION

SCALE 1:100



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT:
PROPOSED MULTIPLE DWELLINGS X 2

CLIENT:
KAITLAN RUSHTON & FLETCHER LOONEY

LOCATION:
LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316

DRAWING TITLE:
ELEVATIONS 1 of 2 (UNIT 2)

JOB NO: RUSHTON

DRAWN BY: M.A
 CHECKED BY: R.J

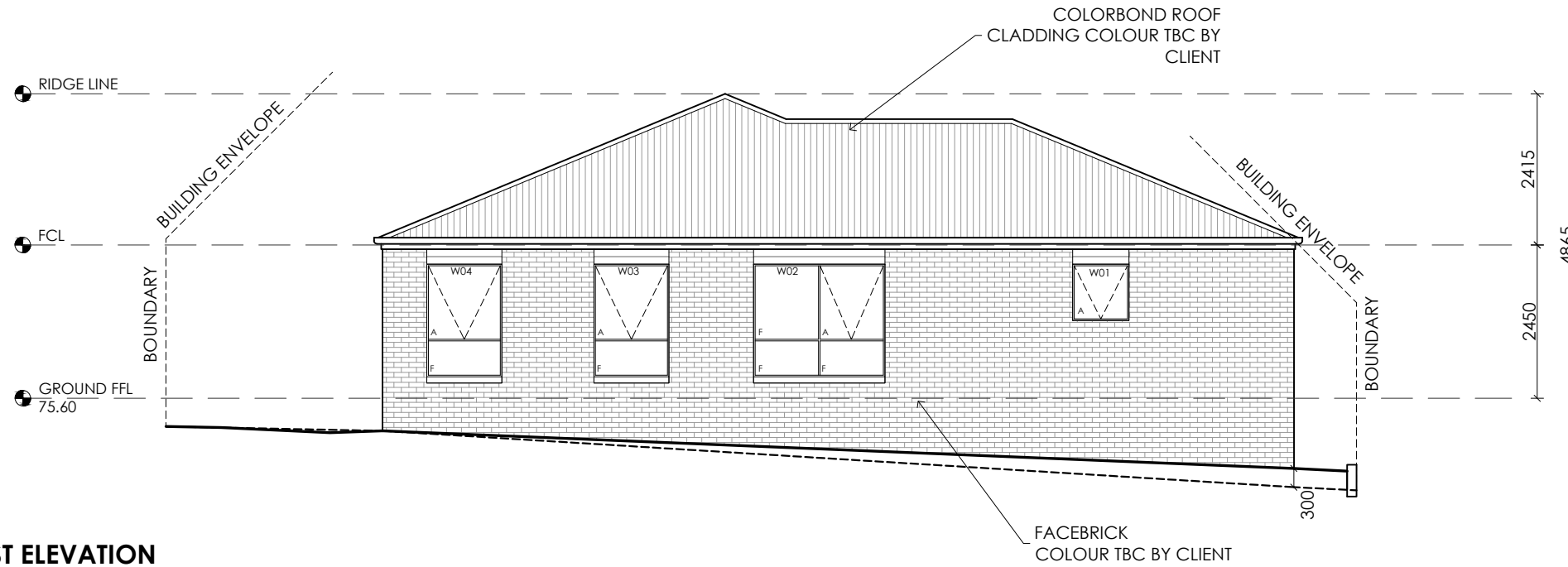
SCALE:
 1:100 @ A3

ISSUE: **DA**

DRAWING NO:
A10
 / A14

LEGEND & NOTES:

1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.

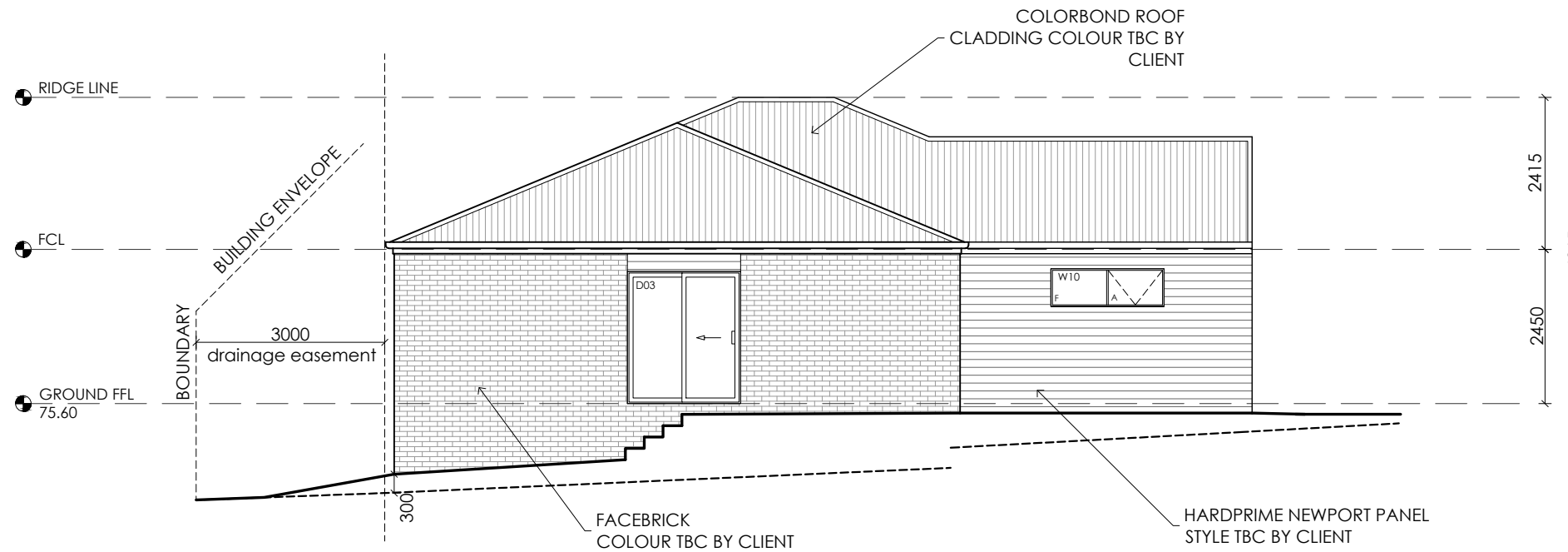


WEST ELEVATION

SCALE 1:100

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
Application No: DA2024082
Doc ID: 482663



SOUTH ELEVATION

SCALE 1:100



**70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310**

LICENSED DESIGNER: ROBERT JETSON #409212438
PH: 03 6424 6325
EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

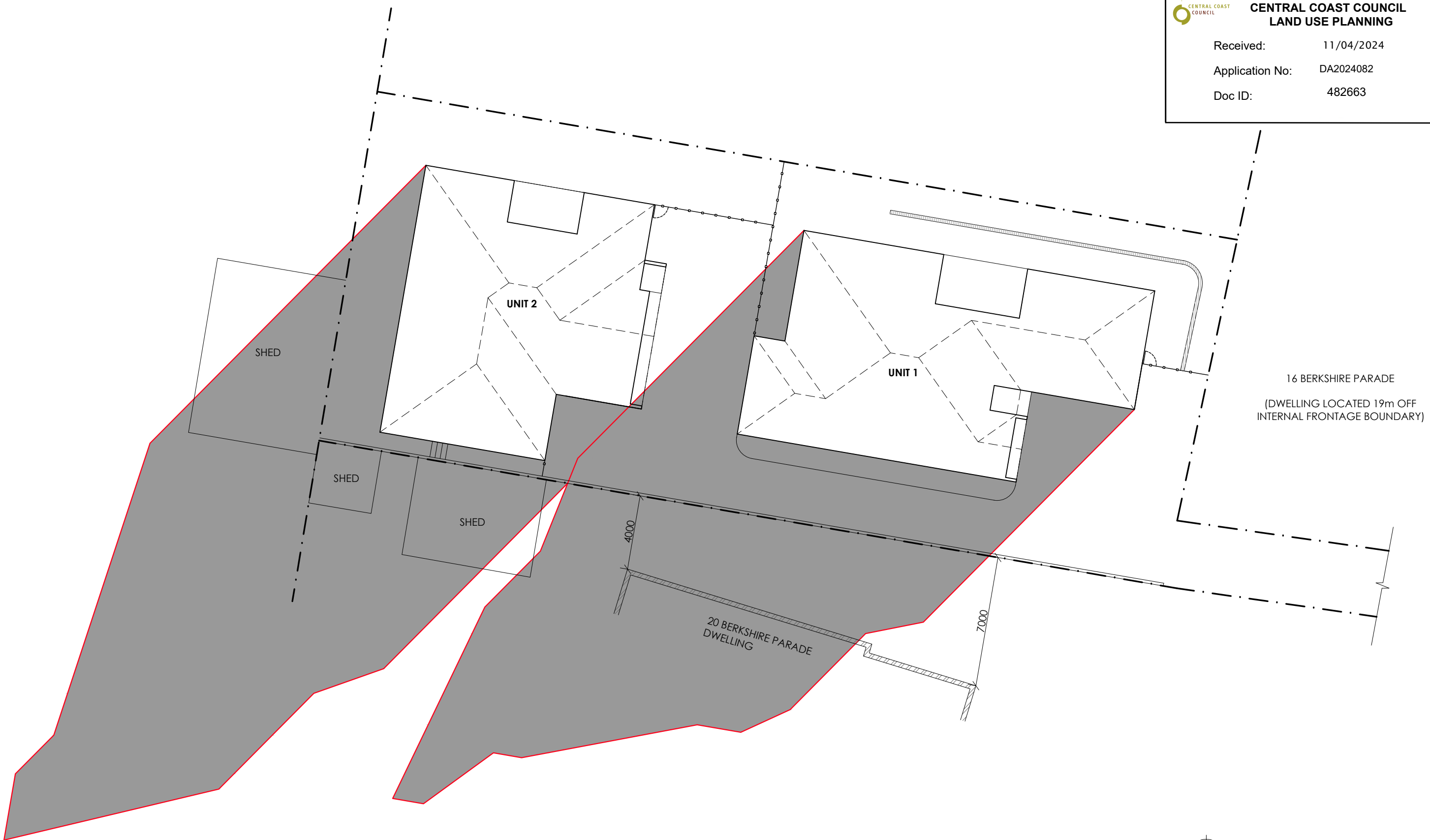
PROJECT: **PROPOSED MULTIPLE DWELLINGS X 2**
CLIENT: **KAITLAN RUSHTON & FLETCHER LOONEY**
LOCATION: **LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316**


DRAWING TITLE: ELEVATIONS 2 of 2 (UNIT 2)		
JOB NO: RUSHTON		
DRAWN BY: M.A	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY: R.J		

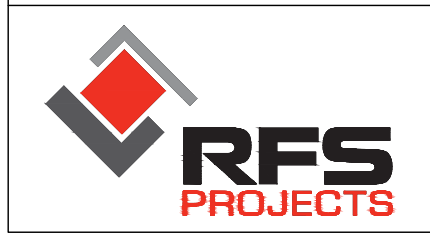
DRAWING NO:
A11
/ A14

CENTRAL COAST COUNCIL
CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663



 **SUN STUDY - 9AM 21ST JUNE**
 SCALE 1:200



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: draffing@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT:
PROPOSED MULTIPLE DWELLINGS X 2

CLIENT:
KAITLAN RUSHTON & FLETCHER LOONEY

LOCATION:
LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316

DRAWING TITLE:
SUN STUDY - 1 of 3

JOB NO: RUSHTON

DRAWN BY: M.A
 CHECKED BY: R.J

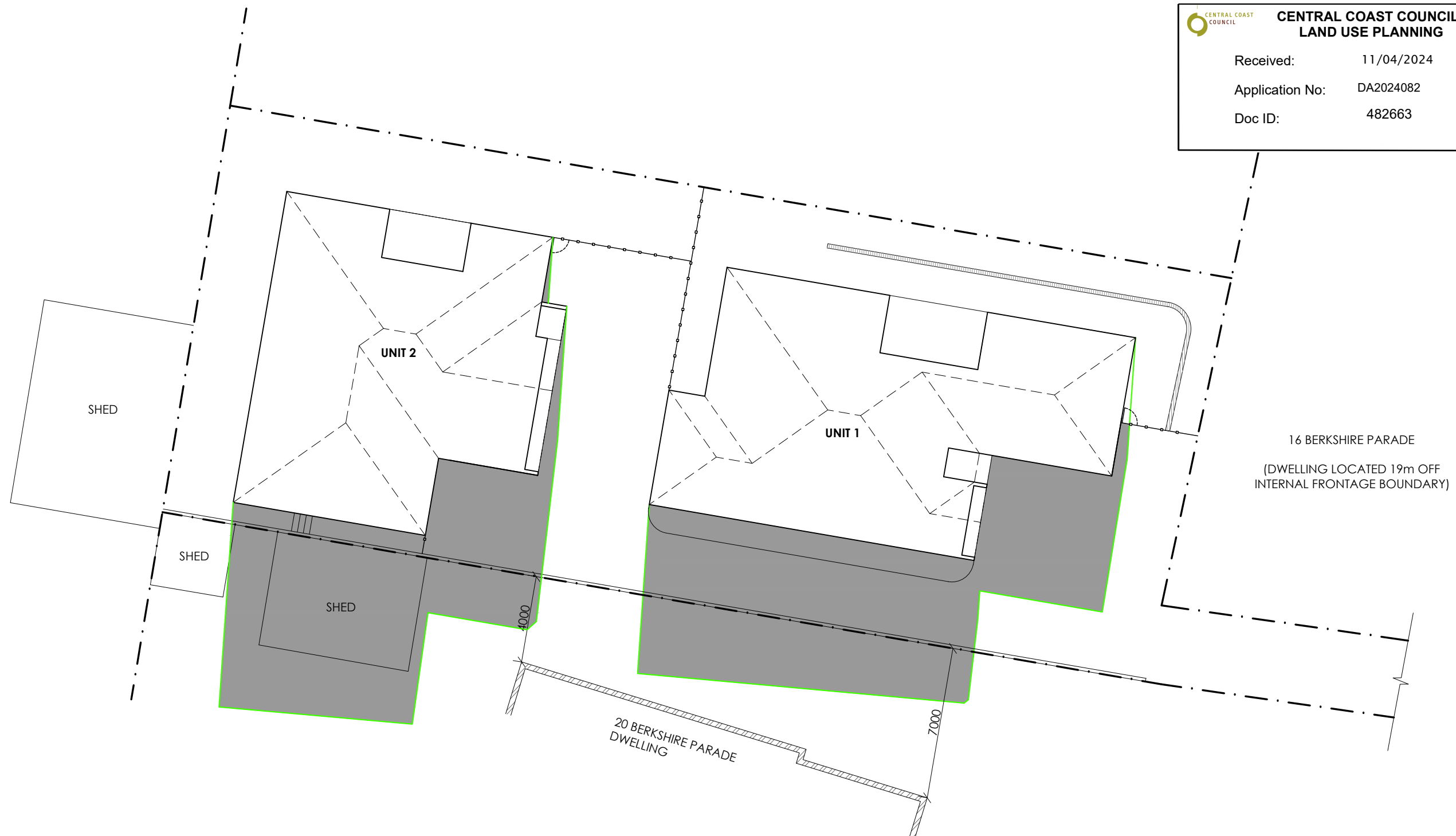
SCALE:
 1:200 @ A3


ISSUE: **DA**

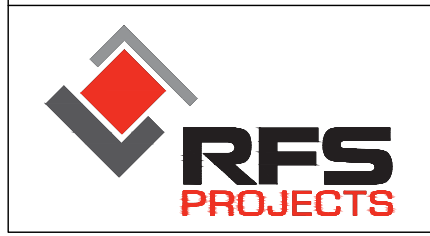
DRAWING NO:
A12
 / A14

CENTRAL COAST COUNCIL
CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663



 **SUN STUDY - 12AM 21ST JUNE**
 SCALE 1:200



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT: **PROPOSED MULTIPLE DWELLINGS X 2**
 CLIENT: **KAITLAN RUSHTON & FLETCHER LOONEY**
 LOCATION: **LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316**

DRAWING TITLE: **SUN STUDY - 2 of 3**

JOB NO: RUSHTON

DRAWN BY: M.A
 CHECKED BY: R.J


SCALE: 1:200 @ A3
 ISSUE: **DA**

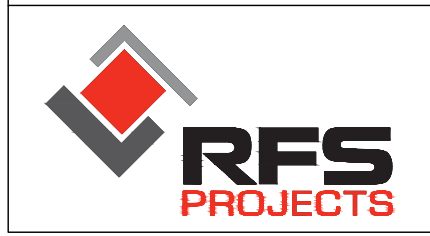
DRAWING NO:
A13
 / A14

CENTRAL COAST COUNCIL
CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/04/2024
 Application No: DA2024082
 Doc ID: 482663



 **SUN STUDY - 3PM 21ST JUNE**
 SCALE 1:200



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
A	PLANING APPROVAL	10.04.2024

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

© COPYRIGHT 2024 THESE DRAWINGS AND DESIGNS AND THE COPYRIGHT THERE OF ARE THE PROPERTY OF RFS PROJECTS AND MUST NOT BE USED, RETAINED OR COPIED WITHOUT THE WRITTEN PERMISSION OF RFS PROJECTS.

PROJECT:
PROPOSED MULTIPLE DWELLINGS X 2

CLIENT:
KAITLAN RUSHTON & FLETCHER LOONEY

LOCATION:
LOT 41, BERKSHIRE PARADE, PENGUIN TASMANIA, 7316

DRAWING TITLE:
SUN STUDY - 3 of 3

JOB NO: RUSHTON

DRAWN BY: M.A
 CHECKED BY: R.J

SCALE:
 1:200 @ A3

ISSUE: **DA**

DRAWING NO:
A14
 / A14

NOTES:

1. GENERAL

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- 1.2 CHECK ARCHITECTURAL, MECHANICAL, ELECTRICAL AND DRAWINGS FOR OTHER SERVICES FOR PENETRATIONS AND CAST-IN ITEMS.

2. SITE

- 2.1 FLOOR SLAB AREAS TO BE STRIPPED OF ALL VEGETATION, TOP SOIL AND SOFT MATERIAL.
- 2.2 FILL TO BE APPROVED GRAVEL PROPERLY COMPACTED IN HORIZONTAL LAYERS NO EXCEEDING 150mm LOOSE THICKNESS.
- 2.3 ALL FOOTINGS TO BE FOUNDED IN FIRM NATURAL GROUND. MINIMUM FOUNDING DEPTH TO BE 300mm BELOW NATURAL SURFACE UNLESS OTHERWISE NOTED.
- 2.4 FINISHED GROUND LEVELS AROUND BUILDING TO BE MINIMUM 100mm BELOW GROUND FLOOR SLAB AND GRADE AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1500mm.

3. CONCRETE

- 3.1 CONCRETE CONSTRUCTION TO BE IN ACCORDANCE WITH AS3600
- 3.2 UNLESS NOTED OTHERWISE CONCRETE TO BE GRADE N25 (28 DAY COMPRESSIVE STRENGTH OF 25MPa) 80mm SLUMP AND 20mm MAXIMUM AGGREGATE SIZE. CONCRETE TO BE PRE-MIXED IN ACCORDANCE WITH AS1379.
- 3.3 CHLORINE BASED ADMIXTURES ARE NOT TO BE USED.
- 3.4 MECHANICALLY VIBRATE CONCRETE IN THE FORM TO GIVE MAXIMUM COMPACTION, WITHOUT SEGREGATION OF THE CONCRETE.
- 3.5 MOIST CURE CONCRETE FOR A MINIMUM OF 7 DAYS.

4. REINFORCEMENT


- 4.1 SYMBOLS ON DRAWINGS FOR GRADE AND TYPE OF REINFORCEMENT:
 - N - BHP TEMPCORE GRADE 500N DEFORMED BAR TO AS4671
 - R - GRADE 250R HOT-ROLLED PLAIN ROUND BAR TO AS4671
 - L - HARD DRAWN WIRE REINFORCING FABRIC GRADE 500 TO AS4671
 - TM - TRENCH MESH - AS FOR 'L'
- 4.2 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.
- 4.3 REINFORCEMENT TO BE FABRICATED TO WITHIN TOLERANCES SPECIFIED BY AS3600
- 4.4 UNLESS NOTED OTHERWISE CONCRETE COVER TO REINFORCEMENT TO BE:
 - FOOTINGS: 40mm
 - SLAB ON GROUND 25mm
 - INTERIOR COLUMNS, BEAMS AND SUSPENDED SLABS 20mm
 - PATIOS AND EXTERIOR MEMBERS 40mm
- 4.5 BARS ARE TO BE SUPPORTED AT 2m MAX. CENTRES AND FABRIC SUPPORTED AT 800mm MAX. CENTRES EACH WAY.

5. MASONRY:

- 5.1 ARTICULATION JOINTS HAVE BEEN PROVIDED AT LOCATIONS SHOWN BY <. JOINTS ARE GENERALLY ALONGSIDE DOORS, WINDOWS AND CHANGES IN WALL HEIGHT AND DIRECTION.
- 5.2 BRICK TIES SHALL BE STAINLESS STEEL.
- 5.3 CONCRETE BLOCKS TO BE GRADE
- 5.4 CONCRETE FILLING FOR BLOCKWORK TO BE GRADE20, 200-250mm SLUMP, 10mm MAXIMUM AGGREGATE SIZE. PROVIDE TEMPORARY PROPPING TO LINTELS FOR 14 DAYS.

6. STEELWORK

- 6.1 ALL STEEL FRAME WORK SHALL BE POWER BRUSH CLEANED AND PAINTED WITH 2 COAT OF ZINC PHOSPHATE, UNLESS NOTED OTHERWISE
- 6.2 ALL STEEL SHALL BE GRADE C350
- 6.3 ALL BOLTS SHALL BE M16 8.8/S UNLESS NOTED OTHERWISE
- 6.4 ALL PLATES SHALL BE 8mm PL. UNLESS NOTED OTHERWISE
- 6.5 ALL WELDS SHALL BE 6 C.F.W. UNLESS NOTED OTHERWISE
- 6.6 ALL WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.

 CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	16/04/2024
Application No:	DA2024082
Doc ID:	483232

DESIGN INFORMATION:

- BUILDING DESIGNER: RFS PROJECTS
- REFERENCE DRAWINGS: RUSHTON
- SOIL CLASSIFICATION: N/A
- DESIGN WIND CATEGORY: N/A
- BUSHFIRE PRONE AREA: N/A
- BUSHFIRE ATTACK LEVEL: N/A
- ALPINE AREA DESIGNATION: N/A
- LAND TITLE REFERENCE: 152052/41

DRAWING SERIES:

- 00 COVER
- D01 DRAINAGE PLAN
- D02 DRAINAGE PIT



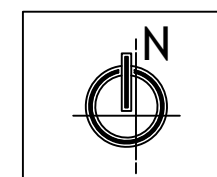
 CIVILISATION CONSULTING CREATIVE ENGINEERING info@civilisationengineering.com	20b Loone Lane Spreyton TAS 7310 Mob: 0412 439 184 ABN: 66 644 575 468
	STATUS: PLANNING

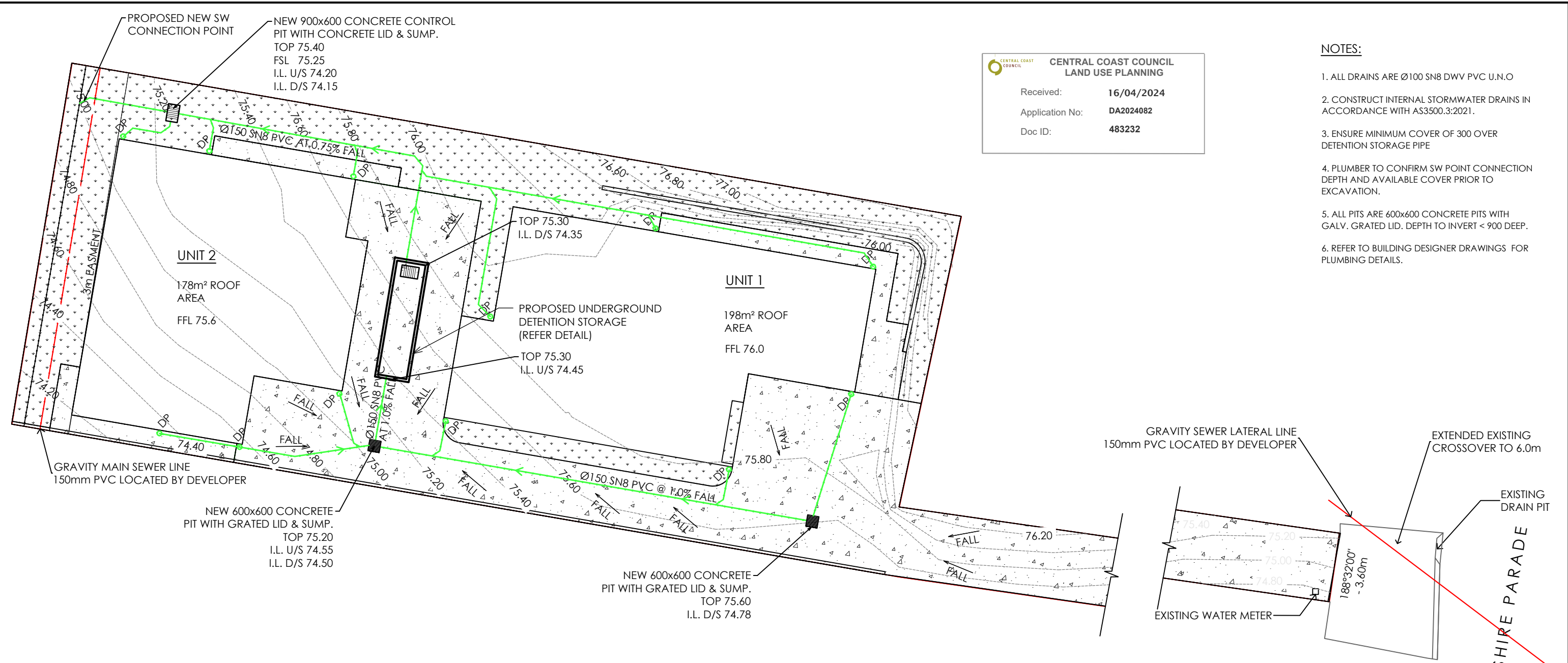
REV:	DESCRIPTION:	BY:	DATE:

PROJECT: NEW UNITS 18 (LOT 41) BERKSHIRE PDE, PENGUIN
CLIENT: RFS PROJECTS

DRAWING TITLE: COVER			
SCALE AT AS: N.T.S	DATE: 15/04/2024	DRAWN: MS	CHECKED: JM
PROJECT NO: 24072	DRAWING NO: 00	REVISION: 0	

Mr. Jonathon Mulcahy BE (Civil) MIEAust CPEng NER Signature: <input type="text"/> Accredited Building Practitioner Licence No. 430733550



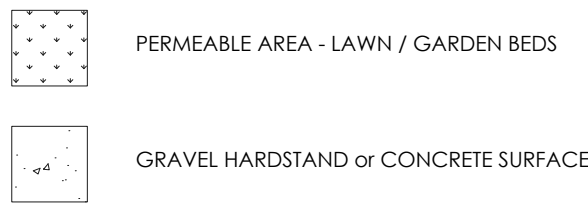


CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 16/04/2024
Application No: DA2024082
Doc ID: 483232

- NOTES:**
- ALL DRAINS ARE Ø100 SN8 DWV PVC U.N.O
 - CONSTRUCT INTERNAL STORMWATER DRAINS IN ACCORDANCE WITH AS3500.3:2021.
 - ENSURE MINIMUM COVER OF 300 OVER DETENTION STORAGE PIPE
 - PLUMBER TO CONFIRM SW POINT CONNECTION DEPTH AND AVAILABLE COVER PRIOR TO EXCAVATION.
 - ALL PITS ARE 600x600 CONCRETE PITS WITH GALV. GRATED LID. DEPTH TO INVERT < 900 DEEP.
 - REFER TO BUILDING DESIGNER DRAWINGS FOR PLUMBING DETAILS.

DETENTION STORAGE DESIGN INFORMATION SUMMARY	
Design AEP (Predeveloped / Post Developed)	5% / 1%
Total area of site	1043 sq. m
Design Impervious Area (Predevelopment 40% allowable)	417 sq. m
Design Impervious Area - Post development	772 sq. m
Design - Required Storage Vol	6.4 Cu. m
Total Storage Vol	6.8 Cu. m
Orifice Size	84 mm
Predevelopment Flow Rate (5% AEP) / Post Dev Flow Rate @ (1% AEP)	15.8 / 34.9 L/s



SITE DRAINAGE AND DETENTION STORAGE PLAN
SCALE 1:200

CIVILVISION CONSULTING
CREATIVE ENGINEERING
20b Loone Lane
Spreyton TAS 7310
Mob: 0412 439 184
ABN: 66 644 575 468
info@civilvisionengineering.com

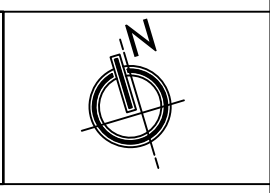
REV:	DESCRIPTION:	BY:	DATE:
STATUS: PLANNING			

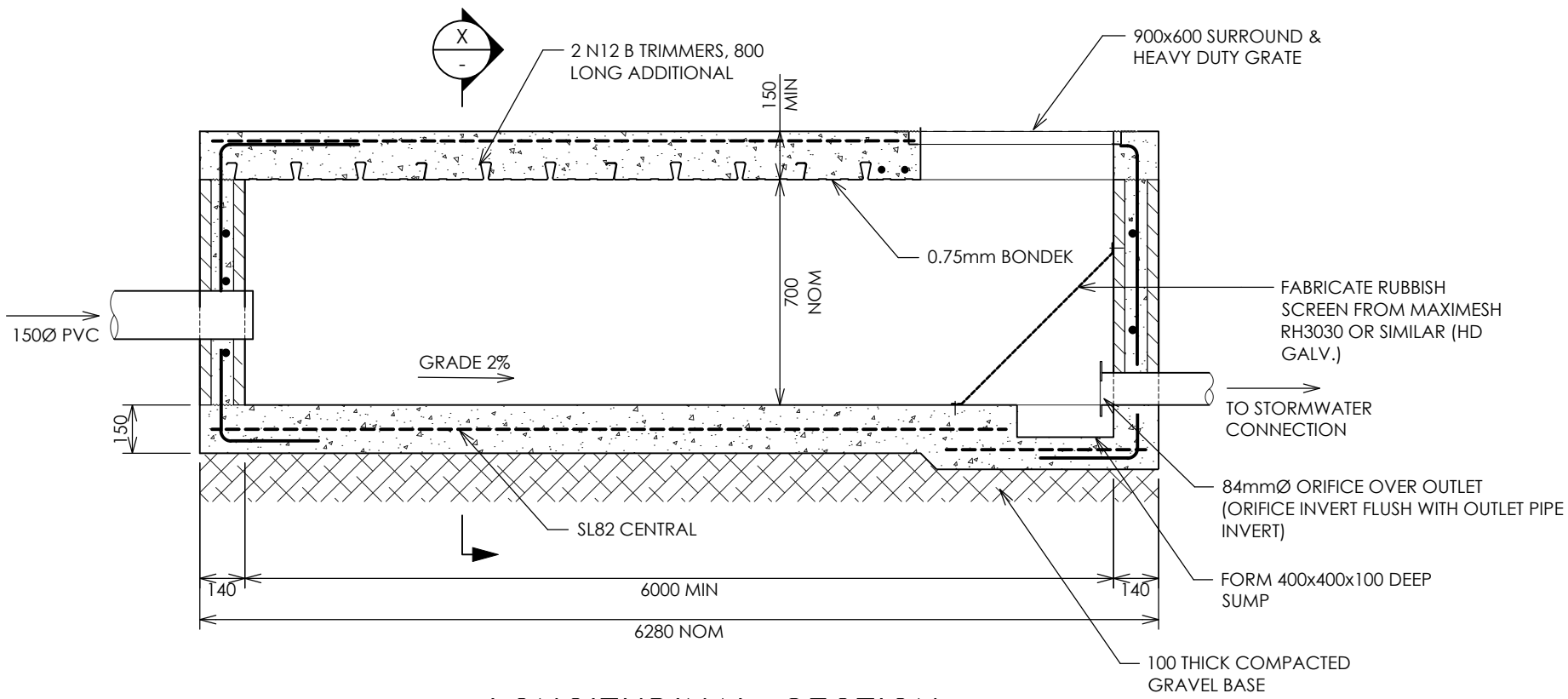
PROJECT:
NEW UNITS
18 (LOT 41) BERKSHIRE PDE, PENGUIN

CLIENT:
RFS PROJECTS

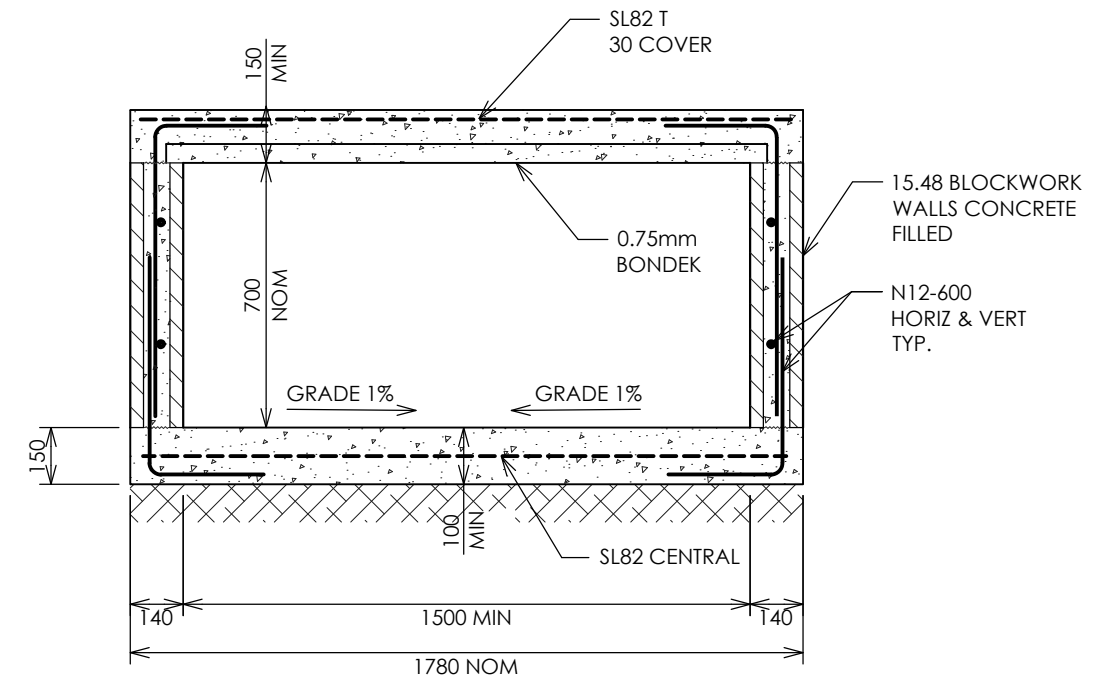
DRAWING TITLE: DETENTION STORAGE PLAN			
SCALE AT A3: 1:200	DATE: 15/04/2024	DRAWN: MS	CHECKED: JM
PROJECT NO: 24072	DRAWING NO: D01	REVISION: 0	

Mr. Jonathon Mulcahy
BE (Civil) MIEAust CPEng NER
Signature: _____
Accredited Building Practitioner
Licence No. 430733550

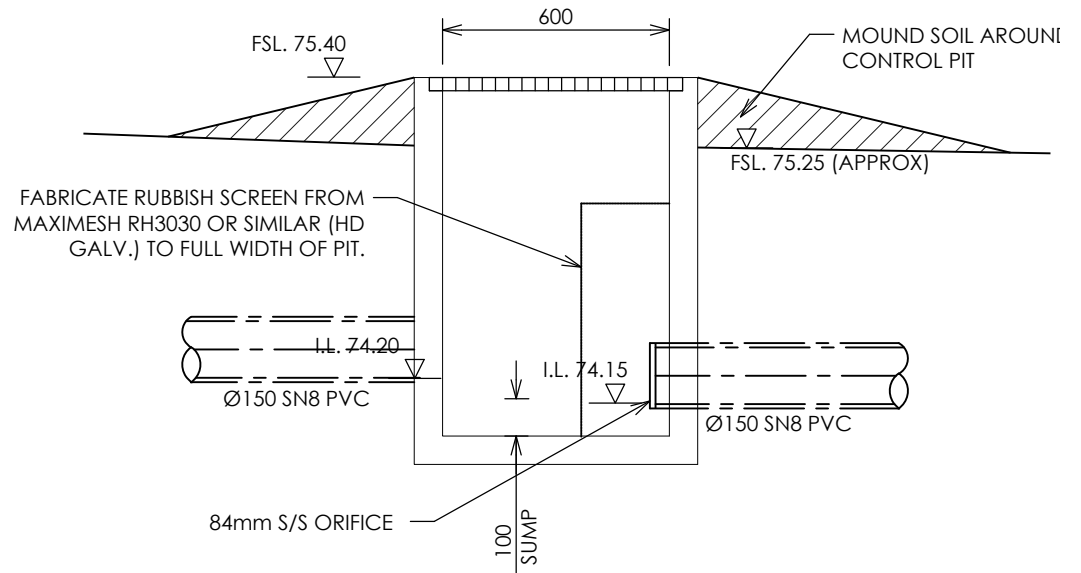




LONGITUDINAL SECTION
 SCALE 1:20



SECTION X
 SCALE 1:20



DETENTION STORAGE DETAILS
 SCALE 1:20

NOTES:

1. ALL DRAINS ARE Ø100 SN8 DWV PVC U.N.O
2. CONSTRUCT INTERNAL STORMWATER DRAINS IN ACCORDANCE WITH AS3500.3:2021.
3. ENSURE MINIMUM COVER OF 300 OVER DETENTION STORAGE PIPE
4. PLUMBER TO CONFIRM SW POINT CONNECTION DEPTH AND AVAILABLE COVER PRIOR TO EXCAVATION.
5. ALL PITS ARE 600x600 CONCRETE PITS WITH GALV. GRATED LID. DEPTH TO INVERT < 900 DEEP.
6. REFER TO BUILDING DESIGNER DRAWINGS FOR PLUMBING DETAILS.

CIVILVISION CONSULTING
 CREATIVE ENGINEERING

20b Loone Lane
 Spreyton TAS 7310

Mob: 0412 439 184
 ABN: 66 644 575 468
 info@civilvisionengineering.com

REV:	DESCRIPTION:	BY:	DATE:
STATUS: PLANNING			

PROJECT: **NEW UNITS**
18 (LOT 41) BERKSHIRE PDE, PENGUIN

CLIENT: **RFS PROJECTS**

DRAWING TITLE: **DETENTION STORAGE DETAILS**

SCALE AT A3: 1:20	DATE: 15/04/2024	DRAWN: MS	CHECKED: JM
PROJECT NO: 24072	DRAWING NO: D02	REVISION: 0	

Mr. Jonathon Mulcahy
 BE (Civil) MIEAust CPEng NER

Signature: _____

Accredited Building Practitioner
 Licence No. 430733550

